

318 ROSEMARY MIXED-USE

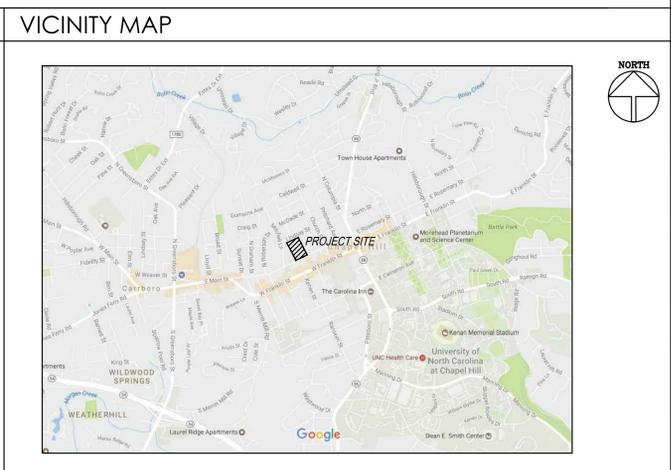
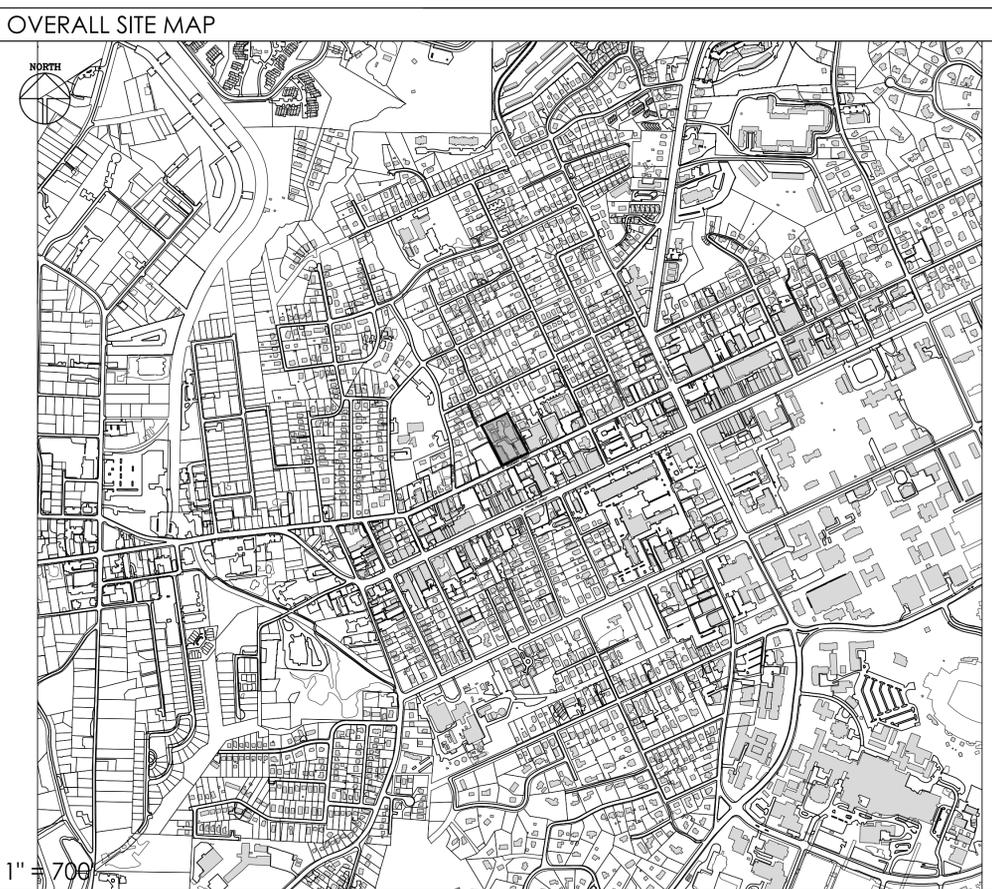
318 W. ROSEMARY STREET, CHAPEL HILL, NORTH CAROLINA



**Coulter
Jewell
Thames** PA

111 West Main Street
Durham, N.C. 27701
p 919.682.0368
f 919.688.5646
www.cjtpa.com

| PROJECT DATA | | | | |
|--|---|--|---|--|
| EXISTING SITE INFORMATION | PROPERTY 1: | PROPERTY 2: | PROPERTY 3: | PROPERTY 4: |
| OWNER | AMITY STATION LLC | AMITY STATION LLC | AMITY STATION LLC | AMITY STATION LLC |
| PIN | 9788178503 | 9788179085 | 9788270111 | 9788178220 |
| ACREAGE | 28,314 SF / 0.65 AC | 10,890 SF / 0.25 AC | 2614 SF / 0.06 AC | 44,867 SF / 1.03 AC |
| EXISTING USE | BUSINESS - CONVENIENCE | PARKING - OFF STREET | PRIVATE ROAD | DWELLING UNITS; 7 OR MORE |
| SITE/PROJECT ADDRESS | 322 & 324 W. ROSEMARY ST. CHAPEL HILL, NC 27516 | 318 W. ROSEMARY ST. CHAPEL HILL, NC 27516 | AMITY CT. CHAPEL HILL, NC 27516 | 1,2,3,4,5,6&7 AMITY CT. CHAPEL HILL, NC 27516 |
| ZONING INFORMATION | | | | |
| EXISTING BY ZONING DISTRICT | TC-2 | TC-2 | TC-2 | R-3 |
| USE GROUP: | A | A | A | A |
| RIVER BