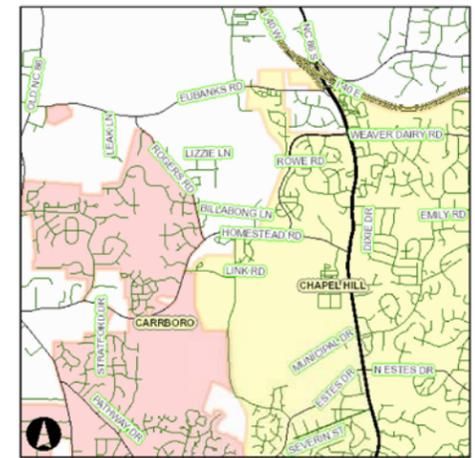


CONDITIONAL ZONING PLANS

BRIDGEPOINT

PINS: 9870914489 & 9870919528
CHAPEL HILL, NC
2020



PLAN PREPARED BY:
KB HOME CAROLINAS
 4506 SOUTH MIAMI BLVD., SUITE 100A
 DURHAM, NC 27703
 PHONE: 919.766.7960

PLAN PREPARED FOR:
KB HOME CAROLINAS
 4506 SOUTH MIAMI BLVD., SUITE 100A
 DURHAM, NC 27703
 PHONE: 919.766.7960



07/22/2020

CONDITIONAL ZONING APPLICATION

TOWN OF CHAPEL HILL
Planning Department
405 Martin Luther King Jr. Blvd.
(919) 968-2728 Fax (919) 969-2014
www.townofchapelhill.org

Parcel Identifier Number (PIN): 9870914489, 9870919528 Date: July 13, 2020

Section A: Project Information

Project Name: Bridge Point
 Property Address: 2214 & 2312 Homestead Road Zip Code: 27516
 Use Groups (A, R, and/or C): A Existing Zoning District: R-S-C
 Project Description: A residential community with 53 lots designated for townhomes

Section B: Applicant, Owner, and/or Contract Purchaser Information

Applicant Information (to whom correspondence will be mailed):
 Name: Advanced Civil Design, Inc.
 Address: 51 Kilmayne Drive, Suite 105
 City: Cary State: NC Zip Code: 27511
 Phone: 919-481-6290 Email: crice@advancedcivildesign.com

The undersigned applicant hereby certifies that, to the best of their knowledge and belief, all information supplied with this application and accurate.

Signature: _____ Date: _____

Owner/Contract Purchaser Information:

Owner Contract Purchaser

Name: Capkov Ventures, Inc.
 Address: P.O. Box 16815
 City: Chapel Hill State: NC Zip Code: 27516
 Phone: 919-942-8005(office), 919-260-7262(cell) Email: erichcupp@bellsouth.net

The undersigned applicant hereby certifies that, to the best of their knowledge and belief, all information supplied with this application and accurate.

Signature: _____ Date: _____

[Click here for application submittal instructions.](#)

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PROJECT FACT SHEET

TOWN OF CHAPEL HILL
Planning Department

Section A: Project Information

Use Type: (check/list all that apply)
 Office/Institutional Residential Mixed-Use Other: MF

Overlay District: (check all that apply)
 Historic District Neighborhood Conservation District Airport Hazard Zone

Section B: Land Area

Net Land Area (NLA): Area within zoning lot boundaries	NLA=	363,614	sq. ft.
Choose one, or both, of the following (a or b), not to exceed 10% of NLA	CSA=	51,724	sq. ft.
a) Credited Street Area (total adjacent frontage) x 1/2 width of public right-of-way	COA=	0	sq. ft.
b) Credited Permanent Open Space (total adjacent frontage) x 1/2 public or dedicated open space	GLA=	399,975	sq. ft.
TOTAL: NLA + CSA and/or COA + Gross Land Area (not to exceed NLA + 10%)			

Section C: Special Protection Areas, Land Disturbance, and Impervious Area

Special Protection Areas: (check all those that apply)
 Jordan Buffer Resource Conservation District 100 Year Floodplain Watershed Protection District

Land Disturbance	Total (sq. ft.)
Area of Land Disturbance (Includes: Footprint of proposed activity plus work area envelope, staging area for materials, access/equipment paths, and all grading, including off-site clearing)	374,616
Area of Land Disturbance within RCD	58,671
Area of Land Disturbance within Jordan Buffer	0

Impervious Areas	Existing (sq. ft.)	Demolition (sq. ft.)	Proposed (sq. ft.)	Total (sq. ft.)
Impervious Surface Area (ISA)	20,253	20,253	154,188	154,188
Impervious Surface Ratio: Percent Impervious Surface Area of Gross Land Area (ISA/GLA)	0.051	0.051	0.385	0.385
If located in Watershed Protection District, % of impervious surface on 7/1/1993	0	0	0	0

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SHEET INDEX

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- 2 AREA MAP
- 3 EXISTING CONDITIONS PLAN
- 4 SLOPE ANALYSIS PLAN
- 5 SITE PLAN
- 6 SIGNAGE AND MARKING PLAN
- 7 GRADING AND DRAINAGE PLAN
- 8 SOIL & EROSION CONTROL PLAN
- 9 UTILITY PLAN
- 10 LANDSCAPE PROTECTION AND TREE SURVEY PLAN
- 11 PLANTING PLAN
- 12 CONSTRUCTION MANAGEMENT PLAN
- 13 BUILDING ELEVATION EXHIBIT
- 14 GROUP UNIT ELEVATION EXHIBIT
- 15 BUILDING FLOOR PLAN
- 16 DETAILS

OWNER CAPKOV VENTURES, INC. 202 E WINMORE AVE. CHAPEL HILL, NC 27516-8430 PHONE: 919.942.8005	DEVELOPER KB HOME CAROLINAS 4506 S. MIAMI BLVD., SUITE 100 DURHAM, NC 27703 PHONE: 919.766.7979	ENGINEER/SURVEYOR ADVANCED CIVIL DESIGN, INC. 51 KILMAYNE DRIVE, SUITE 105 CARY, NC 27511 PHONE (919) 481-6290 FAX (919) 336-5127
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- TOWN OF CHAPEL HILL FIRE DEPARTMENT NOTES:**
1. ALL CONSTRUCTION AND DEMOLITION CONDUCTED SHALL BE IN COMPLIANCE OF THE CURRENT EDITION OF THE NC FIRE CODE. 2018 NCFE CHAPTER 33.
 2. INTENTIONALLY DELETED.
 3. AN APPROVED WATER SUPPLY FOR FIRE PROTECTION, EITHER TEMPORARY OR PERMANENT, SHALL BE MADE AVAILABLE AS SOON AS COMBUSTIBLE MATERIAL ARRIVES ON THE SITE. 2018 NCFE 3312
 4. TRAFFIC CALMING DEVICES SHALL BE PROHIBITED UNLESS APPROVED BY THE FIRE CODE OFFICIAL. 2018 NCFE 503.4.1
 5. FIRE APPARATUS ACCESS ROADS SHALL NOT BE OBSTRUCTED IN ANY MANNER, INCLUDING THE PARKING OF VEHICLES. THE MINIMUM WIDTHS AND CLEARANCES ESTABLISHED IN SECTIONS 503.2.1 AND 503.2.2 SHALL BE MAINTAINED AT ALL TIMES. 2018 NCFE 503.4
 6. DURING CONSTRUCTION, VEHICLE ACCESS FOR FIREPROTECTION SHALL BE PROVIDED. TEMPORARY STREET SIGNS SHALL BE INSTALLED AT EACH STREET INTERSECTION WHEN CONSTRUCTION ALLOWS THE PASSAGE OF VEHICLES. SIGNS SHALL BE OF AN APPROVED SIZE, WEATHER RESISTANT, AND MAINTAINED UNTIL REPLACED BY PERMANENT SIGNS. 2018 NCFE SECTION 505.2
 7. A NFPA 13D FIRE SPRINKLER SYSTEM WILL BE REQUIRED FOR EACH GROUPING OF TOWNHOMES.
 8. THE FINAL PLAT SHALL INCLUDE A NOTE THAT STATES "ALL LOCAL STREETS WITHIN THE BRIDGEPOINT SUBDIVISION SHALL NOT ALLOW ON-STREET PARKING IN ACCORDANCE WITH SECTION D103 OF THE 2018 NORTH CAROLINA FIRE PREVENTION CODE."

- TOWN OF CHAPEL HILL INSPECTION DEPARTMENT NOTES:**
1. NO ON STREET PARKING ALLOWED PER NC FIRE CODE SECTION D103.6.1.
 2. ALL PUBLIC SITE ELEMENTS MUST COMPLY WITH NCBC 2018 CH 11 AND ICC A 117.1.
 3. ACCESSIBLE PARKING PER NCBC SECT 1106.1; 1 PER 6 COMPLIANT SPACES MUST BE VAN ACCESSIBLE, NO SLOPE EXCEEDING 2% IN ANY DIRECTION. SIGNAGE PER NC REQUIREMENTS AND ICC A 117.1.
 4. TEMPORARY STREET OR ROAD SIGNS ARE REQUIRED AT EACH STREET INTERSECTION WHEN CONSTRUCTION OF NEW ROADS ALLOWS FOR THE PASSAGE OF VEHICLES. SIGNS SHALL BE OF AN APPROVED SIZE, WEATHER RESISTANT AND BE MAINTAINED UNTIL REPLACED BY PERMANENT SIGNS. NC FPC 2018, SECTION 505.2.
 5. ADDRESS NUMBERS MUST BE A MINIMUM OF 6 INCHES HIGH AND OF CONTRASTING COLOR TO THEIR BACKGROUND. WHEN THE DISTANCE FROM THE STREET OR FIRE DEPARTMENT ACCESS LANE TO THE FRONT OR ADDRESS SIDE OF THE BUILDING EXCEEDS 25 FEET, LARGER NUMBERS ARE REQUIRED. 26 FEET TO 50 FEET SHALL HAVE 8 INCH NUMBERS, 51-75 FEET SHALL HAVE 12 INCH NUMBERS AND OVER 75 FEET SHALL HAVE 18 INCH NUMBERS.
 6. RETAINING WALLS OVER FIVE (5) FEET HIGH SHALL BE PERMITTED SEPARATELY FROM THE BUILDING(S) AND MUST BE SIGNED BY A DESIGN PROFESSIONAL.
 7. ONSITE PARKING SHALL BE PROVIDED FOR INSPECTORS AT EACH BUILDING FOR THE DURATION OF THE CONSTRUCTION PROJECT.
 8. A TIRE WASH AREA FOR TRUCKS SHALL BE PROVIDED ONSITE BEFORE THEY HIT THE MAIN ROADS.
 9. CURB AND GUTTER AND AT LEAST THE FIRST LIFT OF ASPHALT FOR THE ROADS MUST BE DOWN AHEAD OF CONSTRUCTION.
 10. A SEPARATE SUBMITTAL AND PERMIT WILL BE REQUIRED FOR THE CONSTRUCTION TRAILER.
 11. A SEPARATE SUBMITTAL AND PERMIT WILL BE REQUIRED FOR ANY SIGNAGE ON THE BUILDING OR GROUND MOUNTED SIGNS.
 12. FUNCTIONAL FIRE SHALL BE PROVIDED PRIOR TO BRINGING COMBUSTIBLE MATERIALS ON-SITE. THE FIRE HYDRANT ON HOMESTEAD ROAD BEHIND LOT 7 SHALL BE MAINTAINED/RELOCATED SO THAT ACCESS TO THE HYDRANT STAYS AND IS USABLE DURING CONSTRUCTION AND AFFORDS ACCESS WHEN THE PROJECT IS COMPLETE FOR ITS ENTIRETY.

- LAND USE MANAGEMENT ORDINANCE -- SPECIAL PERMITTED MODIFICATIONS OF REGULATIONS (ARTICLE 4.5.6)**
- (1) EXCEED DISTURBED AREA RATIO OF 0.40 IN MANAGED USE AND UPLOAD ZONES OF RCD TO ALLOW FOR THE CONSTRUCTION OF A STORMWATER CONTROL MEASURE. SEE SHEET 7 FOR LAND DISTURBED AREAS AND PERCENTAGES WITHIN THE ROAD.
 - (2) UTILIZE 30-INCH VALLEY CURB AND GUTTER SECTION IN-LIEU OF 30-INCH STANDARD CURB SECTION FOR LOCAL STREET (WITHOUT PARKING).
 - (3) SECTION D103 OF THE NORTH CAROLINA FIRE PREVENTION CODE REQUIRES THE MINIMUM ROAD WIDTH TO BE 26-FT WHERE A FIRE HYDRANT IS LOCATED ON A FIRE APPARATUS ACCESS ROAD. TOWN OF CHAPEL HILL'S STANDARD DETAIL FOR A LOCAL STREET DOES NOT MEET THIS CRITERIA, THEREFORE THE 25-FT BACK-TO-BACK DIMENSION FOR LOCAL STREET (WITHOUT ON-STREET PARKING) HAS BEEN REVISED TO 26-FT WITH VALLEY CURB AND 27-FT WITH STANDARD CURB WHEN ADJACENT TO A FIRE HYDRANT TO MEET SECTION D103.1 OF THE NORTH CAROLINA FIRE PREVENTION CODE. THE RIGHT-OF-WAY WIDTH OF 35-FT SHALL REMAIN UNCHANGED.
 - (4) EXCEED 25% OF THE AREA CONTAINING 25% OR GREATER SLOPES. A MAJORITY OF THESE DISTURBED SLOPES OCCUR ALONG THE WEST SIDE OF WEAVER DAIRY ROAD EXTENSION AND WERE CREATED DURING THE CONSTRUCTION OF WEAVER DAIRY ROAD EXTENSION. ADDITIONAL SLOPES 25% OR GREATER THAT WERE CREATED DURING THE CONSTRUCTION OF THE EXISTING HOME SITE, THE EXISTING CONCRETE FLUME, AND THE EXISTING ASPHALT PATH ALONG THE WESTERN PORTION OF THE PROPERTY. THE TOTAL AREA OF DISTURBED NATURAL SLOPES 25% OR GREATER IS ONLY 2,133 SF. THIS AREA OF IMPACT IS NECESSARY TO PROPERLY GRADE THE AREA RESERVED FOR THE FUTURE GREENWAY TRAIL.
 - (5) REDUCE INTERIOR FRONT, SIDE, REAR, AND SIDE CORNER LOT SETBACKS FROM 6-FT TO 0-FT.
 - (6) THE APPLICANT HAS PROPOSED PROVIDING FIVE (5) AFFORDABLE HOMES TO THE COMMUNITY HOME TRUST FOR PERPETUAL AFFORDABILITY. THIS EQUATES TO 10.41% OF THE MARKET RATE HOMES BEING AFFORDABLE. TWO (2) OF THE HOMES WILL MEET THE 65% OF THE MEDIAN INCOME RATIO, AND THREE (3) OF THE HOMES WILL MEET THE 80% OF THE MEDIAN INCOME RATIO IN CONFORMANCE WITH THE CHAPEL HILL LAND USE ORDINANCE. WHILE THE 10.41% AFFORDABLE HOMES BEING PROPOSED IS UNDER THE LAND USE ORDINANCE TARGET OF 15% ALL FIVE (5) OF THE HOMES PROVIDED WILL BE THE SAME SIZE AS THE MARKET RATE HOMES AT OVER 700 SQUARE FEET EACH. THEY WILL ALSO EACH HAVE TWO CAR GARAGES MAKING THEM LOOK IDENTICAL TO THE MARKET RATE HOMES. THIS WILL ALLOW THE COMMUNITY HOME TRUST TO MARKET THE HOMES TO A WIDER SET OF POTENTIAL HOMEOWNERS WHILE STILL MEETING THE INCOME RATIOS TARGETED IN THE LAND USE ORDINANCE. THE COMBINED SQUARE FOOTAGE OF THE FIVE (5) PROPOSED AFFORDABLE HOMES EXCEEDS THE MINIMUM LIVABLE AREA SQUARE FOOTAGE REQUIREMENTS ASSOCIATED WITH THE 15% INCLUSIVE AFFORDABLE TARGET.

PROJECT FACT SHEET

TOWN OF CHAPEL HILL
Planning Department

Section D: Dimensions

Dimensional Unit (sq. ft.)	Existing (sq. ft.)	Demolition (sq. ft.)	Proposed (sq. ft.)	Total (sq. ft.)
Number of Buildings	(9) 8,510	(9) 8,510	(53) 76,479	(53) 76,479
Number of Floors	1 - 1.5	1 - 1.5	2	2
Recreational Space	0	0	25,597	25,597

Residential Space

Dimensional Unit (sq. ft.)	Existing (sq. ft.)	Demolition (sq. ft.)	Proposed (sq. ft.)	Total (sq. ft.)
Floor Area (all floors - heated and unheated)	3,433	3,433	1,869	1,869
Total Square Footage of All Units	3,433	3,433	99,057	99,057
Total Square Footage of Affordable Units	0	0	See Developer Narrative	See Developer Narrative
Total Residential Density	4 units/ac	4 units/ac	5.77 units/ac	5.77 units/ac
Number of Dwelling Units	2	2	53	53
Number of Affordable Dwelling Units	0	0	See Developer Narrative	See Developer Narrative
Number of Single Bedroom Units	0	0	0	0
Number of Two Bedroom Units	1	1	0	0
Number of Three Bedroom Units	1	1	53	53

Non-Residential Space (Gross Floor Area in Square Feet)

Use Type	Existing	Proposed	Uses	Existing	Proposed
Commercial					
Restaurant			# of Seats		
Government					
Institutional					
Medical					
Office					
Hotel			# of Rooms		
Industrial					
Place of Worship			# of Seats		
Other					

Dimensional Requirements	Required by Ordinance	Existing	Proposed
Setbacks (minimum)			
Street	20'	0'	10'
Interior (neighboring property lines)	0'	0'	0'
Solar (northern property line)	0'	N/A	8'
Height (maximum)			
Primary	39'	N/A	39'
Secondary	60'	N/A	60'
Streets			
Frontages	40'	635' & 581'	635' & 581'
Widths	50'	60' & 98'	60' & 98'

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PROJECT FACT SHEET

TOWN OF CHAPEL HILL
Planning Department

Section F: Adjoining or Connecting Streets and Sidewalks

Note: For approval of proposed street names, contact the Engineering Department.

Street Name	Right-of-Way Width	Pavement Width	Number of Lanes	Existing Sidewalk*	Existing Curb/Gutter
Homestead Road (SR 1777)	Variable	27'	2	<input checked="" type="checkbox"/> Yes	<input checked="" type="checkbox"/> Yes
Weaver Dairy Road (SR 1733)	98'	28'	2	<input checked="" type="checkbox"/> Yes	<input checked="" type="checkbox"/> Yes

List Proposed Points of Access (Ex: Number, Street Name): Weaver Dairy Road

*If existing sidewalks do not exist and the applicant is adding sidewalks, please provide the following information:

Street Names	Dimensions	Surface	Handicapped Ramps
Street A - (860 If +/-)	25'-26" B/B 35' R/W	Asphalt	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A
Street B - (143 If +/-)	25' B/B 35' R/W	Asphalt	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A
Street C - (449 If +/-)	26' B/B 35' R/W	Asphalt	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A

Section G: Parking Information

Parking Spaces	Minimum	Maximum	Proposed
Regular Spaces	1.5 per unit	2.25 per unit	2.17 per unit
Handicap Spaces	N/A	N/A	0
Total Spaces	81	119	115
Loading Spaces	N/A	N/A	N/A
Bicycle Spaces	1 per 2 units	N/A	0
Surface Type	Asphalt		

Section H: Landscape Buffers

Location (North, South, Street, Etc.)	Minimum Width	Proposed Width	Alternate Buffer	Modify Buffer
Homestead Road	20'	20'	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No
Weaver Dairy Road	15'	15'	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No
Western Property Line	15'	15'	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No
Northern Property Line	10'	10'	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No

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PROJECT FACT SHEET

TOWN OF CHAPEL HILL
Planning Department

Section I: Land Use Intensity

Zoning - Area - Ratio	Recreation Space Ratio (RSR)	Low Density Residential (0.24)	High Density Residential (0.50)	Non-Residential (0.70)	Maximum Floor Area (MFA) = FAR x GFA	Minimum Recreation Space (MSR) = RSR x GFA
R-S-C	0.303	0.05	N/A	0.50	N/A	121,192 sf
TOTAL						
RCD Streamside	0.01					
RCD Managed	0.019					
RCD Upland						

Section J: Utility Service

Check all that apply:

Water	<input checked="" type="checkbox"/> OWASA	<input type="checkbox"/> Individual Well	<input type="checkbox"/> Community Well	<input type="checkbox"/> Other
Sewer	<input checked="" type="checkbox"/> OWASA	<input type="checkbox"/> Individual Septic Tank	<input type="checkbox"/> Community Package Plant	<input type="checkbox"/> Other
Electrical	<input checked="" type="checkbox"/> Underground	<input type="checkbox"/> Above Ground		
Telephone	<input checked="" type="checkbox"/> Underground	<input type="checkbox"/> Above Ground		
Solid Waste	<input checked="" type="checkbox"/> Town	<input type="checkbox"/> Private		

Page 6 of 11 06.08.2020

Issue Dates:
 07/02/2020 - Initial Submittal to Town
 02/06/2020 - Response to 1st Review SUP Comments
 07/22/2020 - Response to 2nd Review SUP Comments
 07/22/2020

Date: 07/22/2020
 Scale: AS NOTED

Drawn By: JRR
 Checked By: CMR

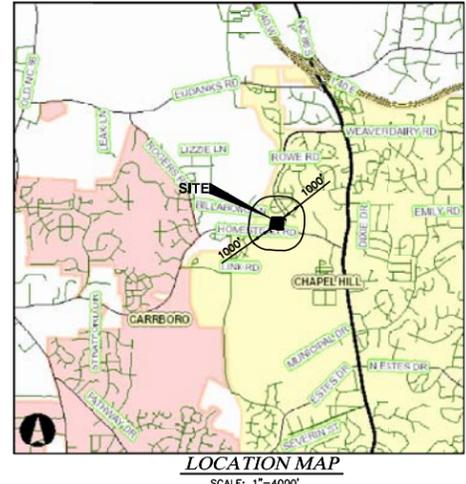
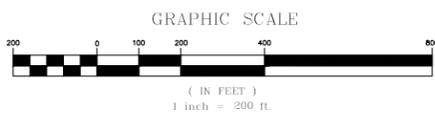
Project Number:
18-0001-978

Drawing Number:
1 / 16

C:\18-0001-978\BNC\Production Drawings\DEVELOPMENT PLAN\001-978-C202.dwg AREA MAP Jul 22, 2020 - 2:30:45pm crice



AREA MAP
SCALE 1" = 200'



SITE DATA TABLE

PROJECT NAME:	BRIDGEPOINT
APPLICANT:	ADVANCED CIVIL DESIGN, INC. 51 KILMAYNE DRIVE, SUITE 105 CARY, NC 27511
PARCEL ID NUMBERS:	9870914489, 9870919528
LAND AREA CALCULATIONS:	
NET LAND AREA:	8.348 ACRES
CREDITED STREET AREA:	0.51 ACRES (1/2 HOMESTEAD R/W)
CREDITED STREET AREA:	0.68 ACRES (1/2 WEAVER DAIRY RD EXTENSION R/W)
TOTAL GROSS LAND AREA (GLA):	9.182 ACRES (USED FOR DENSITY CALCULATION)
CURRENT ZONING:	R-5-C
OUTSIDE CORPORATE LIMITS:	NO
OUTSIDE WATERSHED PROTECTION DISTRICT:	YES
OUTSIDE FLOODPLAIN:	YES
OVERLAY DISTRICTS:	NONE
EXISTING LAND USE:	SINGLE FAMILY
PROPOSED LAND USE:	MULTI-FAMILY WITH CONDITIONAL ZONING
ALLOWABLE DENSITY R-5:	15 UNITS/AC GROSS LAND AREA = 9.182 AC # UNITS ALLOWED = 137
PROPOSED SINGLE FAMILY UNITS:	48
PROPOSED AFFORDABLE UNITS:	5
PROPOSED TOTAL # OF UNITS:	53
PROPOSED MINIMUM LOT SIZE:	2,400 SF
RECREATION SPACE REQUIRED:	19,999 SF (5%)
RECREATION SPACE PROVIDED:	25,597 SF
PROPOSED INTERIOR LOT SETBACKS:	
FRONT:	0'
SIDE:	0'
SIDE CORNER:	0'
REAR:	0'
REQUIRED PERIMETER SETBACKS:	
INTERIOR:	6'
STREET:	10'
SOLAR:	8'
PROPOSED BUILDING SEPARATION:	12'
MAXIMUM BUILDING HEIGHT (PRIMARY):	39'
MAXIMUM BUILDING HEIGHT (SECONDARY):	60'
MAXIMUM FLOOR AREA RATIO:	0.303
PROPOSED FLOOR AREA RATIO:	0.248
MAXIMUM IMPERVIOUS SURFACE RATIO:	0.50
PROPOSED IMPERVIOUS SURFACE RATIO:	0.385

LEGEND

- CHAPEL HILL CORPORATE LIMITS
- ZONING BOUNDARY
- 1000' NOTIFICATION LINE
- PROPERTY'S WITHIN NOTIFICATION AREA
- PROPOSED SITE
- OPEN SPACE

51 Kilmayne Drive, Suite 105
Cary, North Carolina 27511
ph 919.484.6290
fax 919.336.9127

ADVANCED CIVIL DESIGN
ENGINEERS SURVEYORS

KB HOME CAROLINAS
4506 SOUTH MIAMI BLVD., SUITE 100A
DURHAM, NC 27703
PHONE: 919.766.7960

BRIDGEPOINT
FOR
KB HOME CAROLINAS
AREA MAP

PRELIMINARY

07/22/2020

Issue Dates:
01/02/2020 - Initial Submittal to Town
02/06/2020 - Response to 1st Review SUP Comments
07/22/2020 - Response to 2nd Review SUP Comments

Date: 07/22/2020
Scale: 1" = 200'

Drawn By: JRR Checked By: CMR

Project Number:
18-0001-978

Drawing Number:
2 / 16

LINE	LENGTH	BEARING
L1	15.00'	S03°10'42"W
L2	15.59'	N09°03'29"E

NO.	LENGTH	RADIUS	DELTA	CHORD	CHORD BEARING
C1	95.51'	524.12'	010°26'28"	95.38'	S02°01'38"E
C2	47.13'	30.00'	090°00'35"	42.43'	S48°10'42"W



SITE DESCRIPTION & ANALYSIS

THE PROPOSED SITE IS HEAVILY WOODED WITH A SITE AREA OF 8.15 ACRES. THE SOUTHERN PORTION OF THE SITE INCLUDES THREE EXISTING HOUSES WITH ASSOCIATED GRAVEL DRIVES AND IS BOUNDED BY APPROXIMATELY 636 FEET OF FRONTAGE ALONG HOMESTEAD ROAD TO THE SOUTH.

THE WESTERN PORTION OF THE SITE IS BOUNDED TO THE WEST BY A DEVELOPMENT OWNED BY THE TOWN OF CHAPEL HILL TO BE PLANNED AS A MIXED-INCOME RESIDENTIAL COMMUNITY.

THE EASTERN PORTION OF THE SITE HAS APPROXIMATELY 535 FEET OF FRONTAGE ALONG WEAVER DAIRY ROAD.

THE NORTHERN PORTION OF THE SITE HAS AN EXISTING STREAM CUTTING THROUGH THE NORTH EASTERN CORNER. THE SITE PRIMARILY DRAINS FROM THE SOUTH TO THE NORTH TO A PERENNIAL STREAM. THERE IS AN EXISTING CONCRETE FLUME CLASSIFIED AS AN EPHEMERAL STREAM THAT RUNS SOUTH TO NORTH AND IS LOCATED ALONG THE WESTERN PORTION OF THE SITE.

CONSTRUCTION WASTE STANDARD NOTES

ALL EXISTING STRUCTURES 500 SQUARE FEET AND LARGER IN SIZE SHALL BE ASSESSED PRIOR TO DEMOLITION TO ENSURE COMPLIANCE WITH THE COUNTY'S REGULATED RECYCLABLE MATERIALS ORDINANCE (RMO) AND TO ASSESS THE POTENTIAL FOR DE-CONSTRUCTION AND/OR THE RE-USE OF SALVAGEABLE MATERIALS.

BY ORANGE COUNTY ORDINANCE, CLEAN WOOD WASTE, SCRAP METAL, AND OTHER HAZARDOUS MATERIALS PRESENT IN CONSTRUCTION OR DEMOLITION WASTE MUST BE RECYCLED.

BY ORANGE COUNTY ORDINANCE, ALL HAULERS OF MIXED CONSTRUCTION AND DEMOLITION WASTE THAT INCLUDES ANY REGULATED RECYCLABLE MATERIALS SHALL BE LICENSED BY ORANGE COUNTY.

PRIOR TO ANY DEMOLITION OR CONSTRUCTION ACTIVITY ON THE SITE THE APPLICANT SHALL HOLD A PRE-DEMOLITION/PRE-CONSTRUCTION CONFERENCE WITH THE SOLID WASTE STAFF. THIS MAY BE THE SAME PRE-CONSTRUCTION MEETING HELD WITH OTHER DEVELOPMENT/ENFORCEMENT OFFICIALS.

THE PRESENCE OF ANY ASBESTOS CONTAINING MATERIALS (ACM) AND/OR OTHER HAZARDOUS MATERIALS IN CONSTRUCTION AND DEMOLITION WASTE SHALL BE HANDLED IN ACCORDANCE WITH ANY AND ALL LOCAL, STATE, AND FEDERAL REGULATIONS AND GUIDELINES.

LEGEND

- Concrete Post
- Tacked Hub / Trav Pt
- Post Sign / Lamp
- Sign
- Billboard / OH Sign
- Deciduous Tree
- Pine Tree
- Shrub
- Sanitary Manhole
- Cleanout Access
- Storm Manhole
- Catch Basin
- Curb Inlet W / Grate
- Gas Valve
- Overhead Telephone
- Overhead Electric
- Electric Manhole
- Electric Transformer
- Comm Manhole
- Tel Pedestal
- Pole Elec
- Pole Elec Tel
- Pole Elec Tel Light
- Pole Tel
- Pole Tel Light
- Pole Light
- Pole Signal
- Traffic Box
- Guy Pole
- Guy Wire
- Gas Meter
- Underground Line Marker
- Sprinkler Valve Box
- Misc. Manhole
- Iron Pipe Found
- Iron Rod Found
- PK Nail Found
- RR Spike Found
- Fence Post Found
- Stone Found
- Conc. Monument Found
- Monument Box Found
- Underground Gas
- Ex. Property Boundary
- Ex. Edge of Road
- Fire Hydrant
- Water Valve
- Mailbox
- Monitoring Well
- Iron Pin Set
- PK Nail Set
- RR Spike Set
- Iron pins set are 3/4" diameter iron pipe, 30" long and capped Advanced 7661.
- Fence
- Denotes Record Call
- Underground Electric
- Ex. Sanitary
- Ex. Waterline
- Ex. Soil Type Boundary
- Ex. of Stream
- Ex. Edge of Pavement

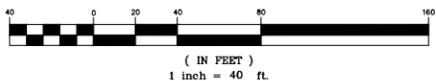
EXISTING IMPERVIOUS SURFACES

BUILDINGS	= 8,510 SF
DRIVES	= 9,803 SF
WALLS	= 138 SF
FLUME	= 1,710 SF
EQUIDERS	= 118 SF
TOTAL	= 20,279 SF

FLOOD NOTE

By graphic plotting only this property is located in Zone X (areas determined to be outside of the 0.2% annual chance floodplain) by the Federal Emergency Management Agency on Flood Insurance Rate Map, Community Panel No. 3710987000K, with an effective date of 11/17/2017, in Orange County, North Carolina. No field surveying was performed to determine this zone.

GRAPHIC SCALE



GENERAL NOTES

- Areas calculated by coordinate geometry.
- All distances are horizontal ground distances.
- Basis of Bearing NC GRID 1983 Horizontal Datum & Vertical Datum NAD-88.
- Boundary information shown hereon was prepared by John R. McAdams Company.
- Dimensions on this plan are expressed in feet and decimal parts thereof unless otherwise noted. Monuments were placed at points where indicated.
- Applicant shall receive a credit for the water meters being abandoned in accordance with the current fee schedule in place at the time of abandonment.

REFERENCES:

- D.B. 6433, Pg. 183
- D.B. 5941, Pg. 562
- D.B. 6059, Pg. 260
- D.B. 6060, Pg. 046
- P.B. 0091, Pg. 119
- P.B. 0116, Pg. 87

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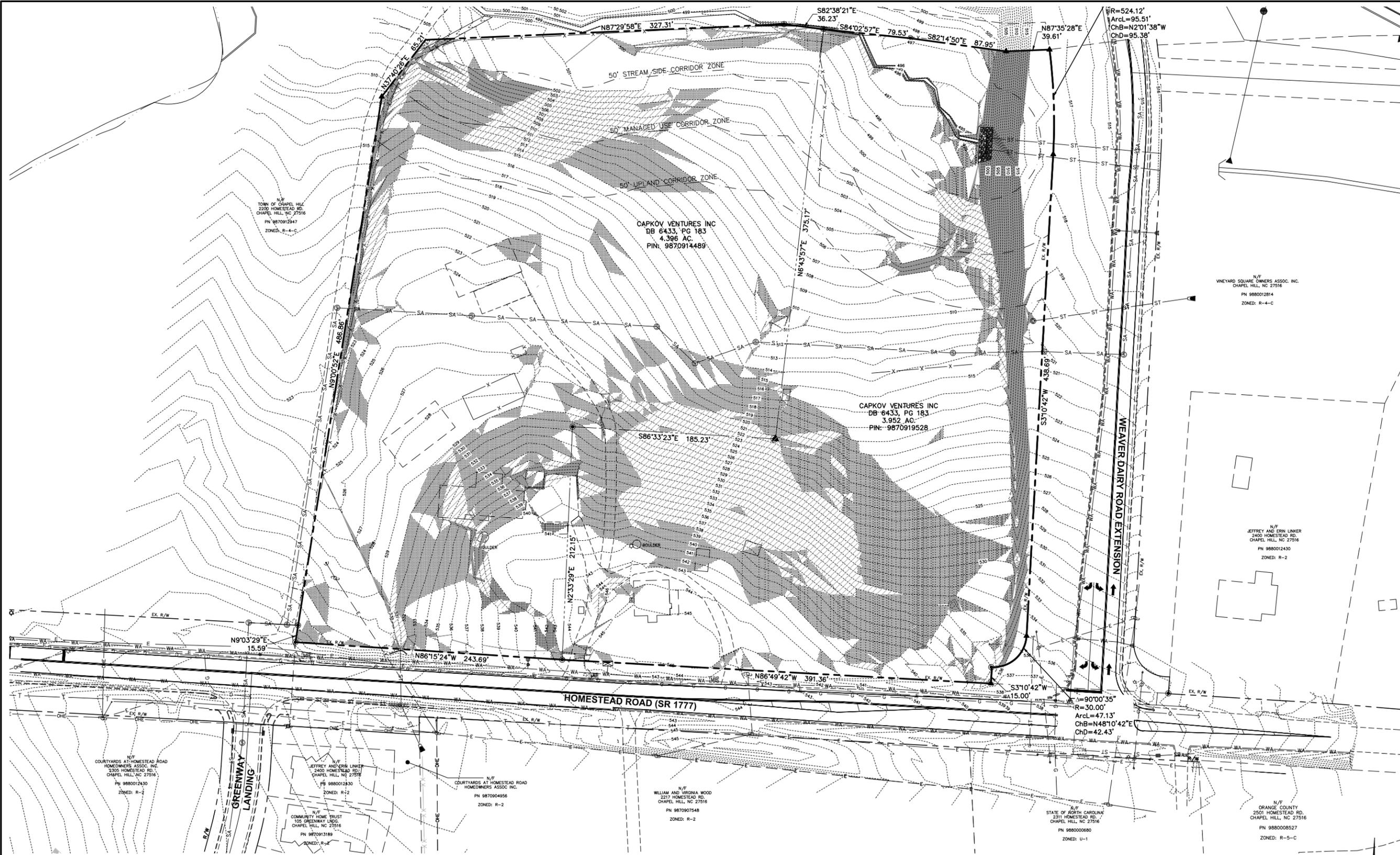
PLAN PREPARED BY: ADVANCED CIVIL DESIGN ENGINEERS SURVEYORS
51 Kilmorye Drive, Suite 105
Cary, North Carolina 27511
PH 919-481-8290
FAX 919-336-5127

PLAN PREPARED FOR: KB HOME CAROLINAS
4506 SOUTH MIAMI BLVD., SUITE 100A
DURHAM, NC 27703
PHONE: 919-766-7960

HOMESTEAD ROAD, CHAPEL HILL, NC - ORANGE COUNTY
BRIDGEPOINT
CONDITIONAL ZONING PLANS
FOR
KB HOME CAROLINAS
EXISTING CONDITIONS PLAN

DATE: 07/22/2020
SCALE: 1" = 40'
DRAWN BY: JRR
CHECKED BY: CMR
PROJECT NUMBER: 18-0001-978
DRAWING NUMBER: 3 / 16

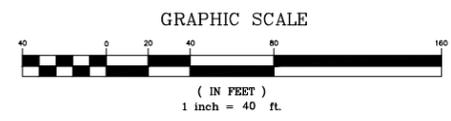
C:\18-0001-97BNC\DWG\Production Drawings\DEVELOPMENT PLAN\001-97B-C204.dwg SLOPE ANALYSIS PLAN Jul 22, 2020 - 2:31:11pm crice



Existing slopes 25% or greater (constructed)	Steep Slope Areas (sf)
Existing slopes 25% or greater (natural)	14,992
Existing slopes 25% or greater (total)	2,787
Existing slopes 25% or greater (total)	17,779
Percent of slopes 25% or greater (constructed)	84%
Disturbed existing slopes 25% or greater (constructed)	7,579
Disturbed existing slopes 25% or greater (natural)	2,133
Disturbed existing slopes 25% or greater (total)	9,712
Percent of disturbed slopes 25% or greater (constructed)	51%
Percent of disturbed slopes 25% or greater (natural)	77%
Percent of disturbed slopes 25% or greater (Total)	55%

SLOPE HATCH LEGEND

SLOPES 0% TO 9.9%	DISTURBED SLOPE AREA = 176,640 SF TOTAL SLOPE AREA = 228,158 SF PERCENTAGE OF DISTURBED SLOPE AREA = 77.42%
SLOPES 10% TO 14.9%	DISTURBED SLOPE AREA = 68,724 SF TOTAL SLOPE AREA = 73,908 SF PERCENTAGE OF DISTURBED SLOPE AREA = 92.99%
SLOPES 15% TO 24.9%	DISTURBED SLOPE AREA = 41,914 SF TOTAL SLOPE AREA = 43,777 SF PERCENTAGE OF DISTURBED SLOPE AREA = 95.74%
SLOPES 25% OR GREATER	DISTURBED SLOPE AREA = 9,712 SF TOTAL SLOPE AREA = 17,779 SF PERCENTAGE OF DISTURBED SLOPE AREA = 55% (SEE TABLE THIS SHEET)



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PLAN PREPARED FOR:
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4506 SOUTH MIAMI BLVD., SUITE 100A
DURHAM, NC 27703
PHONE: 919-768-7960

HOMESTEAD ROAD, CHAPEL HILL, NC - ORANGE COUNTY
BRIDGEPOINT
CONDITIONAL ZONING PLANS
FOR
KB HOME CAROLINAS
SLOPE ANALYSIS PLAN

Issue Dates:
07/02/2020 - Initial Submitted to Town
02/06/2020 - Response to 1st Review SUP Comments
07/22/2020 - Response to 2nd Review SUP Comments

Date: 07/22/2020
Scale: 1" = 40'

Drawn By: JRR
Checked By: CMR

Project Number:
18-0001-978

Drawing Number:
4 / 16

07/22/2020

PRELIMINARY

SITE DATA TABLE

PROJECT NAME:	BRIDGEPOINT
APPLICANT:	ADVANCED CIVIL DESIGN, INC. 51 KILMAYNE DRIVE, SUITE 105 CARY, NC 27511
PARCEL ID NUMBERS:	9870914489, 9870919528
LAND AREA CALCULATIONS:	8.348 ACRES
NET LAND AREA:	0.51 ACRES (1/2 HOMESTEAD R/W)
CREDITED STREET AREA:	0.88 ACRES (1/2 WEAVER DAIRY RD R/W)
TOTAL GROSS LAND AREA (GLA):	9.182 ACRES (USED FOR DENSITY CALCULATION)
CURRENT ZONING:	R-5-C
OUTSIDE CORPORATE LIMITS:	NO
OUTSIDE WATERSHED PROTECTION DISTRICT:	YES
OUTSIDE FLOODPLAIN:	YES
OVERLAY DISTRICTS:	NONE
EXISTING LAND USE:	SINGLE FAMILY
PROPOSED LAND USE:	MULTI-FAMILY WITH CONDITIONAL ZONING
ALLOWABLE DENSITY R-5:	15 UNITS/AC GROSS LAND AREA = 9.182 AC # UNITS ALLOWED = 137
PROPOSED SINGLE FAMILY UNITS:	48
PROPOSED AFFORDABLE UNITS:	5 (LABELED "AHU" ON THIS SHEET)
PROPOSED TOTAL # OF UNITS:	53
PROPOSED MINIMUM LOT SIZE:	2,400 SF
RECREATION SPACE REQUIRED:	GROSS LAND AREA x RECREATION SPACE RATIO (399,975 SF) x (0.05) = 19,999 SF
RECREATION SPACE PROVIDED:	8,267 SF POCKET PARK 17,330 SF GREENWAY EASEMENT 25,597 SF TOTAL
PROPOSED INTERIOR LOT SETBACKS:	FRONT: 0' SIDE: 0' SIDE CORNER: 0' REAR: 0'
REQUIRED PERIMETER SETBACKS:	INTERIOR: 6' STREET: 10' SOLAR: 8'
PROPOSED BUILDING SEPARATION:	12'
MAXIMUM BUILDING HEIGHT (PRIMARY):	39'
MAXIMUM BUILDING HEIGHT (SECONDARY):	60'
MAXIMUM FLOOR AREA RATIO:	0.303
PROPOSED FLOOR AREA RATIO:	0.248
MAXIMUM IMPERVIOUS SURFACE RATIO:	0.50
PROPOSED IMPERVIOUS SURFACE RATIO:	0.385

TREE CANOPY COVERAGE CALCULATIONS

TREE CANOPY COVERAGE REQUIRED:	30%
NET LAND AREA:	8.348 AC
AREAS NOT COUNTING TOWARD TREE CANOPY CALCULATIONS:	
RECREATION AREAS:	0.601 AC
EASEMENTS (EXCLUDING PAVEMENT):	1.595 AC
RIGHT OF WAY:	1.251 AC
TOTAL LAND AREA NOT COUNTED:	3.447 AC
APPLICABLE LAND AREA:	4.901 AC
TREE CANOPY REQUIRED:	4.901 AC X 30% = 1.470 AC
EXISTING TREE CANOPY TO REMAIN:	0.863 AC
ADDITIONAL TREE CANOPY REQUIRED:	0.607 AC
TREE REPLACEMENT AREA:	0.536 AC
PROPOSED STREET TREES (1 PER 500 SF):	26 TREES = 0.298 AC
ADDITIONAL TREE CANOPY PROVIDED:	0.834 AC
TOTAL TREE CANOPY PROVIDED:	1.697 AC
REQUIRED # OF 2.5" CALIPER TREES:	49 TREES
PROPOSED STREET TREES:	26 TREES
PROPOSED BUFFER TREES:	68 TREES
TOTAL TREES:	94 TREES

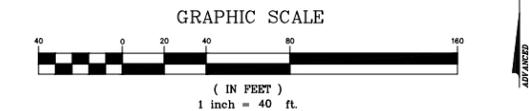
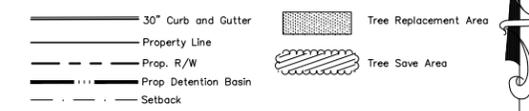
TOWN OF CHAPEL HILL FIRE DEPARTMENT NOTES:

1. A NOTE SHALL BE REQUIRED ON THE FINAL PLAT THAT STATES "ALL LOCAL STREETS WITHIN THE BRIDGEPOINT SUBDIVISION SHALL NOT ALLOW ON-STREET PARKING IN ACCORDANCE WITH SECTION D103 OF THE 2018 NORTH CAROLINA FIRE PREVENTION CODE."

GENERAL NOTES

1. A DESCRIPTION AND ANALYSIS OF ADJACENT LAND USES, ROADS, TOPOGRAPHY, SOILS, DRAINAGE PATTERNS, ENVIRONMENTAL CONSTRAINTS, FEATURES, EXISTING VEGETATION, AND VISTAS CAN BE FOUND ON SHEET 3 - EXISTING CONDITIONS PLAN.
2. ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
3. THE REQUIRED RECREATION SPACE HAS BEEN MET AND EXCEEDED. SEE SITE DATA TABLE ON THIS SHEET.
4. ALL TRASH FOR TOWNHOMES WILL BE COLLECTED BY ROLL-OUT CURBSIDE PICK UP AND SERVICE SHALL BE PROVIDED BY TOWN OF CHAPEL HILL.
5. OVERFLOW PARKING SHOWN ARE 90 DEGREE BAYS AND SPACE MARKINGS PER TOWN OF CHAPEL HILL CODE FOR PARKING LOTS.
6. EACH SINGLE FAMILY TOWNHOME LOT WILL HAVE A MAXIMUM ALLOWABLE IMPERVIOUS SURFACE AREA OF 1,900 SF. THIS AMOUNT IS SUBJECT TO CHANGE AND WILL BE FINALIZED WITH THE FINAL ZONING COMPLIANCE PLANS.
7. SEE SHEET 16 FOR STREET CROSS SECTION DETAILS.
8. ALL PROPOSED STREETS ARE PUBLIC.

LEGEND

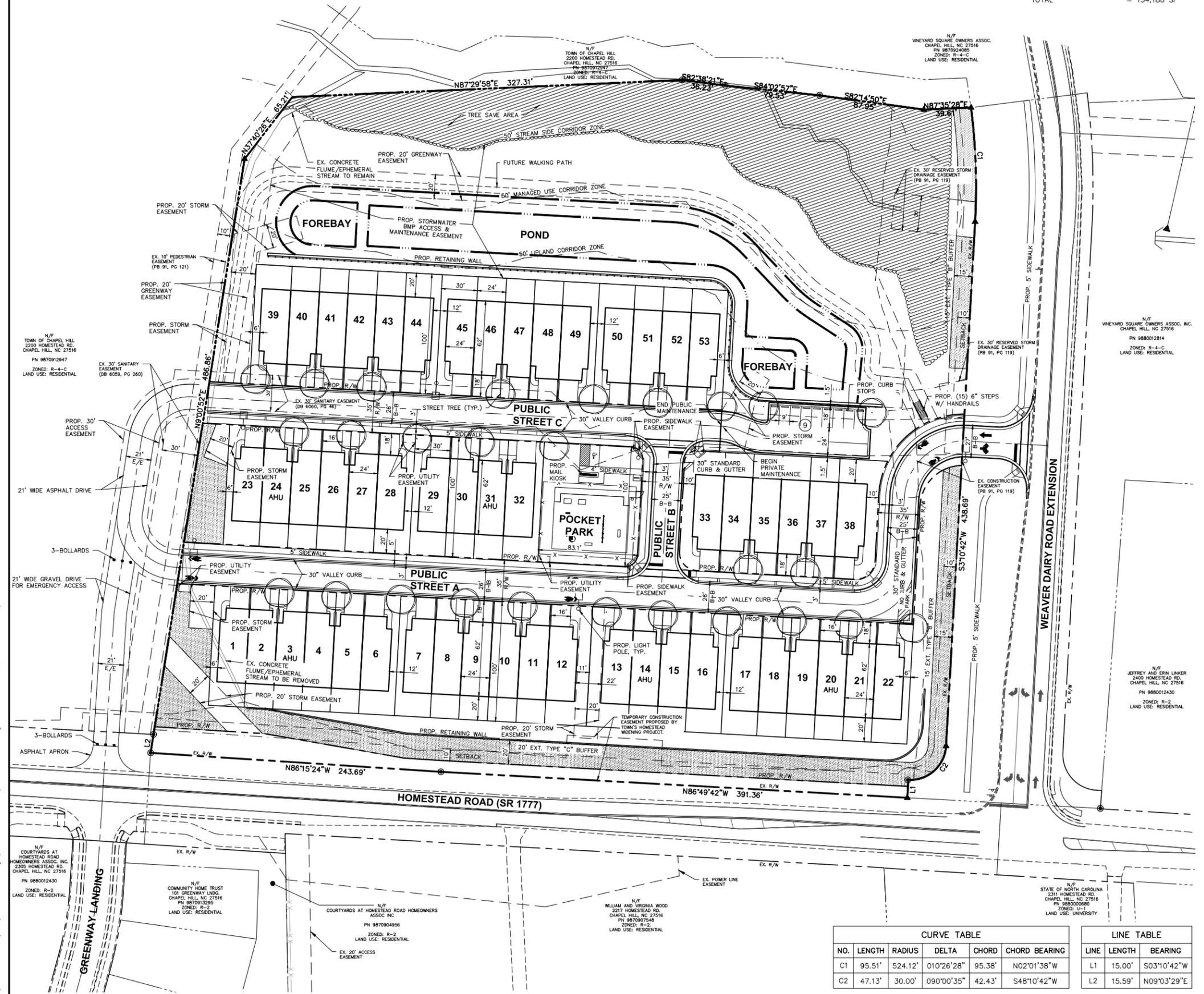


EXISTING IMPERVIOUS SURFACES

BUILDINGS	=	8,510 SF
DRIVES	=	9,803 SF
WALLS	=	138 SF
FLUME	=	1,710 SF
BOULDERS	=	118 SF
TOTAL	=	20,279 SF

PROPOSED IMPERVIOUS SURFACES

BUILDINGS	=	76,479 SF
WALLS	=	1,818 SF
DRIVEWAYS	=	16,912 SF
ROADWAY	=	39,117 SF
PARKING LOT	=	4,901 SF
SIDEWALK	=	14,961 SF
TOTAL	=	154,188 SF



CURVE TABLE				
NO.	LENGTH	RADIUS	DELTA	CHORD
C1	95.51'	524.12'	010°26'28"	95.38'
C2	47.13'	30.00'	090°00'35"	42.43'

LINE TABLE		
LINE	LENGTH	BEARING
L1	15.00'	S03°10'42"W
L2	15.59'	N09°03'29"E

0:\18-0001-978NC\Production Drawings\DEVELOPMENT PLAN\0001-978-C205.dwg SITE PLAN Jul 22, 2020 - 2:31:20pm cric

PLAN PREPARED BY: ADVANCED CIVIL DESIGN, INC. ENGINEERS & SURVEYORS
 51 Kilmayne Drive, Suite 105
 Cary, North Carolina 27511
 PH 919-481-8290
 FAX 919-338-5127

PLAN PREPARED FOR: KB HOME CAROLINAS
 4506 SOUTH MIAMI BLVD., SUITE 100A
 DURHAM, NC 27703
 PHONE: 919-766-7960

PROJECT: BRIDGEPOINT
 LOCATION: HOMESTEAD ROAD, CHAPEL HILL, NC - ORANGE COUNTY

PRELIMINARY
 NORTH CAROLINA PROFESSIONAL ENGINEER
 MERON W. BRICE
 07/22/2020

Issue Dates:
 01/02/2020 - Initial Submitted to Town
 02/06/2020 - Response to 1st Review SUP Comments
 07/22/2020 - Response to 2nd Review SUP Comments

Date: 07/22/2020
 Scale: 1" = 40'
 Project Number: 18-0001-978
 Drawing Number: 5 / 16

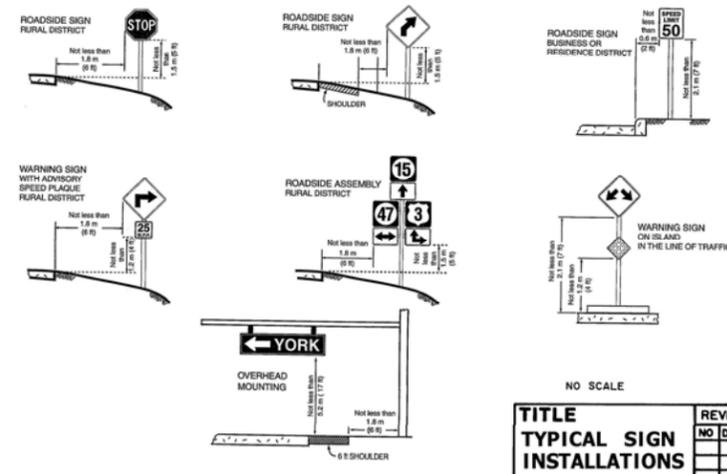
LEGEND

- 30" Curb and Gutter
- Property Line
- - - Prop. R/W
- Prop. Detention Basin
- Setback

CURVE TABLE					
NO.	LENGTH	RADIUS	DELTA	CHORD	CHORD BEARING
C1	95.51'	524.12'	010°26'28"	95.38'	N02°01'38"W
C2	47.13'	30.00'	090°00'35"	42.43'	S48°10'42"W

LINE TABLE		
LINE	LENGTH	BEARING
L1	15.00'	S03°10'42"W
L2	15.59'	N09°03'29"E

Heights and Lateral Locations of Signs for Typical Installations

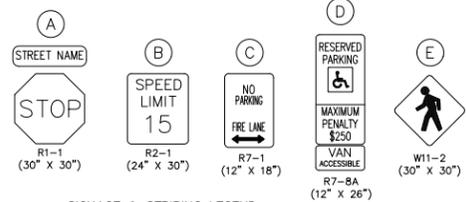


TITLE	REVISIONS	DET. NO.
TYPICAL SIGN INSTALLATIONS	NO DATE BY	ST-12

**TOWN OF CHAPEL HILL
ST. NAME & TRAFFIC SIGN STANDARDS**

- STREET NAME SIGNS**
- All names will start with a 6" capital letter, followed by lower case letters. The road designations (St., Rd., Cr., etc.) will be in 50% superscript, aligned with the top letter edge.
 - The color scheme should be a background of bright green with white high intensity grade letters & border (1/2"). The border is NOT inset.
 - The street name sign should include on the left a replication of the Town seal, & on the right a block number.
 - The Town seal should be the same color and height as the Street name.
 - Block numbers should be the same color as the superscript, 2" in height, & aligned with the bottom of the street name. The number should be centered 3/4" below the road superscript.
 - The letter font should be Highway Gothic C Fed Kern RevB.
 - All street name sign blades must be nine inches in height. The minimum length is 30", maximum is 48". The actual length of the blade will be dictated by the number of letters in the name.
 - The street name (including Town seal, block numbers, & superscript) should be at least 4" shorter than the sign blade.
 - All street name posts will be round, aluminum or steel, 2 3/8" OD, & at least 10' in length.
 - STOP signs - 30" x 30"
 - REGULATORY SIGNS - STOP, YIELD, DO NOT ENTER, WRONG WAY, & SPEED LIMIT signs should be fabricated with High Intensity reflective material.
- ALL OTHER SIGNS**
- STOP signs - 30" x 30"
 - REGULATORY SIGNS - STOP, YIELD, DO NOT ENTER, WRONG WAY, & SPEED LIMIT signs should be fabricated with High Intensity reflective material.
 - All other signs shall be made from Engineer Grade material.
 - All other signs should be 7' from the ground to the bottom of the sign, unless more than one sign is on a post.
 - Installed signs should be minimum of 2' from sign edge to the road edge.
 - All other sign posts should be channel posts made of galvanized steel, 8' posts 2lbs/ft, 12' posts 3lbs/ft.
 - All signs are required to be designed in accordance with the MUTCD standards.

TITLE:	REVISIONS	DET. NO.
STREET NAME & TRAFFIC SIGN STANDARDS	02/08 ER	ST - 15



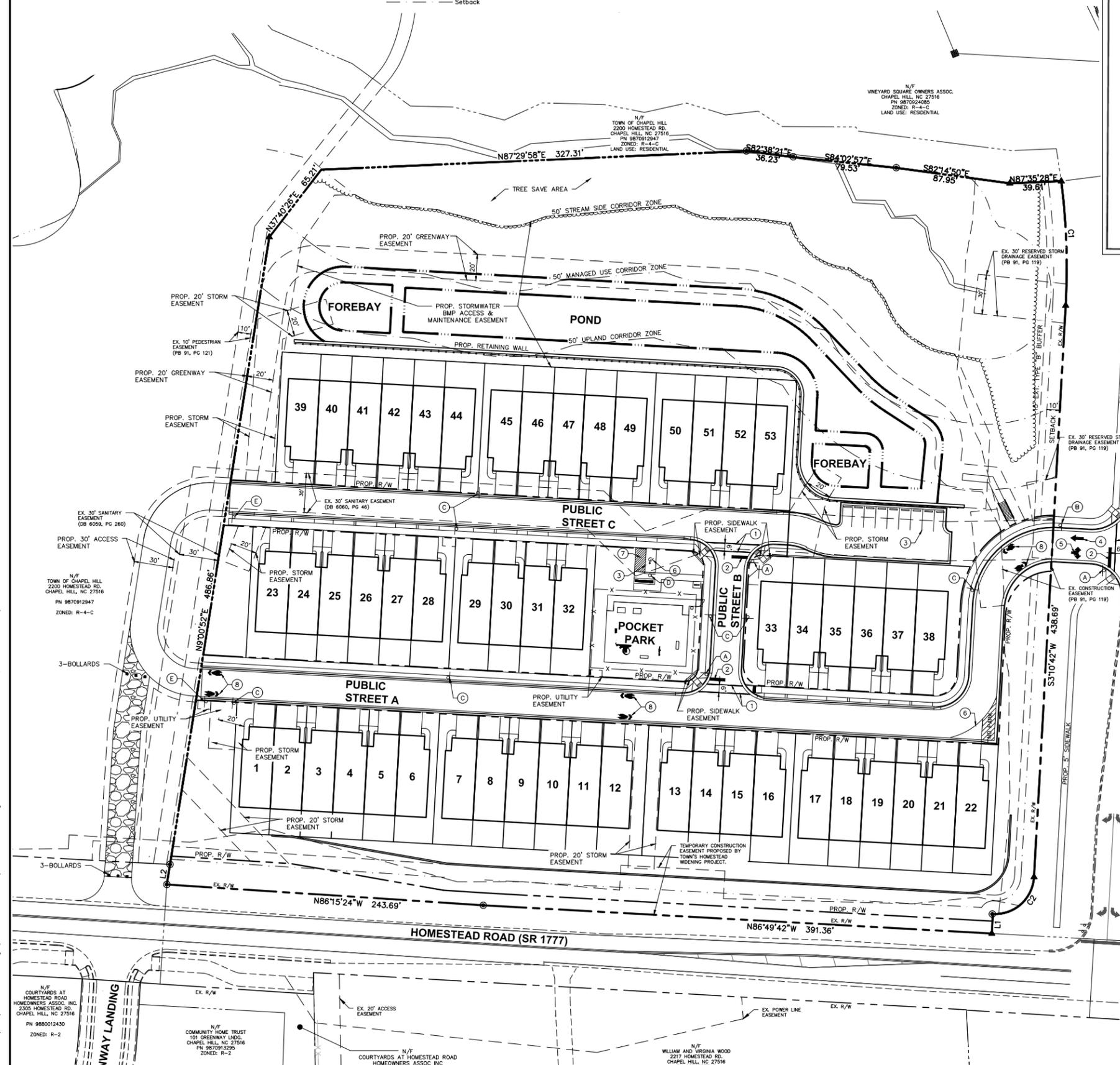
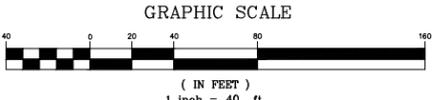
- SIGNAGE & STRIPING LEGEND**
- | | |
|-------------------------------|--------------------------------------|
| 1 8" WHITE CROSSWALK LINES | 5 96" RIGHT & LEFT TURN ARROW |
| 2 24" WHITE STOP BAR LINES | 6 4" WHITE TRANSVERSE LINE |
| 3 4" WHITE PARKING STALL LINE | 7 24" HIGH VISIBILITY CROSSWALK LINE |
| 4 114" THROUGH LANE ARROW | 8 112" SHARED LANE SYMBOL |

TOWN OF CHAPEL HILL FIRE DEPARTMENT NOTES:

- A NOTE SHALL BE REQUIRED ON THE FINAL PLAT THAT STATES "ALL LOCAL STREETS WITHIN THE BRIDGEPOINT SUBDIVISION SHALL NOT ALLOW ON-STREET PARKING IN ACCORDANCE WITH SECTION D103 OF THE 2018 NORTH CAROLINA FIRE PREVENTION CODE."

GENERAL NOTES

- SIGNS SHOULD BE LABELED PER PART 2 OF THE 2009 MUTCD MANUAL. SIGN POSTS AND MOUNTING HEIGHTS SHALL BE PER PART 2 OF THE 2009 MUTCD MANUAL.
- STRIPING SHALL BE INSTALLED PER PART 3 OF THE 2009 MUTCD MANUAL.



PLAN PREPARED BY: **ADVANCED CIVIL DESIGN ENGINEERS SURVEYORS**
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KB HOME CAROLINAS
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BRIDGEPOINT
 CONDITIONAL ZONING PLANS
 FOR
 KB HOME CAROLINAS
 SIGNAGE AND MARKING PLAN

PRELIMINARY
 NORTH CAROLINA PROFESSIONAL ENGINEER
 MERON W. BRICE
 07/22/2020

Issue Dates:
 01/22/2020 - Initial Submitted to Town
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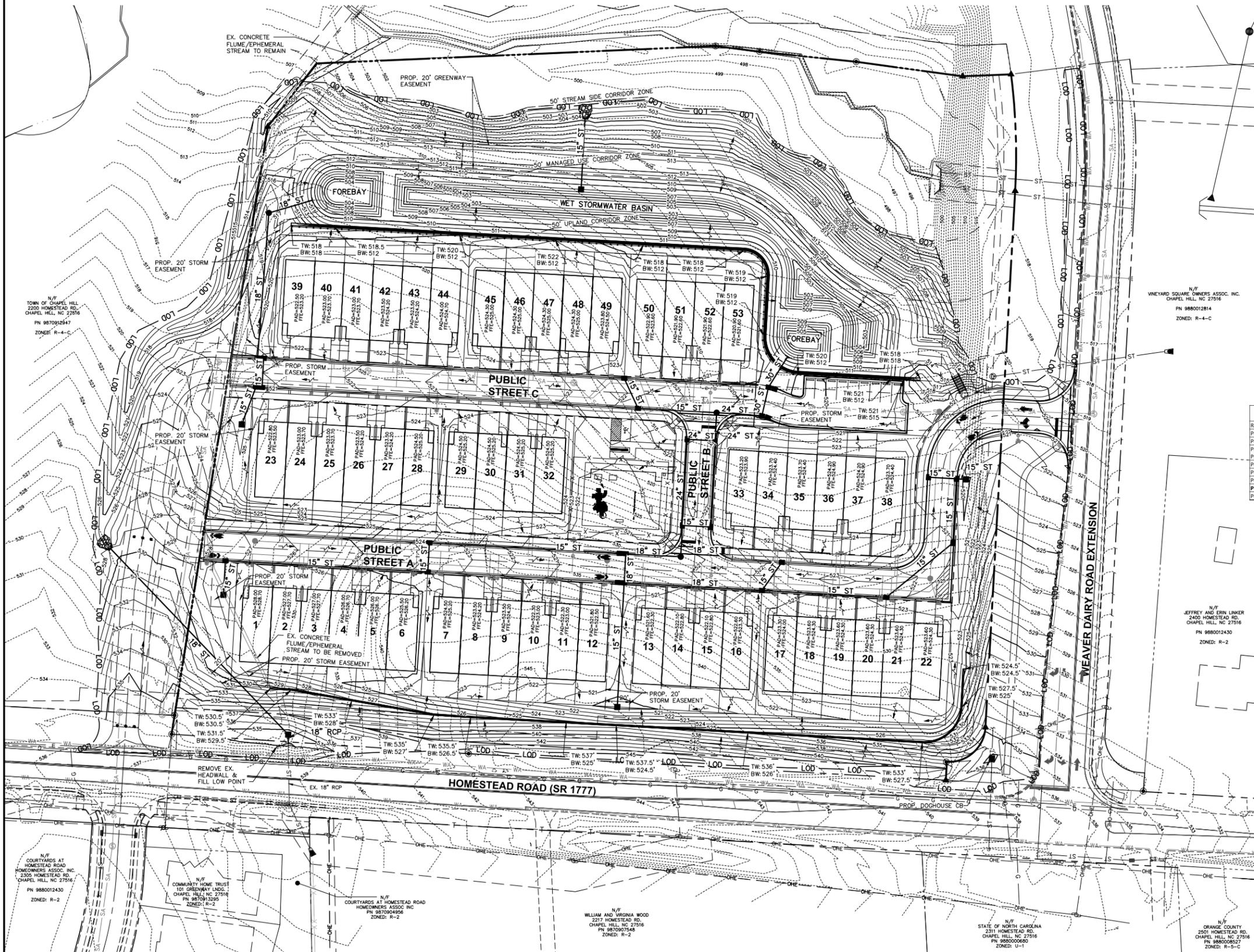
Drawn By: JRR
 Checked By: CMR

Project Number:
18-0001-978

Drawing Number:
6 / 16

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	Steep Slope Areas (sf)
Existing slopes 25% or greater (constructed)	14,992
Existing slopes 25% or greater (natural)	2,787
Existing slopes 25% or greater (total)	17,779
Percent of slopes 25% or greater (constructed)	84%
Disturbed existing slopes 25% or greater (constructed)	7,579
Disturbed existing slopes 25% or greater (natural)	2,133
Disturbed existing slopes 25% or greater (total)	9,712
Percent of disturbed slopes 25% or greater (constructed)	51%
Percent of disturbed slopes 25% or greater (natural)	77%
Percent of disturbed slopes 25% or greater (Total)	55%

RCD on Site	RCD Areas (sf)		
	50-ft Stream Side	50-ft Managed Use	50-ft Upland
Previously disturbed with construction of Weaver Dairy Rd Ext.	6,088	7,635	3,000
Proposed public greenway easement	0	8,119	4,790
Proposed Buildings	0	0	0
Proposed Impervious Area	0	0	259
Proposed Land Disturbance	0	27,783	30,888
Proposed Land Disturbance (excluding public greenway)	19,664	26,098	
Percent of land disturbance	0	78%	94%
Percent of land disturbance (excluding public greenway)	55%	77%	79%
Percent of disturbance per Table 3.6.3-3	20%	40%	40%

GENERAL NOTES:

TO MINIMIZE DAMAGE TO EXISTING TREES NEAR THE EXTERIOR EDGE OF THE SITE ADJACENT TO TREE CONSERVATION AREAS, THE CONTRACTOR SHALL CUT MINIMUM 2' TRENCHES ALONG THE LIMITS OF DISTURBANCE, SO AS TO CUT RATHER THAN TEAR ROOTS.

THE TREE PROTECTION FENCE SHALL BE MAINTAINED ON THE SITE UNTIL ALL SITE WORK IS COMPLETED AND THE FINAL SITE INSPECTION PRIOR TO THE CERTIFICATE OF OCCUPANCY (CO) IS SCHEDULED. THE FENCING SHALL BE REMOVED PRIOR TO FINAL SITE INSPECTION FOR THE CO.

PERMANENT GROUND COVER WILL BE ESTABLISHED IN 7 TO 14 WORKING DAYS PER NPDES REQUIREMENTS. REFER TO APPROVED SEDIMENT AND EROSION CONTROL PLANS.

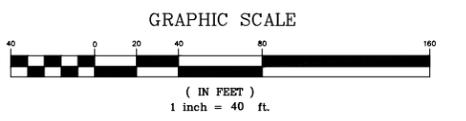
CUT/FILL SLOPES SHALL BE STABILIZED WITHIN 14 DAYS OF ANY PHASE OF GRADING.

A PRE-CONSTRUCTION CONFERENCE WILL BE REQUIRED PRIOR TO THE GRADING PERMIT BEING ISSUED.

STREETS ADJACENT TO THIS PROJECT TO BE KEPT CLEAN AT ALL TIMES OR A WASH STATION WILL BE REQUIRED.

THE DEVELOPER SHALL PROVIDE AN EROSION CONTROL BOND PRIOR TO OBTAINING A ZONING COMPLIANCE PERMIT.

- LEGEND**
- - - - - 916 - - - - - EXISTING CONTOUR - 1'
 - - - - - 915 - - - - - EXISTING CONTOUR - 5'
 - ST — EXISTING STORM SEWER
 - SA — EXISTING SANITARY SEWER
 - WA — EXISTING WATER LINE
 - - - - - 916 - - - - - PROPOSED CONTOUR - 1'
 - - - - - 915 - - - - - PROPOSED CONTOUR - 5'
 - P-S — PROPOSED STORM SEWER
 - P-S — PROPOSED SANITARY
 - P-W — PROPOSED WATER LINE
 - LOD — LIMITS OF DISTURBANCE
 - — — — — DRAINAGE BOUNDARY TO POND
 - ▲— SURFACE FLOW ARROW



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BRIDGEPOINT
HOMESTEAD ROAD, CHAPEL HILL, NC — ORANGE COUNTY

FOR
CONDITIONAL ZONING PLANS
KB HOME CAROLINAS
GRADING AND DRAINAGE PLAN

NORTH CAROLINA PROFESSIONAL ENGINEER
MERON W. BRICE
07/22/2020

Issue Dates:
01/22/2020 — Initial Submitted to Town
02/06/2020 — Response to 1st Review SJP Comments
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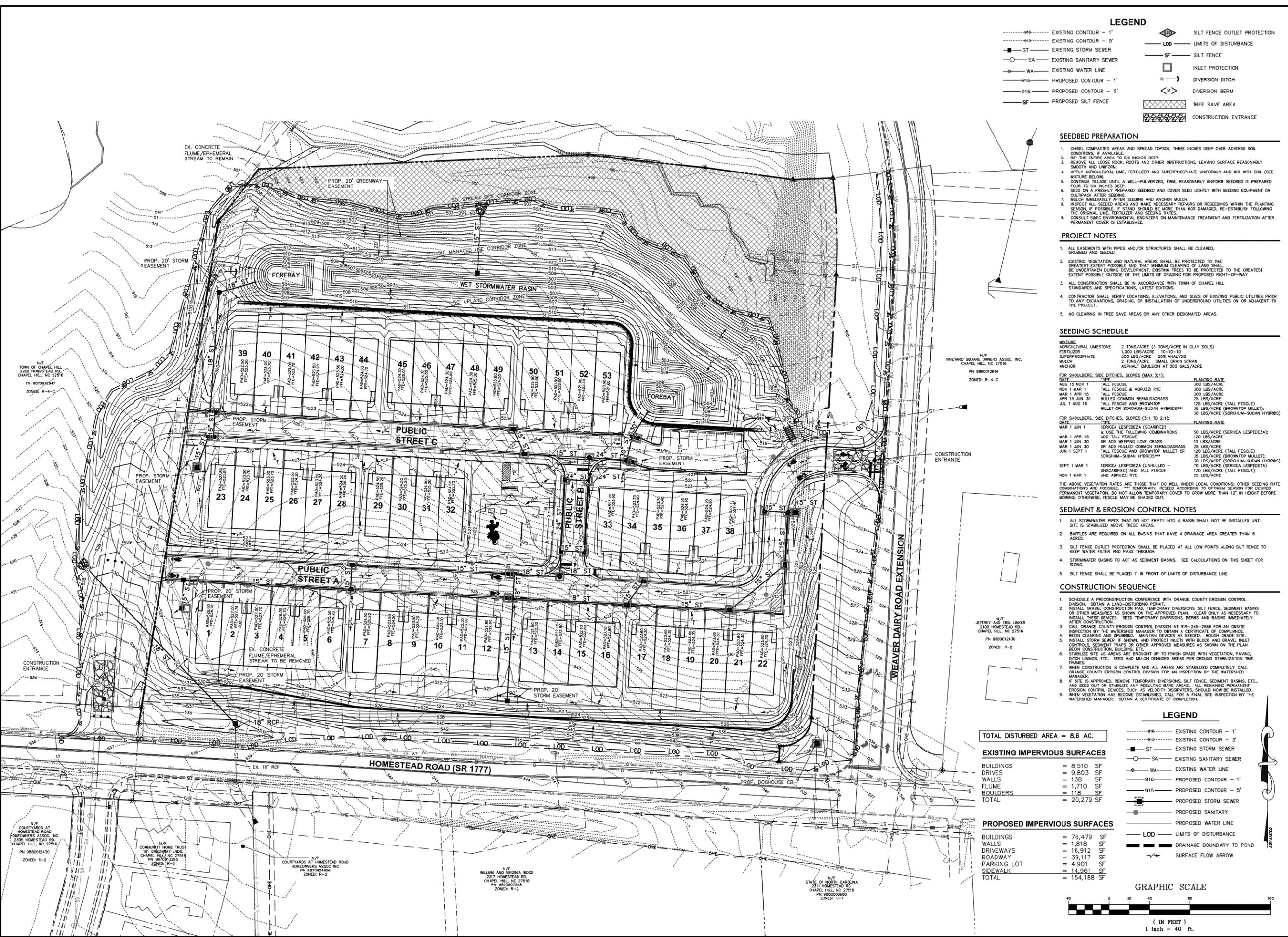
Date: 07/22/2020
Scale: 1" = 40'

Drawn By: JRR
Checked By: CMR

Project Number:
18-0001-978

Drawing Number:
7 / 16

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LEGEND

---916---	EXISTING CONTOUR - 1'		SILT FENCE OUTLET PROTECTION
---915---	EXISTING CONTOUR - 5'		LIMITS OF DISTURBANCE
---ST---	EXISTING STORM SEWER		SILT FENCE
---SA---	EXISTING SANITARY SEWER		INLET PROTECTION
---WA---	EXISTING WATER LINE		DIVERSION DITCH
---916---	PROPOSED CONTOUR - 1'		DIVERSION BERM
---915---	PROPOSED CONTOUR - 5'		TREE SAVE AREA
---SF---	PROPOSED SILT FENCE		CONSTRUCTION ENTRANCE

- SEEDBED PREPARATION**
- CHISEL COMPACTED AREAS AND SPREAD TOPSOIL THREE INCHES DEEP OVER ADVERSE SOIL CONDITIONS, IF AVAILABLE.
 - RIP THE ENTIRE AREA TO SIX INCHES DEEP.
 - REMOVE ALL LOOSE ROCK, ROOTS AND OTHER OBSTRUCTIONS, LEAVING SURFACE REASONABLY SMOOTH AND UNIFORM.
 - APPLY AGRICULTURAL LIME, FERTILIZER AND SUPERPHOSPHATE UNIFORMLY AND MIX WITH SOIL (SEE MIXTURE BELOW).
 - CONTINUE TILLAGE UNTIL A WELL-PULVERIZED, FIRM, REASONABLY UNIFORM SEEDBED IS PREPARED FOUR TO SIX INCHES DEEP.
 - SEED ON A FRESHLY PREPARED SEEDBED AND COVER SEED LIGHTLY WITH SEEDING EQUIPMENT OR CULTIPACK AFTER SEEDING.
 - MULCH IMMEDIATELY AFTER SEEDING AND ANCHOR MULCH.
 - INSPECT ALL SEEDED AREAS AND MAKE NECESSARY REPAIRS OR RESEEDINGS WITHIN THE PLANTING SEASON, IF POSSIBLE. IF STAND SHOULD BE MORE THAN 60% DAMAGED, RE-ESTABLISH FOLLOWING THE ORIGINAL LIME, FERTILIZER AND SEEDING RATES.
 - CONSULT S&EC ENVIRONMENTAL ENGINEERS ON MAINTENANCE TREATMENT AND FERTILIZATION AFTER PERMANENT COVER IS ESTABLISHED.

- PROJECT NOTES**
- ALL EASEMENTS WITH PIPES AND/OR STRUCTURES SHALL BE CLEARED, GRUBBED AND SEEDED.
 - EXISTING VEGETATION AND NATURAL AREAS SHALL BE PROTECTED TO THE GREATEST EXTENT POSSIBLE AND THAT MINIMUM CLEARING OF LAND SHALL BE UNDERTAKEN DURING DEVELOPMENT. EXISTING TREES TO BE PROTECTED TO THE GREATEST EXTENT POSSIBLE OUTSIDE OF THE LIMITS OF GRADING FOR PROPOSED RIGHT-OF-WAY.
 - ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH TOWN OF CHAPEL HILL STANDARDS AND SPECIFICATIONS, LATEST EDITIONS.
 - CONTRACTOR SHALL VERIFY LOCATIONS, ELEVATIONS, AND SIZES OF EXISTING PUBLIC UTILITIES PRIOR TO ANY EXCAVATIONS, GRADING, OR INSTALLATION OF UNDERGROUND UTILITIES ON OR ADJACENT TO THE PROJECT.
 - NO CLEARING IN TREE SAVE AREAS OR ANY OTHER DESIGNATED AREAS.

SEEDING SCHEDULE

MIXTURE	AGRICULTURAL LIMESTONE	2 TONS/ACRE (3 TONS/ACRE IN CLAY SOILS)
FERTILIZER		1,000 LBS/ACRE 10-10-10
SUPERPHOSPHATE		500 LBS/ACRE SOIL ANALYSIS
MULCH		2 TONS/ACRE SMALL GRASS STRAW
ANCHOR		ASPHALT EMULSION AT 300 GALS/ACRE

FOR SHOULDER, SIDE DITCHES, SLOPES (MAX. 3:1):

DATE	TYPE	PLANTING RATE
AUG 15 NOV 1	TALL FESCUE	300 LBS/ACRE
NOV 1 MAR 1	TALL FESCUE & ABRUZZI RYE	300 LBS/ACRE
MAR 1 APR 15	TALL FESCUE	300 LBS/ACRE
APR 15 JUN 30	HULLED COMMON BERMUDAGRASS	25 LBS/ACRE
JUL 1 AUG 15	TALL FESCUE AND BROWNTOP	125 LBS/ACRE (TALL FESCUE)
	MULLET OR SORGHUM-SUDAN HYBRIDS***	35 LBS/ACRE (BROWNTOP MULLET); 30 LBS/ACRE (SORGHUM-SUDAN HYBRIDS)

FOR SHOULDER, SIDE DITCHES, SLOPES (2:1 TO 2:1):

DATE	TYPE	PLANTING RATE
MAR 1 JUN 1	SERICA LESPEDEZA (SCARIFIED) & USE THE FOLLOWING COMBINATIONS	50 LBS/ACRE (SERICIA LESPEDEZA); 120 LBS/ACRE
MAR 1 APR 15	ADD TALL FESCUE	10 LBS/ACRE
MAR 1 JUN 30	OR ADD WEEPING LOVE GRASS	10 LBS/ACRE
MAR 1 JUN 30	OR HULLED COMMON BERMUDAGRASS	25 LBS/ACRE
JUN 1 SEPT 1	TALL FESCUE AND BROWNTOP MULLET OR SORGHUM-SUDAN HYBRIDS***	120 LBS/ACRE (TALL FESCUE); 30 LBS/ACRE (SORGHUM-SUDAN HYBRIDS)
SEPT 1 MAR 1	SERICA LESPEDEZA (UNHULLED - UNSCARIFIED) AND TALL FESCUE	70 LBS/ACRE (SERICIA LESPEDEZA); 120 LBS/ACRE (TALL FESCUE)
NOV 1 MAR 1	AND ABRUZZI RYE	25 LBS/ACRE

THE ABOVE VEGETATION RATES ARE THOSE THAT DO WELL UNDER LOCAL CONDITIONS; OTHER SEEDING RATE COMBINATIONS ARE POSSIBLE. *** TEMPORARY: RESEED ACCORDING TO OPTIMUM SEASON FOR DESIRED PERMANENT VEGETATION. DO NOT ALLOW TEMPORARY COVER TO GROW MORE THAN 12" IN HEIGHT BEFORE MOWING; OTHERWISE, FESCUE MAY BE SHADED OUT.

- SEDIMENT & EROSION CONTROL NOTES**
- ALL STORMWATER PIPES THAT DO NOT EMPTY INTO A BASIN SHALL NOT BE INSTALLED UNTIL SITE IS STABILIZED ABOVE THESE AREAS.
 - BARRIERS ARE REQUIRED ON ALL BASINS THAT HAVE A DRAINAGE AREA GREATER THAN 5 ACRES.
 - SILT FENCE OUTLET PROTECTION SHALL BE PLACED AT ALL LOW POINTS ALONG SILT FENCE TO KEEP WATER FILTER AND PASS THROUGH.
 - STORMWATER BASINS TO ACT AS SEDIMENT BASINS. SEE CALCULATIONS ON THIS SHEET FOR SIZING.
 - SILT FENCE SHALL BE PLACED 1' IN FRONT OF LIMITS OF DISTURBANCE LINE.

- CONSTRUCTION SEQUENCE**
- SCHEDULE A PRECONSTRUCTION CONFERENCE WITH ORANGE COUNTY EROSION CONTROL DIVISION. OBTAIN A LAND-DISTURBING PERMIT.
 - INSTALL GRAVEL CONSTRUCTION PAD, TEMPORARY DIVERSIONS, SILT FENCE, SEDIMENT BASINS OR OTHER MEASURES AS SHOWN ON THE APPROVED PLAN. CLEAR ONLY AS NECESSARY TO INSTALL THESE MEASURES. SEED TEMPORARY DIVERSIONS, SEDIMENT BASINS IMMEDIATELY AFTER CONSTRUCTION.
 - CALL ORANGE COUNTY EROSION CONTROL DIVISION AT 919-245-2586 FOR AN ON-SITE INSPECTION BY THE WATERSHED MANAGER TO OBTAIN A CERTIFICATE OF COMPLIANCE.
 - BEGIN CLEARING AND GRUBBING. MAINTAIN DEVICES AS NEEDED. ROUGH GRADE SITE.
 - INSTALL STORM SEWER, IF SHOWN, AND PROTECT INLETS WITH BLOCK AND GRAVEL INLET CONTROLS, SEDIMENT TRAPS OR OTHER APPROVED MEASURES AS SHOWN ON THE PLAN.
 - BEGIN CONSTRUCTION, BUILDING, ETC. STABILIZE SITE AS AREAS ARE BROUGHT UP TO FINISH GRADE WITH VEGETATION, PAVING, DITCH LININGS, ETC. SEED AND MULCH DENIED AREAS PER GROUND STABILIZATION TIME FRAMES.
 - WHEN CONSTRUCTION IS COMPLETE AND ALL AREAS ARE STABILIZED COMPLETELY, CALL ORANGE COUNTY EROSION CONTROL DIVISION FOR AN INSPECTION BY THE WATERSHED MANAGER.
 - IF SITE IS APPROVED, REMOVE TEMPORARY DIVERSIONS, SILT FENCE, SEDIMENT BASINS, ETC. AND SEED OUT OR STABILIZE ANY RESULTING BARE AREAS. ALL REMAINING PERMANENT EROSION CONTROL DEVICES, SUCH AS VELOCITY DISSIPATORS, SHOULD NOW BE INSTALLED. WHEN VEGETATION HAS BECOME ESTABLISHED, CALL FOR A FINAL SITE INSPECTION BY THE WATERSHED MANAGER. OBTAIN A CERTIFICATE OF COMPLETION.

EXISTING IMPERVIOUS SURFACES

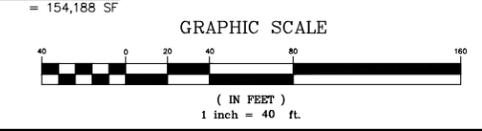
BUILDINGS	= 8,510 SF
DRIVES	= 9,803 SF
WALLS	= 138 SF
FLUME	= 1,710 SF
BOULDERS	= 118 SF
TOTAL	= 20,279 SF

PROPOSED IMPERVIOUS SURFACES

BUILDINGS	= 76,479 SF
WALLS	= 1,818 SF
DRIVEWAYS	= 16,912 SF
ROADWAY	= 39,117 SF
PARKING LOT	= 4,901 SF
SIDEWALK	= 14,961 SF
TOTAL	= 154,188 SF

LEGEND

---916---	EXISTING CONTOUR - 1'		SILT FENCE OUTLET PROTECTION
---915---	EXISTING CONTOUR - 5'		LIMITS OF DISTURBANCE
---ST---	EXISTING STORM SEWER		SILT FENCE
---SA---	EXISTING SANITARY SEWER		INLET PROTECTION
---WA---	EXISTING WATER LINE		DIVERSION DITCH
---916---	PROPOSED CONTOUR - 1'		DIVERSION BERM
---915---	PROPOSED CONTOUR - 5'		TREE SAVE AREA
---SF---	PROPOSED SILT FENCE		CONSTRUCTION ENTRANCE
---	---		LIMITS OF DISTURBANCE
---	---		DRAINAGE BOUNDARY TO POND
---	---		SURFACE FLOW ARROW



PLAN PREPARED BY: ADVANCED CIVIL DESIGN ENGINEERS SURVEYORS
51 Kilmorye Drive, Suite 105
City, North Carolina 27511
PH 919-481-8290
FAX 919-336-5127

PLAN PREPARED FOR: KB HOME CAROLINAS
4506 SOUTH MIAMI BLVD., SUITE 100A
DURHAM, NC 27703
PHONE: 919-766-7960

PROJECT: BRIDGEPOINT
HOMESTEAD ROAD, CHAPEL HILL, NC - ORANGE COUNTY

CONDITIONAL ZONING PLANS FOR
KB HOME CAROLINAS
SOIL & EROSION CONTROL PLAN

NORTH CAROLINA PROFESSIONAL ENGINEER MERON W. BRIC
07/22/2020

Issue Dates:
07/02/2020 - Initial Submitted to Town
02/06/2020 - Response to 1st Review SLP Comments
07/22/2020 - Response to 2nd Review SLP Comments

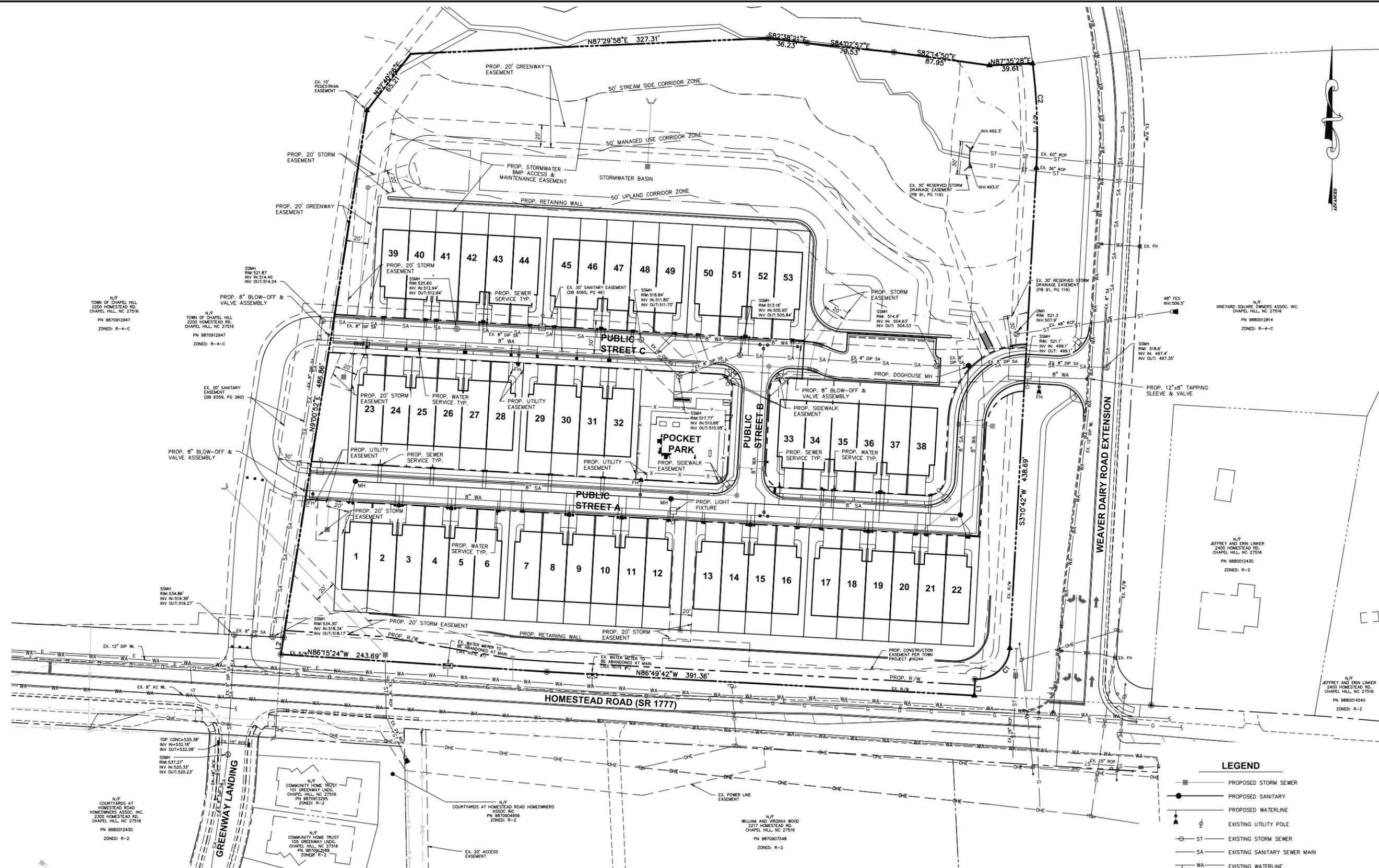
Date: 07/22/2020
Scale: 1"=40'

Drawn By: JRR
Checked By: CMR

Project Number:
18-0001-978

Drawing Number:
8 / 16

C:\18-0001-978NC\DWG\Production Drawings\DEVELOPMENT PLAN\0001-978-C209.dwg UTILITY PLAN Jul 22, 2020 - 4:30:43pm crice



N/F
TOWN OF CHAPEL HILL
2200 HOMESTEAD RD.
CHAPEL HILL, NC 27516
PN 9870912947
ZONED: R-4-C

N/F
TOWN OF CHAPEL HILL
2200 HOMESTEAD RD.
CHAPEL HILL, NC 27516
PN 9870912947
ZONED: R-4-C

EX. 30" SANITARY
EASEMENT
(DB 6059, PG 260)

PROP. 8" BLOW-OFF &
VALVE ASSEMBLY

SSMH
RM: 534.86'
INV IN: 519.35'
INV OUT: 519.27'

TOP CONC=535.35'
INV IN=532.18'
INV OUT=532.08'
SSMH
RM: 537.27'
INV IN: 520.33'
INV OUT: 520.23'

N/F
COURTYARDS AT
HOMESTEAD ROAD
HOMEOWNERS ASSOC. INC.
2305 HOMESTEAD RD.
CHAPEL HILL, NC 27516
PN 9880012430
ZONED: R-2

N/F
COMMUNITY HOME TRUST
101 GREENWAY LNDG.
CHAPEL HILL, NC 27516
PN 9870913295
ZONED: R-2

N/F
COURTYARDS AT HOMESTEAD ROAD HOMEOWNERS
ASSOC. INC.
PN 9870904956
ZONED: R-2

N/F
WILLIAM AND VIRGINIA WOOD
2217 HOMESTEAD RD.
CHAPEL HILL, NC 27516
PN 9870907548
ZONED: R-2

N/F
VINEYARD SQUARE OWNERS ASSOC. INC.
CHAPEL HILL, NC 27516
PN 9880012814
ZONED: R-4-C

N/F
JEFFREY AND ERIN LINKER
2400 HOMESTEAD RD.
CHAPEL HILL, NC 27516
PN 9880012430
ZONED: R-2

N/F
JEFFREY AND ERIN LINKER
2400 HOMESTEAD RD.
CHAPEL HILL, NC 27516
PN 9880014540
ZONED: R-2

GENERAL NOTES

1) Applicant shall receive a credit for the water meters being abandon in accordance with the current fee schedule in place at the time of abandonment.

LINE TABLE

LINE	LENGTH	BEARING
L1	15.00'	S03°10'42"W
L2	15.59'	N09°03'29"E

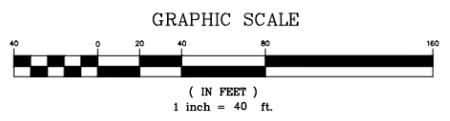
CURVE TABLE

NO.	LENGTH	RADIUS	DELTA	CHORD	CHORD BEARING
C1	47.13'	30.00'	090°00'35"	42.43'	S48°10'42"W
C2	95.51'	524.12'	010°26'28"	95.38'	S02°01'38"E

MINIMUM REQUIRED FIRE FLOW

SINGLE FAMILY (< 3,600 SF)	1,000 GAL/MIN
----------------------------	---------------

- LEGEND**
- PROPOSED STORM SEWER
 - PROPOSED SANITARY
 - PROPOSED WATERLINE
 - EXISTING UTILITY POLE
 - ST EXISTING STORM SEWER
 - SA EXISTING SANITARY SEWER MAIN
 - WA EXISTING WATERLINE
 - PROPOSED LIGHT POLE



PLAN PREPARED BY:

ADVANCED CIVIL DESIGN
ENGINEERS & SURVEYORS

51 Kilmorye Drive, Suite 105
Cary, North Carolina 27511
PH 919-481-8990
FAX 919-336-5127

PLAN PREPARED FOR:

KB HOME CAROLINAS
4506 SOUTH MIAMI BLVD., SUITE 100A
DURHAM, NC 27703
PHONE: 919-766-7960

BRIDGEPOINT
HOMESTEAD ROAD, CHAPEL HILL, NC — ORANGE COUNTY

CONDITIONAL ZONING PLANS
FOR
KB HOME CAROLINAS
UTILITY PLAN

PRELIMINARY

PROFESSIONAL ENGINEER
MELVIN W. BRICE
07/22/2020

Issue Dates:

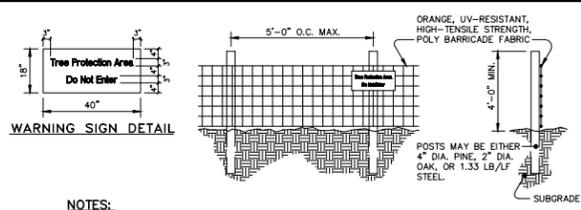
01/22/2020	Initial Submitted to Town
02/06/2020	Response to 1st Review SUP Comments
07/22/2020	Response to 2nd Review SUP Comments

Date: 07/22/2020
Scale: 1" = 40'

Drawn By: JRR
Checked By: CMR

Project Number:
18-0001-978

Drawing Number:
9 / 16



- NOTES:**
- WARNING SIGNS TO BE MADE OF DURABLE, WEATHERPROOF MATERIAL...
 - LETTERS TO BE 3" HIGH MINIMUM, CLEARLY LEGIBLE AND SPACED AS DETAILED.
 - SIGNS SHALL BE PLACED AT 50' MAXIMUM INTERVALS.
 - PLACE A SIGN AT EACH END OF LINEAR TREE PROTECTION AND 50' ON CENTER THEREAFTER.
 - FOR TREE PROTECTION AREAS LESS THAN 200' IN PERIMETER, PROVIDE NO LESS THAN ONE SIGN PER PROTECTION AREA.
 - ATTACH SIGNS SECURELY TO FENCE POSTS AND FABRIC.
 - MAINTAIN TREE PROTECTION FENCE THROUGHOUT DURATION OF PROJECT. ADDITIONAL SIGNS MAY BE REQUIRED BY THE TOWN OF CHAPEL HILL INSPECTIONS DEPARTMENT BASED ON ACTUAL FIELD CONDITIONS.
- MAINTENANCE:**
- INSPECT SEDIMENT FENCES AT LEAST ONCE A WEEK AND AFTER EACH RAINFALL. MAKE ANY REQUIRED REPAIRS IMMEDIATELY.
 - SHOULD THE FABRIC OF A SEDIMENT FENCE COLLAPSE, TEAR, DECOMPOSE OR BECOME INEFFECTIVE, REPLACE IT PROMPTLY.
 - REMOVE SEDIMENT DEPOSITS AS NECESSARY TO PROVIDE ADEQUATE STORAGE VOLUME FOR THE NEXT RAIN AND TO REDUCE PRESSURE ON THE FENCE. TAKE CARE TO AVOID UNDERMINING THE FENCE DURING CLEANOUT.
 - REMOVE ALL FENCING MATERIALS AND UNSTABLE SEDIMENT DEPOSITS AND BRING THE AREA TO GRADE AND STABILIZE IT AFTER THE CONTRIBUTING DRAINAGE AREA HAS BEEN PROPERLY STABILIZED.

TREE PROTECTION FENCE
NOT TO SCALE

TREE LEGEND

- 15BE BEECH
 - 24B BIRCH
 - 11C CEDAR
 - 70DG DOGWOOD
 - 20E ELM
 - 24G SWEET GUM
 - 7H HICKORY
 - 13M MAPLE
 - 24RO RED OAK
 - 15O OAK
 - 23P PINE
 - 15PO POPLAR
 - 19SY SYCAMORE
 - 10HO HOLLY
 - DOUBLE AND TRIPLE TRUNKS
 - 39D-PO DOUBLE POPLAR
- EXISTING TREE TO BE REMOVED (circle with X)
- EXISTING TREE TO REMAIN (circle with dot)
- LOD LIMITS OF DISTURBANCE (dashed line)
- TPF TREE PROTECTION FENCE (solid line)
- TREE CANOPY REPRESENTS 1" PER 1" CALIPER OF TREE

TOWN OF CHAPEL HILL
2020 HOMESTEAD RD.
CHAPEL HILL, NC 27516
PH 9870912947
ZONED: R-4-C
LAND USE: RESIDENTIAL

TREE PROTECTION NOTES

- A PRE-CONSTRUCTION CONFERENCE WILL BE HELD WITH THE TOWN'S URBAN FORESTER, ADAM NICHOLSON (919.969.5006), PRIOR TO BEGINNING SITE WORK.
- ANY TREE ROOTS EXPOSED BY CONSTRUCTION WILL BE SEVERED CLEANLY WITH AN APPROPRIATE PRUNING TOOL.
- THE SOIL WITHIN THE CRITICAL ROOT ZONES OF EXISTING TREES WILL NOT BE DRIVEN ON OR OTHERWISE DISTURBED DURING THE INSTALLATION OF LANDSCAPING.
- A LANDSCAPE PROTECTION SUPERVISOR WHO IS REGISTERED WITH THE TOWN OF CHAPEL HILL WILL BE PRESENT ON SITE AT ALL TIMES WHEN THE FOLLOWING ACTIVITIES ARE TAKING PLACE: CLEARING, GRUBBING, EXCAVATION, GRADING, TRENCHING, MOVING OF SOIL, INSTALLATION AND REMOVAL OF TREE PROTECTION FENCING, AND THE DELIVERY TRANSPORTING AND PLACEMENT OF CONSTRUCTION MATERIALS AND EQUIPMENT.
- CONTACT ADAM NICHOLSON FOR TREE PROTECTION SEMINAR PRIOR TO TREE PROTECTION FENCE INSTALLATION
- TREES LOCATED OUTSIDE OF THE CLEARING LIMITS AND ON LOTS ARE SHOWN AS BEING REMOVED. HOWEVER, THESE TREES WILL REMAIN DURING THE INITIAL INFRASTRUCTURE CONSTRUCTION PHASE BY THE DEVELOPER. WHEN THE BUILDER SUBMITS FOR PERMITS, THE BUILDER WILL DETERMINE WHICH TREES ON THE LOTS MUST BE REMOVED DURING HOME CONSTRUCTION. TREES LOCATED ON LOT LINES OR AT REAR OF LOTS WILL BE SAVED TO THE GREATEST EXTENTS POSSIBLE.

EXISTING VEGETATION NOTES:

- SIGNIFICANT TREES AND POCKETS OF SHRUBS ARE PREVALENT THROUGHOUT THE SITE. THE NORTHERN AND EASTERN PORTIONS OF THE SITE ARE HEAVILY WOODED. SIGNIFICANT TREE STANDS HAVE BEEN LOCATED AND SHOWN ON THIS SHEET. THE MAJORITY OF SPECIES FOUND ARE OAK, SWEET GUM, CEDAR, AND PINE.

CONSTRUCTION WASTE:

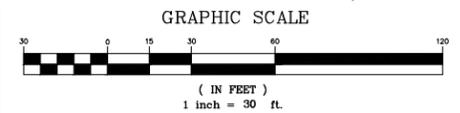
- BY ORANGE COUNTY ORDINANCE, CLEAN WOOD WASTE, SCRAP METAL AND CORRUGATED CARDBOARD, ALL PRESENT IN CONSTRUCTION WASTE, MUST BE RECYCLED.
- BY ORANGE COUNTY ORDINANCE, ALL HAULERS OF CONSTRUCTION WASTE MUST BE PROPERLY LICENSED.
- PRIOR TO ANY DEMOLITION OR CONSTRUCTION ACTIVITY ON THE SITE, THE APPLICANT WILL HOLD A PRE-DEMOLITION/PRE-CONSTRUCTION CONFERENCE WITH THE COUNTY'S SOLID WASTE STAFF. THIS MAY BE THE SAME MEETING HELD WITH OTHER DEVELOPMENT OFFICIALS.

LINE TABLE

LINE	LENGTH	BEARING
L1	15.00'	S03°10'42"W
L2	15.59'	N09°03'29"E

CURVE TABLE

NO.	LENGTH	RADIUS	DELTA	CHORD	CHORD BEARING
C1	95.51'	524.12'	010°26'28"	95.38'	S02°01'38"E
C2	47.13'	30.00'	090°00'35"	42.43'	S48°10'42"W



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PLAN PREPARED BY: **ADVANCED CIVIL DESIGN**
51 Kilmorie Drive, Suite 105
Cary, North Carolina 27511
PH 919.481.6290
FAX 919.336.9127

PLAN PREPARED FOR: **KB HOME CAROLINAS**
4506 SOUTH MIAMI BLVD., SUITE 100A
DURHAM, NC 27703
PHONE: 919.768.7960

HOMESTEAD ROAD, CHAPEL HILL, NC - ORANGE COUNTY
BRIDGEPOINT
CONDITIONAL ZONING PLANS
FOR
KB HOME CAROLINAS
LANDSCAPE PROTECTION & TREE SURVEY PLAN

PRELIMINARY
NORTH CAROLINA PROFESSIONAL ENGINEER
AMERON W. RICE
07/22/2020

Issue Dates:
07/02/2020 - Initial Submittal to Town
02/06/2020 - Response to 1st Review SUP Comments
07/22/2020 - Response to 2nd Review SUP Comments

Date: 07/22/2020
Scale: 1" = 30'

Drawn By: JRR
Checked By: CMR

Project Number:
18-0001-978

Drawing Number:
10 / 16

AREA 'A' BUFFER REQUIREMENTS
 TYPE "B" 15'-FT EXTERNAL BUFFER
 PLANTS REQUIRED PER 100 LF:
 6 LG TREES
 8 SM TREES
 15 SHRUBS
 581 LF TOTAL LENGTH
 LESS 43 LF OF DRIVEWAY
 LESS 59 LF OF EASEMENTS
 APPLICABLE LENGTH = 479 LF
 REQUIRED: 29 LG TREES
 39 SM TREES
 72 SHRUBS
 PROPOSED: 29 LG TREES
 39 SM TREES
 72 SHRUBS

AREA 'C' BUFFER REQUIREMENTS
 TYPE "B" 15'-FT INTERNAL BUFFER
 PLANTS REQUIRED PER 100 LF:
 6 LG TREES
 8 SM TREES
 15 SHRUBS
 526 LF TOTAL LENGTH
 LESS 70 LF OF DRIVEWAY
 LESS 279 LF OF EASEMENTS
 APPLICABLE LENGTH = 177 LF
 REQUIRED: 11 LG TREES
 15 SM TREES
 27 SHRUBS
 PROPOSED: 11 LG TREES
 15 SM TREES
 27 SHRUBS

PLANTING SCHEDULE

TYPE	SYMBOL	QUANTITY	BOTANICAL NAME	COMMON NAME	SPECIFICATIONS				OTHER
					CALIPER	HEIGHT	SPREAD	ROOT	
SHADE DECIDUOUS TREE	AS	29	ACER SACCHARUM	SUGAR MAPLE	2-1/2"	12-14'	Ø	B4B	MATCHED
	LR	26	LIQUIDAMBAR STYRACIFLIA ROTUNDIFOLIA	FRUITLESS SWEETGUM	2-1/2"	12-14'	Ø	B4B	MATCHED
	QA	30	QUERCUS ALBA	WHITE OAK	2-1/2"	12-14'	Ø	B4B	MATCHED
CANOPY EVERGREEN TREE	QV	11	QUERCUS VIRGINIANA	LIVE OAK	2-1/2"	12-14'	Ø	B4B	FULL TO GROUND
UNDERSTORY DECIDUOUS TREE	CC	36	CERCIS CANADENSIS	EASTERN REDBUD	2"	Ø	6"	B4B	MULTI-STEM
	CF	53	CORNUS FLORIDA	FLOWERING DOGWOOD	2"	Ø	6"	B4B	MULTI-STEM
	CV	25	CHIONANTHUS VIRGINICUS	FRINGE TREE	2"	Ø	6"	B4B	MULTI-STEM
EVERGREEN SHRUBS	IC	108	LILEX CORNUTA 'CARISSEA'	CARISSEA HOLLY	N/A	3'	3'	CONT.	FULL TO GROUND
	IG	116	LILEX GLABRA	INDUSTRY HOLLY	N/A	3'	3'	CONT.	FULL TO GROUND
	PL	91	PRUNUS LAUROCEARASUS 'OTTO LUYKEN'	OTTO LUYKEN	N/A	3'	3'	CONT.	FULL TO GROUND

NOTES:
 (1) THIS BUFFER HAS BEEN REDUCED BY ONE GRADE OF INTENSITY ('C' TO 'B') SINCE THE DEVELOPMENT HAS BEEN DESIGNED SUCH THAT THERE IS NO PARKING BETWEEN THE BUILDINGS LOCATED ON THE SITE AND THE ADJACENT STREET.

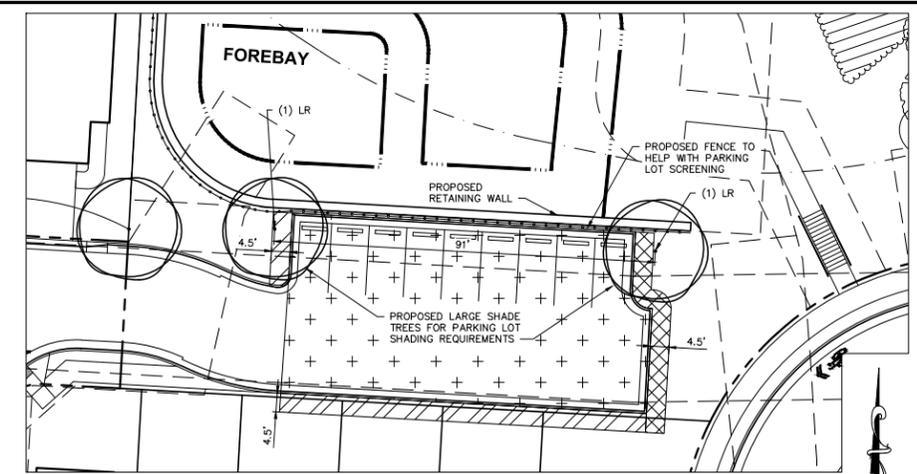
NOTES:
 (1) THIS BUFFER HAS BEEN REDUCED BY ONE GRADE OF INTENSITY ('C' TO 'B') SINCE THE DEVELOPMENT HAS BEEN DESIGNED SUCH THAT THERE IS NO PARKING BETWEEN THE BUILDINGS LOCATED ON THE SITE AND THE ADJACENT STREET.

AREA 'B' BUFFER REQUIREMENTS

TYPE "C" 20'-FT EXTERNAL BUFFER
 PLANTS REQUIRED PER 100 LF:
 5 LG TREES
 10 SM TREES
 36 SHRUBS
 630 LF TOTAL LENGTH
 LESS 30 LF OF EASEMENTS
 APPLICABLE LENGTH = 600 LF
 REQUIRED: 30 LG TREES
 60 SM TREES
 216 SHRUBS
 PROPOSED: 30 LG TREES
 60 SM TREES
 216 SHRUBS

NOTES:
 (1) THIS BUFFER HAS BEEN REDUCED BY ONE GRADE OF INTENSITY ('D' TO 'C') SINCE THE DEVELOPMENT HAS BEEN DESIGNED SUCH THAT THERE IS NO PARKING BETWEEN THE BUILDINGS LOCATED ON THE SITE AND THE ADJACENT STREET.

(2) AT LEAST 50% OF REQUIRED SHRUBS MUST BE EVERGREEN



PARKING LOT BLOW-UP
 SCALE: 1" = 20'
 GRAPHIC SCALE
 1 inch = 20 feet

LEGEND

- 30" Curb and Gutter
- Property Line
- Prop. R/W
- Prop Detention Basin
- Setback
- Parking Lot and R/W Landscape Strip
- Tree Replacement Area
- Tree Save Area
- Parking Lot Area
- Parking Lot and Building Landscape Strip

TREE CANOPY COVERAGE CALCULATIONS

TREE CANOPY COVERAGE REQUIRED:	30%
NET LAND AREA:	8,348 AC
AREAS NOT COUNTING TOWARD TREE CANOPY CALCULATIONS:	
RECREATION AREAS:	0.601 AC
EASEMENTS (EXCLUDING PAVEMENT):	1.595 AC
RIGHT OF WAY:	1.251 AC
TOTAL LAND AREA NOT COUNTED:	3.447 AC
APPLICABLE LAND AREA:	4,901 AC
TREE CANOPY REQUIRED:	4,901 AC X 30% = 1,470 AC
EXISTING TREE CANOPY TO REMAIN:	0.863 AC
ADDITIONAL TREE CANOPY REQUIRED:	0.607 AC
TREE REPLACEMENT AREA:	0.536 AC
PROPOSED STREET TREES (1 PER 500 SF):	26 TREES = 0.298 AC
ADDITIONAL TREE CANOPY PROVIDED:	0.834 AC
TOTAL TREE CANOPY PROVIDED:	1.697 AC
REQUIRED # OF 2.5" CALIPER TREES:	49 TREES
PROPOSED STREET TREES:	26 TREES
PROPOSED BUFFER TREES:	68 TREES
TOTAL TREES:	94 TREES

SHADE TREE CALCULATIONS

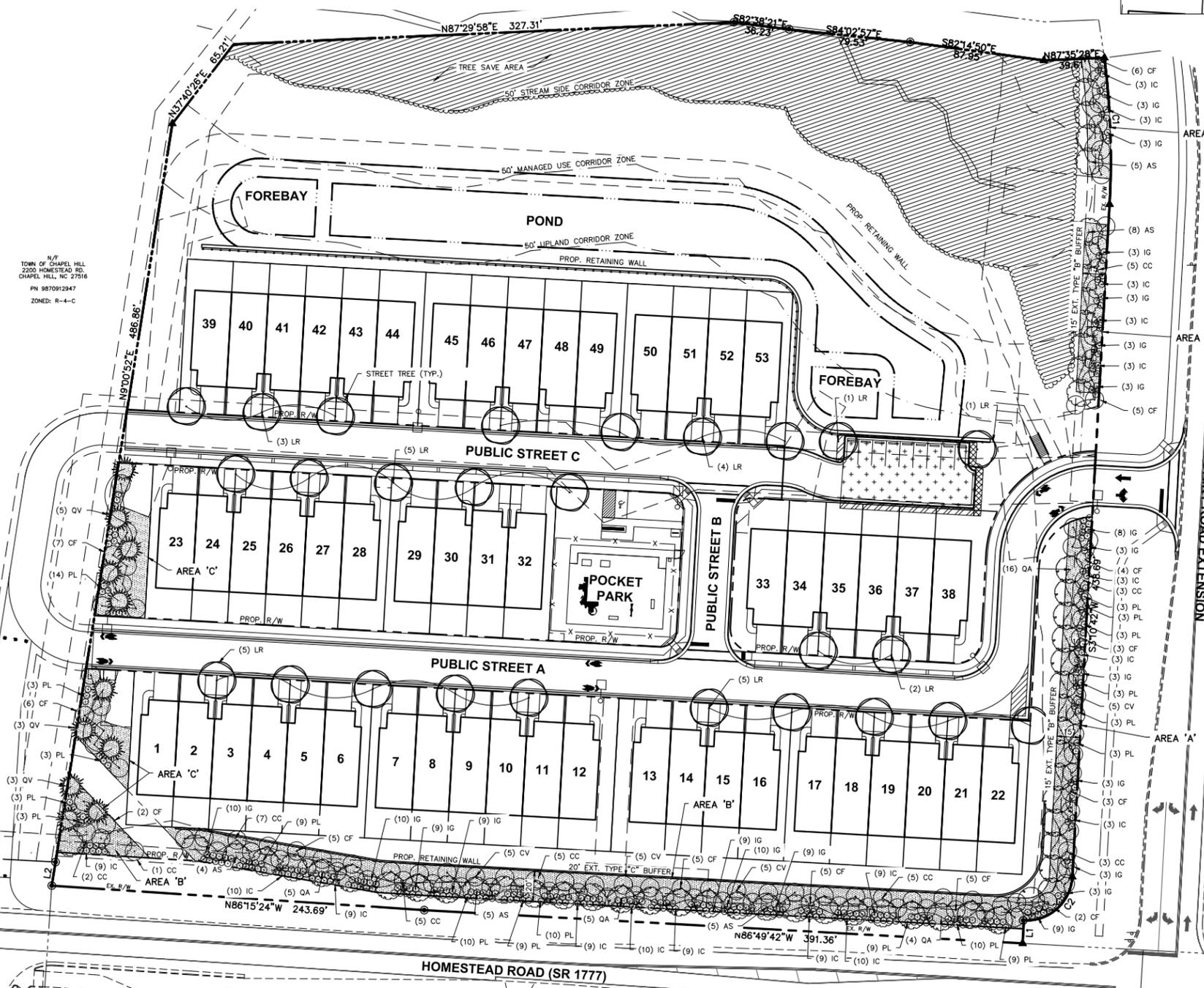
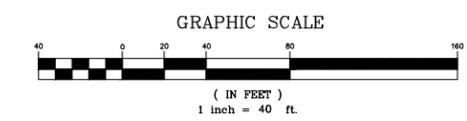
PARKING LOT AREA: 3,909 SF
 SHADING REQUIREMENTS: ONE LARGE TREE PER 2,000 SF OF PARKING LOT PAVED SURFACE PER DESIGN MANUAL
 TREES REQUIRED: (3,909 SF) / (2,000 SF) = 1.95 TREES
 2 LARGE TREES REQUIRED
 SHADE TREE: ZELKOVA (ZELKOVA SERRATA 'GREEN VASE')
 50'-60" HT & 40'-50" SPRD.
 PROJECTED SHADOW LENGTH = 58'

CURVE TABLE

NO.	LENGTH	RADIUS	DELTA	CHORD	CHORD BEARING
C1	95.51'	524.12'	01°02'28"	95.38'	N02°01'38"W
C2	47.13'	30.00'	09°00'35"	42.43'	S48°10'42"W

LINE TABLE

LINE	LENGTH	BEARING
L1	15.00'	S03°10'42"W
L2	15.59'	N09°03'29"E



N/F COURTYARDS AT HOMESTEAD ROAD HOMEOWNERS ASSOC. INC. 2305 HOMESTEAD RD. CHAPEL HILL, NC 27516
 PN 9880012430
 ZONED: R-2

N/F COMMUNITY HOME TRUST 101 GREENWAY LINDG. CHAPEL HILL, NC 27516
 PN 9870912529
 ZONED: R-2

N/F COURTYARDS AT HOMESTEAD ROAD HOMEOWNERS ASSOC INC. 2305 HOMESTEAD RD. CHAPEL HILL, NC 27516
 PN 9870904956
 ZONED: R-2

N/F WILLIAM AND VIRGINIA WOOD 2217 HOMESTEAD RD. CHAPEL HILL, NC 27516
 PN 9870907048
 ZONED: R-2

N/F STATE OF NORTH CAROLINA 2311 HOMESTEAD RD. CHAPEL HILL, NC 27516
 PN 9880000680
 ZONED: U-1

PLAN PREPARED BY:

 51 Kilmorye Drive, Suite 105
 Cary, North Carolina 27511
 PH 919-484-8990
 FAX 919-336-9297
 CIVIL DESIGN
 ENGINEERS & SURVEYORS

PLAN PREPARED FOR:
KB HOME CAROLINAS
 4506 SOUTH MIAMI BLVD., SUITE 100A
 DURHAM, NC 27703
 PHONE: 919-766.7960

HOMESTEAD ROAD, CHAPEL HILL, NC — ORANGE COUNTY
BRIDGEPOINT
 CONDITIONAL ZONING PLANS
 FOR
KB HOME CAROLINAS
 PLANTING PLAN

MERON M. RICE
 07/22/2020

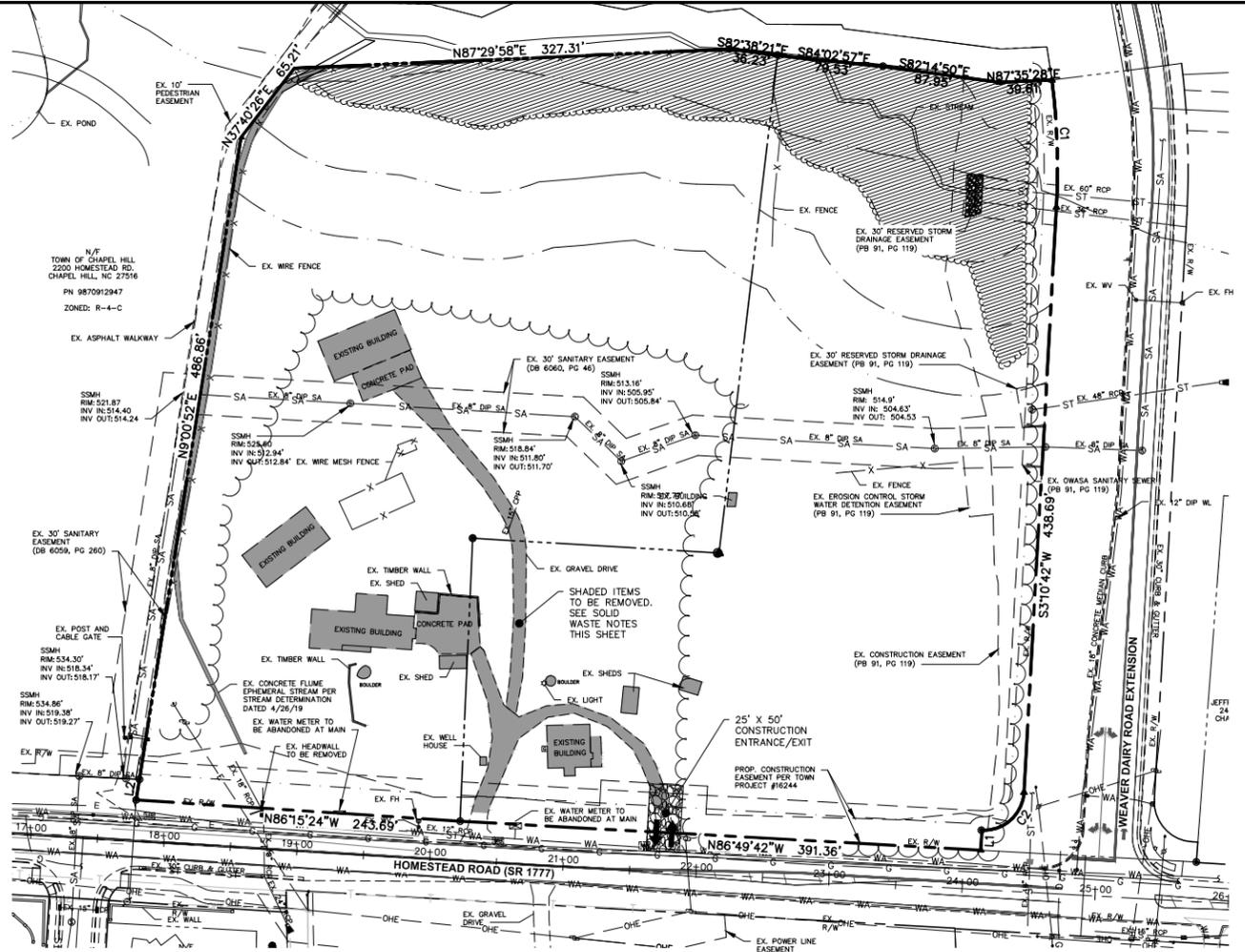
Issue Dates:
 01/02/2020 — Initial Submittal to Town
 02/06/2020 — Response to 1st Review SUP Comments
 07/22/2020 — Response to 2nd Review SUP Comments

Date: 07/22/2020
 Scale: 1" = 40'

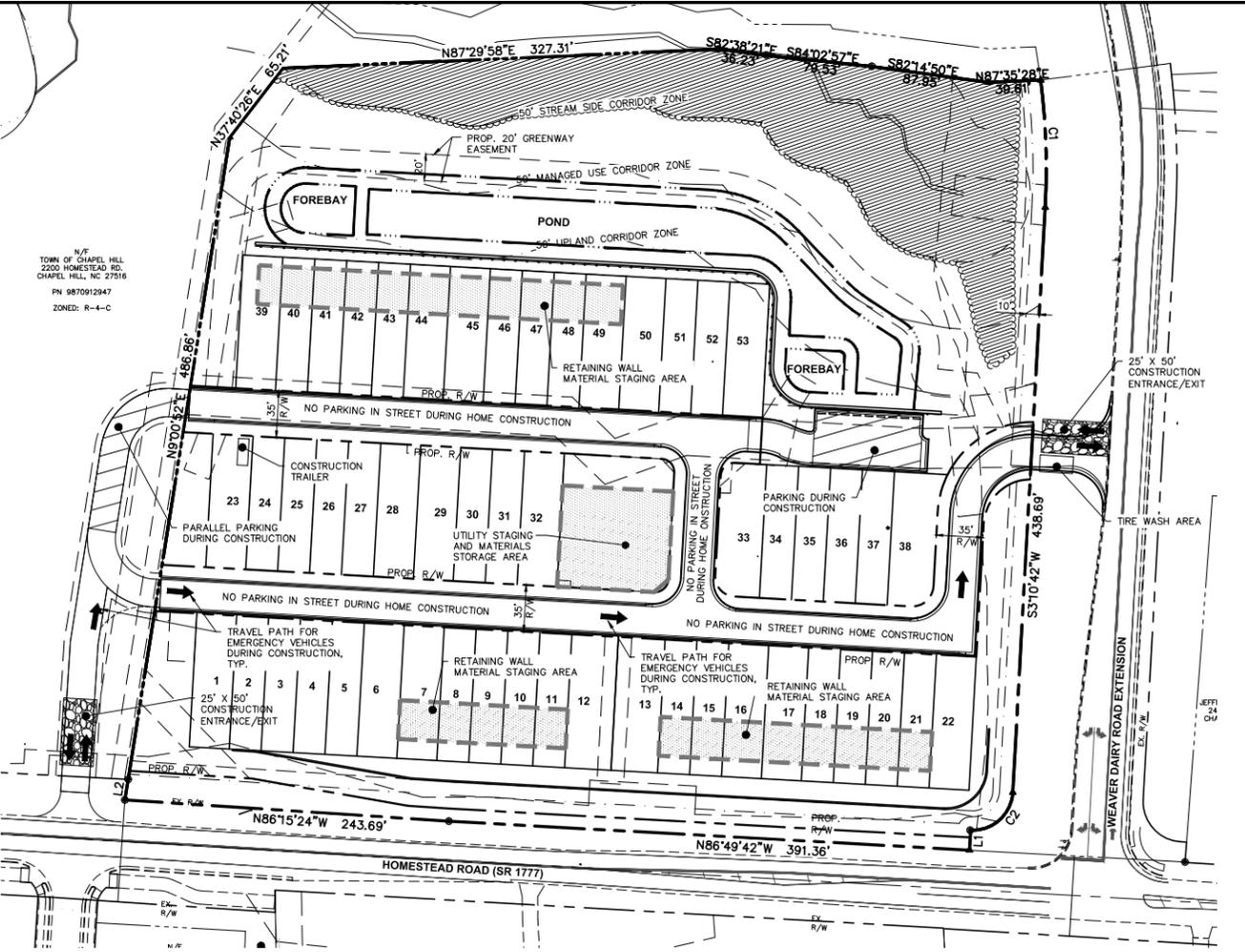
Drawn By: JRR
 Checked By: CMR

Project Number:
18-0001-978

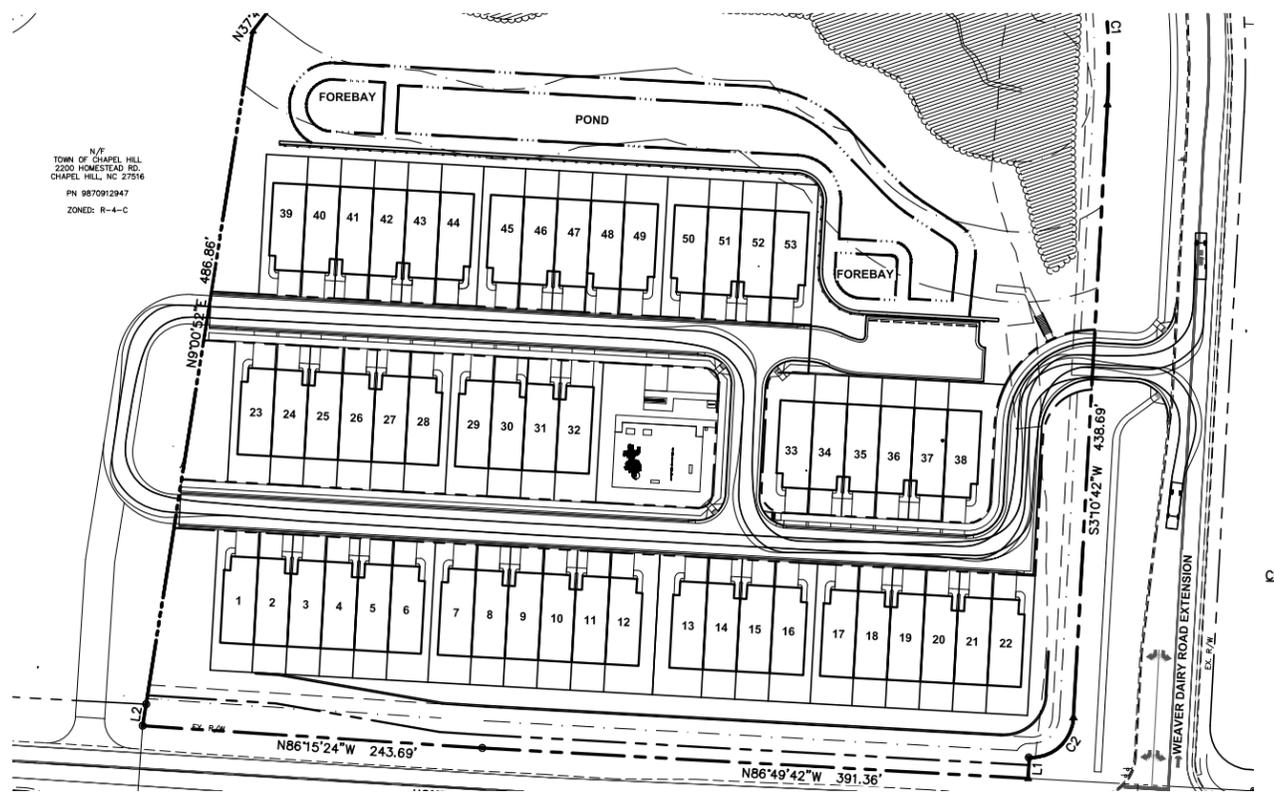
Drawing Number:
11 / 16



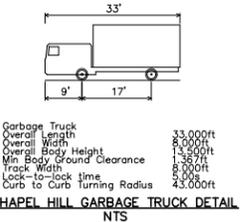
DEMOLITION



CONSTRUCTION



GARBAGE TRUCK TURNING TEMPLATE EXHIBIT



CHAPEL HILL GARBAGE TRUCK DETAIL

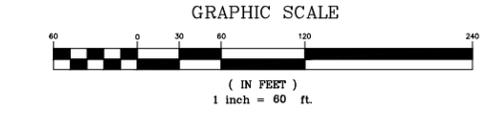
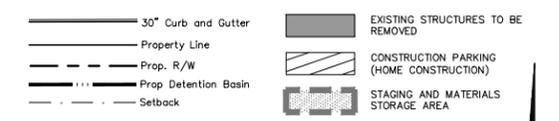
SOLID WASTE NOTES:

- ALL EXISTING STRUCTURES 500 SF AND LARGER IN SIZE SHALL BE ASSESSED PRIOR TO DEMOLITION TO ENSURE COMPLIANCE WITH THE COUNTY'S REGULATED RECYCLABLE MATERIALS ORDINANCE (RMO) AND TO ASSESS THE POTENTIAL FOR DE-CONSTRUCTION AND/OR THE RE-USE OF SALVAGEABLE MATERIALS.
- BY ORANGE COUNTY ORDINANCE, CLEAN WOOD WASTE, SCRAP METAL, AND CORRUGATED CARDBOARD PRESENT IN CONSTRUCTION OR DEMOLITION WASTE MUST BE RECYCLED.
- BY ORANGE COUNTY ORDINANCE, ALL HAULERS OF MIXED CONSTRUCTION AND DEMOLITION WASTE THAT INCLUDES ANY REGULATED RECYCLABLE MATERIALS SHALL BE LICENSED BY ORANGE COUNTY.
- PRIOR TO ANY DEMOLITION OR CONSTRUCTION ACTIVITY ON THE SITE THE APPLICANT SHALL HOLD A PRE-DEMOLITION/PRE-CONSTRUCTION CONFERENCE WITH THE SOLID WASTE STAFF (919-996-2788). THIS MAY BE THE SAME PRE-CONSTRUCTION MEETING HELD WITH OTHER DEVELOPMENT/ENFORCEMENT OFFICIALS.
- THE PRESENCE OF ANY ASBESTOS CONTAINING MATERIALS ("ACM") AND/OR OTHER HAZARDOUS MATERIALS IN CONSTRUCTION AND DEMOLITION WASTE SHALL BE HANDLED IN ACCORDANCE WITH ANY AND ALL LOCAL, STATE, AND FEDERAL REGULATIONS AND GUIDELINES.
- IF ANY VEHICLES ARE PARKED IN THE REFUSE OR RECYCLABLES COLLECTION VEHICLE ACCESS AREA, THE CONTAINS WILL NOT RECEIVE SERVICE UNTIL THE NEXT SCHEDULED COLLECTION DAY.
- MIXED RECYCLING AND CARDBOARD WILL BE IN ROLL CARTS PLACED AT THE CURB IN FRONT OF EACH RESIDENCE TO BE COLLECTED BY ORANGE COUNTY SOLID WASTE.
- TRASH WILL BE IN ROLL CARTS PLACED AT THE CURB IN FRONT OF EACH RESIDENCE TO BE COLLECTED BY TOWN OF CHAPEL SOLID WASTE MANAGEMENT, A DIVISION OF PUBLIC WORKS.
- ALL CONSTRUCTION WASTE MATERIALS SHALL BE RECYCLED WHENEVER POSSIBLE. CONTRACTORS SHALL RETAIN PICKUP SLIPS TO RECORD/VALIDATE RECYCLING AS MAY BE REQUIRED FOR ENVIRONMENTAL CREDITS.
- THE OWNER, OR THEIR DESIGNEE, SHALL BE RESPONSIBLE FOR MAINTAINING A FIRE WATCH DURING CONSTRUCTION AND DEMOLITION WHERE MATERIALS SUBJECT TO SPONTANEOUS COMBUSTION OR OTHER HAZARDOUS CONSTRUCTION OR DEMOLITION IS OCCURRING.
- ALL CONSTRUCTION AND DEMOLITION SHALL BE CONDUCTED IN COMPLIANCE WITH THE CURRENT EDITION OF CHAPTER 14 OF THE NC FPC.
- PRIOR TO A DEMOLITION PERMIT BEING ISSUED FOR ANY EXISTING STRUCTURE 500 SQUARE FEET OR GREATER IN SIZE, A DECONSTRUCTION ASSESSMENT MUST BE CONDUCTED BY ORANGE COUNTY SOLID WASTE STAFF. CONTACT MATT TAYLOR AT 919-996-2788 OR MTAYLOR@ORANGECOUNTYNC.GOV TO REQUEST AND SCHEDULE THE ASSESSMENTS.

CONSTRUCTION MANAGEMENT NOTES

- ALL LARGE TRUCKS AS RELATED TO VEHICULAR CONSTRUCTION TRAFFIC SHALL ENTER AND LEAVE THE SITE THROUGH THE TEMPORARY CONSTRUCTION ENTRANCES AND EXITS AS SHOWN ON THIS PLAN.
- ENTRANCES AND EXIT GATES SHALL BE CLOSED UNLESS ACTIVELY BEING USED FOR ENTERING AND EXISTING VEHICLES.
- ONSITE CONSTRUCTION MANAGER PARKING FOR SMALL CONSTRUCTION VEHICLES AND MATERIAL STAGING CAN OCCUR ON-SITE DURING EARLY STAGES OF CONSTRUCTION. ADDITIONAL CONTRACTOR PARKING AREA TO BE PROVIDED IN THE FUTURE OVERFLOW PARKING LOT.
- CONSTRUCTION WILL BE LIMITED TO BETWEEN 7:00 AM AND 6:00 PM MONDAY THROUGH FRIDAY.
- THE CONTRACTOR SHALL PROVIDE WORK ZONE TRAFFIC CONTROL DEVICES - REFER TO THE ZONING COMPLIANCE PERMIT TRAFFIC AND PEDESTRIAN CONTROL PLAN FOR SPECIFIC NOTES AND DETAILS.
- NO OPEN BURNING SHALL BE PERMITTED.
- THE APPLICANT SHALL POST A CONSTRUCTION SIGN ON THE DEVELOPMENT SITE THAT LISTS THE FOLLOWING:
 - PROPERTY OWNER'S REPRESENTATIVE AND TELEPHONE NUMBER
 - CONTRACTOR'S REPRESENTATIVE AND TELEPHONE NUMBER
 - TELEPHONE NUMBER FOR REGULATORY INFO AT TIME OF BUILDING PERMIT
 - SIGN MAY BE A MAXIMUM OF 32 SF AND A MAXIMUM HEIGHT OF 8 FT.
- EXISTING SEWER LINE ALONG STREET C SHALL BE ACCESSIBLE DURING CONSTRUCTION.

LEGEND



CURVE TABLE				
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C2	47.13'	30.00'	090°00'35"	42.43'

LINE TABLE		
LINE	LENGTH	BEARING
L1	15.00'	S03°10'42"W
L2	15.59'	N09°03'29"E

PLAN PREPARED BY:

ADVANCED CIVIL DESIGN
 ENGINEERS SURVEYORS

PLAN PREPARED FOR:
KB HOME CAROLINAS
 4506 SOUTH MIAMI BLVD., SUITE 100A
 DURHAM, NC 27703
 PHONE: 919.766.7960

HOMETEAD ROAD, CHAPEL HILL, NC - ORANGE COUNTY
BRIDGEPOINT
 CONDITIONAL ZONING PLANS
 FOR
KB HOME CAROLINAS
 CONSTRUCTION MANAGEMENT PLAN

NORTH CAROLINA
 PROFESSIONAL
 ENGINEER
 MERRIN W. BRICE
 07/22/2020

Issue Dates:
 01/22/2020 - Initial Submitted to Town
 02/06/2020 - Response to 1st Review SUP Comments
 07/22/2020 - Response to 2nd Review SUP Comments

Date: 07/22/2020
 Scale: 1" = 60'
 Drawn By: JRR
 Checked By: CMR
 Project Number:
18-0001-978
 Drawing Number:
12 / 16

0:\18-0001-978\BNC\Production Drawings\DEVELOPMENT PLAN\0001-978-CT3.dwg BUILDING ELEVATION EXHIBIT Jul 22, 2020 - 2:33:53pm crice

ATTIC VENTILATION

1225 SQ. FT. OF ATTIC / 300 + 422 SQ. FT. OF INLET AND OUTLET.

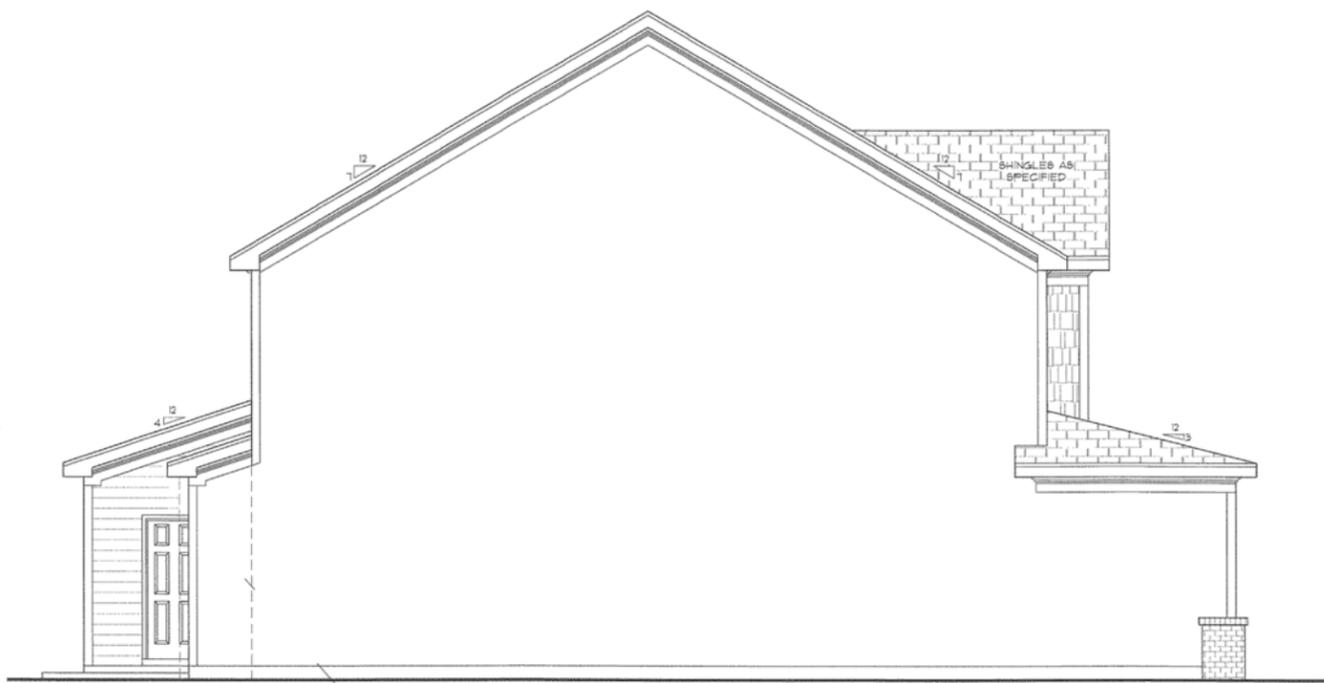
VENTILATION MAY BE REDUCED 50% WHEN VENTILATORS ARE USED AT LEAST 3'-0" ABOVE THE CORNICE VENTS.

CONRAD-D	
FRONT ELEVATION	
STONE	16.6%
BRICK	22%
SIDING/SHAKES	61%
TOTAL SQ. FT. - 320 SQ. FT.	

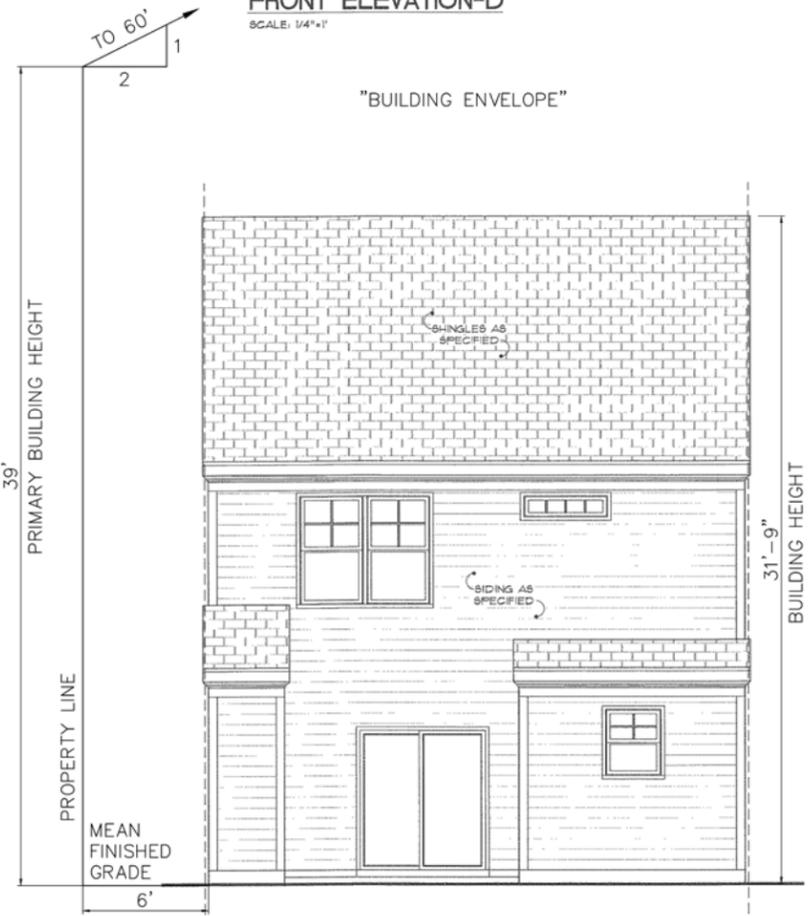
ALL MECHANICAL EQUIPMENT INCLUDING STACKS AND VENTS EXTENDING ABOVE THE ROOF SURFACE MUST BE PAINTED A COLOR THAT BLENDS WITH THE ROOF COLOR



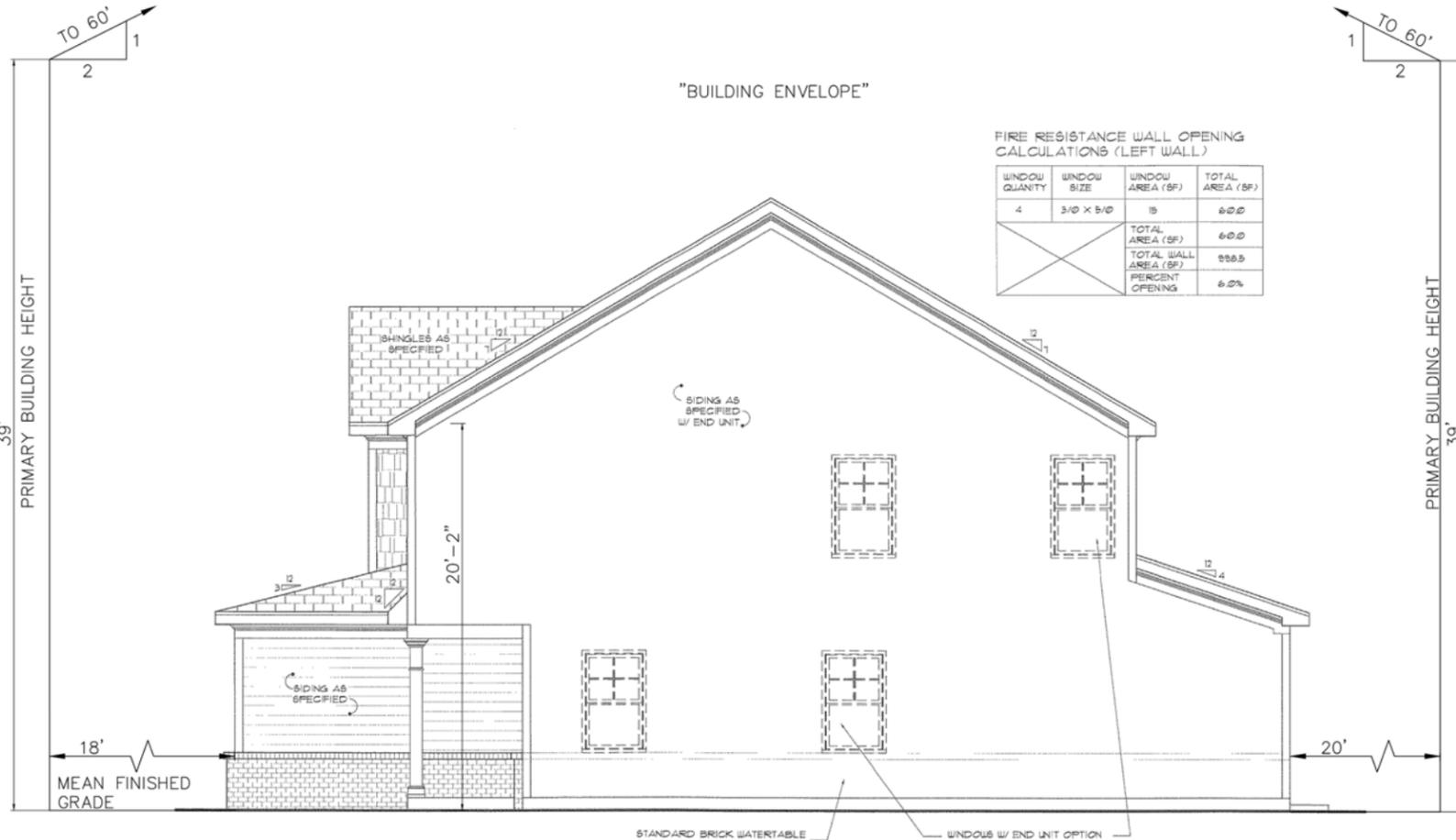
FRONT ELEVATION-D
SCALE: 1/4"=1'



RIGHT SIDE ELEVATION-D
SCALE: 1/4"=1'



REAR ELEVATION-D
SCALE: 1/4"=1'



FIRE RESISTANCE WALL OPENING CALCULATIONS (LEFT WALL)

WINDOW QUANTITY	WINDOW SIZE	WINDOW AREA (SF)	TOTAL AREA (SF)
4	3/0 X 5/0	15	60.0
			60.0
			55.5
			PERCENT OPENING 6.0%

PLAN PREPARED BY: 51 Kilmorye Drive, Suite 105 Cary, North Carolina 27511
 ADVANCED CIVIL DESIGN
 ENGINEERS, ARCHITECTS, SURVEYORS
 PH: 919.484.8290 FAX: 919.336.5127

PLAN PREPARED FOR: **KB HOME CAROLINAS**
 4506 SOUTH MIAMI BLVD., SUITE 100A
 DURHAM, NC 27703
 PHONE: 919.766.7960

PROJECT: **BRIDGEPOINT**
 HOMETEAD ROAD, CHAPEL HILL, NC - ORANGE COUNTY
CONDITIONAL ZONING PLANS
 FOR
KB HOME CAROLINAS
BUILDING ELEVATION EXHIBIT

NORTH CAROLINA PROFESSIONAL ENGINEER
PRELIMINARY
 AMERON PRICE
 07/22/2020

Issue Dates:
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 07/22/2020 - Response to 2nd Review SUP Comments

Date: 07/22/2020
 Scale: AS NOTED
 Drawn By: JRR
 Checked By: CMR
 Project Number: 18-0001-978
 Drawing Number: 13 / 16

C:\18-0001-978\BNC\Production Drawings\DEVELOPMENT PLAN\0001-978-C21.4.dwg GROUP UNIT ELEVATION EXHIBIT Jul 22, 2020 - 2:34:13pm crice



UNIT 16-L (226.1903)
LOT 81

UNIT 31-R (226.2282)
LOT 82

UNIT 36-L (226.2282)
LOT 82

UNIT 21-R (226.2144)
LOT 84

UNIT 31-L (226.2282)
LOT 85

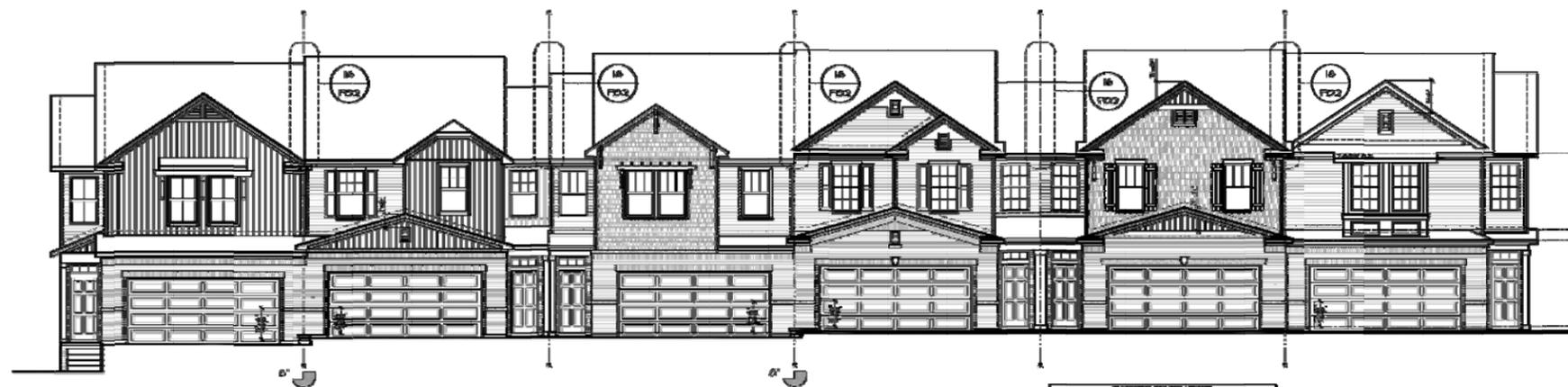
UNIT 31-R (226.2282)
LOT 86

REAR ELEVATION

SCALE 1/8"=1'-0" (25X34) - 1/8"=1'-0" (11X17)

REVISION		REVISION		REVISION	
NO.	DATE	NO.	DATE	NO.	DATE

NOTE: REFER TO BASIC UNIT ELEVATIONS FOR INFORMATION NOT SHOWN HERE.



UNIT 31-R (226.2282)
LOT 86

UNIT 31-L (226.2282)
LOT 85

UNIT 21-R (226.2144)
LOT 84

UNIT 36-L (226.2282)
LOT 85

UNIT 31-R (226.2282)
LOT 82

UNIT 16-L (226.1903)
LOT 81

FRONT ELEVATION

SCALE 1/8"=1'-0" (25X34) - 1/8"=1'-0" (11X17)

REVISION		REVISION		REVISION	
NO.	DATE	NO.	DATE	NO.	DATE

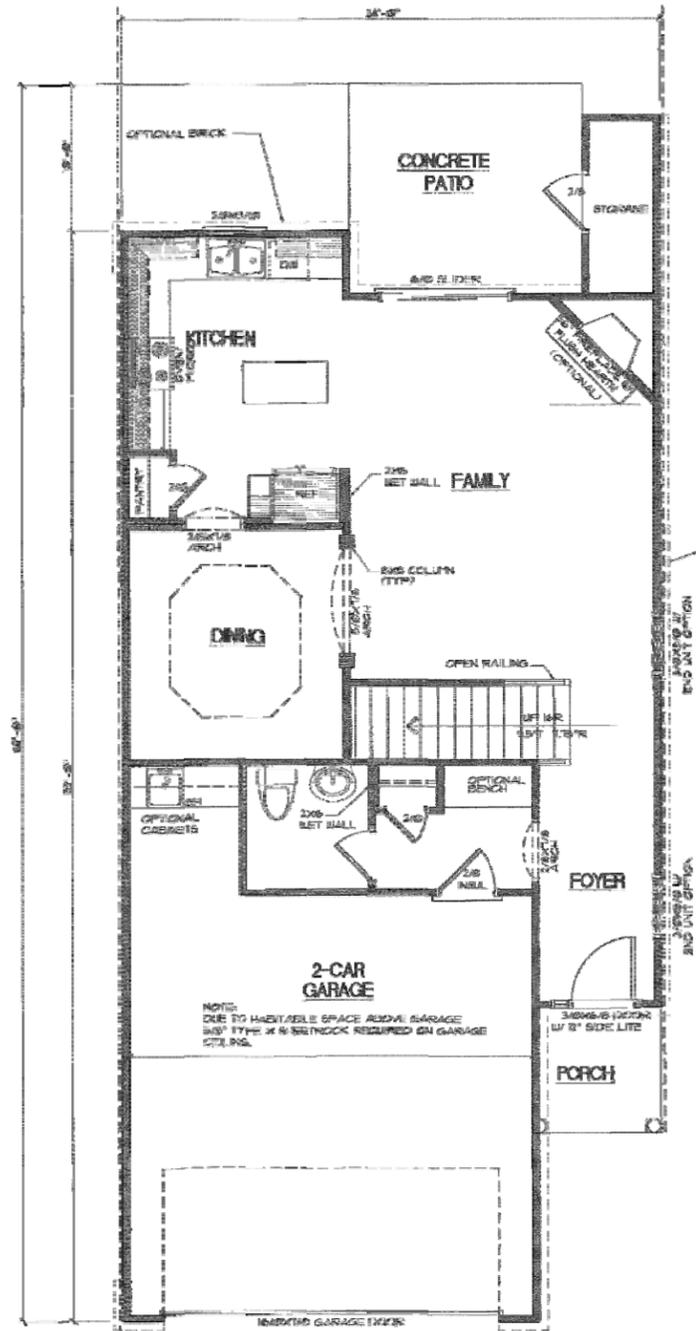
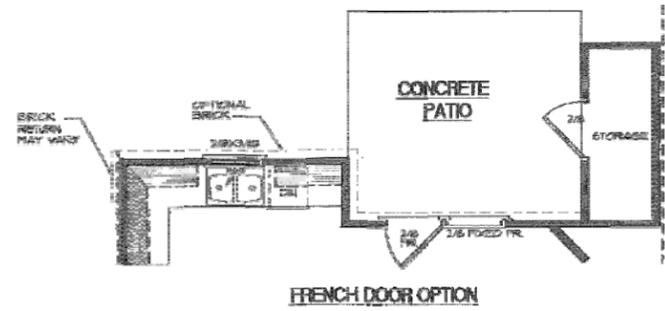
NOTE: REFER TO BASIC UNIT ELEVATIONS FOR INFORMATION NOT SHOWN HERE.



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07/22/2020	- Response to 2nd Review SUP Comments

Date:	07/22/2020
Scale:	1/8" = 1'-0"
Drawn By:	JRR
Checked By:	CMR
Project Number:	18-0001-978
Drawing Number:	14 / 16



FIRST FLOOR
SCALE: 1/8"=1'-0"

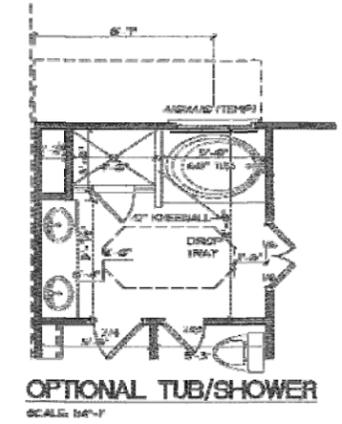
NOTE:
1. NORTH CAROLINA STATE BUILDING CODE REQUIRES THAT WINDOWS WITH A FIRE SEPARATION DISTANCE OF LESS THAN TWO FEET SHALL HAVE A FIRE RATING OF ONE HOUR AND NEGATIVE PRESSURE WITH EXPOSURE FROM BOTH SIDES.

NOTE:
WINDOWS WITH A 1/2" FIRE SEPARATION DISTANCE IS REQUIRED TO BE RATED AT 1 HOUR FROM BOTTOM.

NO OPENINGS ALLOWED IN BARRIERS FOR 4' HIGH PROPERTY LINE.

CLIMATE ZONE	PERMEATION U FACTOR	CEILING R-VALUE	WOOD FRAME WALL R-VALUE	MASS WALL R-VALUE	FLOOR R-VALUE	BASEMENT WALL R-VALUE	GLASS R-VALUE & DEPTH	ROOF OVER GARAGE WALL R-VALUE
2	U-0.301 @ 1/2" GLASS	3.0	13	5.0	15	10.0	0	5.0
4	U-0.301 @ 1/2" GLASS	3.0	13	5.0	15	10.0	0	5.0

PLANS ARE DESIGNED TO MEET THE REQUIREMENTS OF THE NORTH CAROLINA RESIDENTIAL CODE 2008 EDITION



GENERAL NOTES

WALLS:
ALL WALLS ARE DRAIN 4" THICK UNLESS NOTED OTHERWISE.
ANGLED WALLS ARE DRAIN 2" UNLESS NOTED OTHERWISE.

SMOKE DETECTORS:
LOCATION AND NUMBER OF DETECTORS SHALL CONFORM TO NEC.

EGRESS:
ALL BEDROOMS MUST HAVE AT LEAST ONE WINDOW WHICH CONFORMS TO R-309 OF THE NC BLDG CODE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY CLOSURE MEETS ALL BUSINESS REQUIREMENTS AS MANUFACTURER'S MARK.

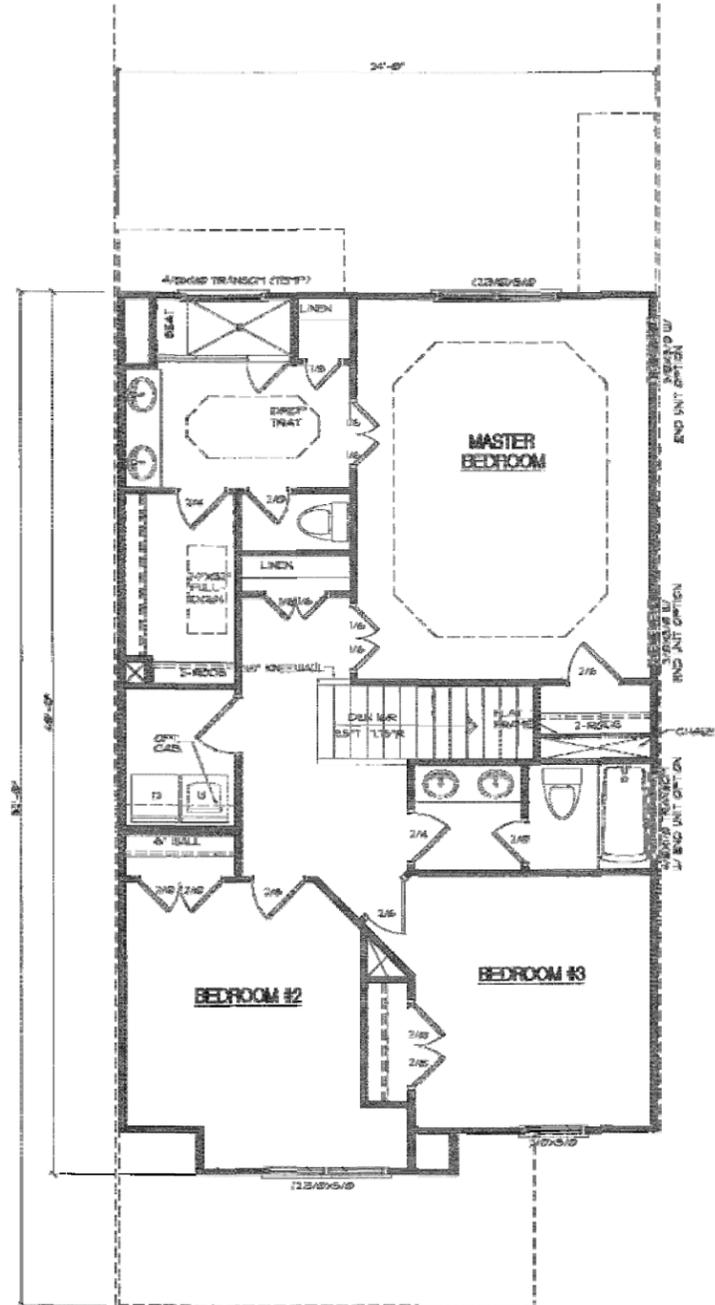
ATTIC ACCESS:
FINAL ATTIC ACCESS SHALL BE PROVIDED BY SUBLOOR AND LOCATED ON SITE.

WALL/CEILING HGT:
WALL AND CEILING HEIGHT NOTES ARE BASED ON NOMINAL WALL SIZE.
KNEE WALL HEIGHT LABELS FOR WALLS UNDER RAFTERS ASSUME AN EXTRA 2" FOR FURRING OR HELD-FRAME SPACING FOR INSULATION. THE WALL HEIGHT REFERS TO THE FIRST FLOOR DECISIONS TO THE BOTTOM OF THE FLOORING.

FLOOR AREA:

FIRST FLOOR INTL.	1664
SECOND FLOOR INTL.	1578
TOTAL SQ. FT.	3242

Garage = 320
Porch = 428
Garage = 424



SECOND FLOOR
SCALE: 1/8"=1'-0"

PLAN PREPARED BY: **ADVANCED CIVIL DESIGN ENGINEERS SURVEYORS**
51 Kilmorye Drive, Suite 105
Cary, North Carolina 27511
ph 919.484.8290
fax 919.336.9127

PLAN PREPARED FOR: **KB HOME CAROLINAS**
4506 SOUTH MIAMI BLVD., SUITE 100A
DURHAM, NC 27703
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HOMESTEAD ROAD, CHAPEL HILL, NC - ORANGE COUNTY
BRIDGEPOINT
CONDITIONAL ZONING PLANS
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BUILDING FLOOR PLAN

PRELIMINARY
NORTH CAROLINA PROFESSIONAL ENGINEER
MERON W. RICE
07/22/2020

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Date: 07/22/2020
Scale: 1/8" = 1'-0"

Drawn By: JRR
Checked By: CMR

Project Number: 18-0001-978
Drawing Number: 15 / 16

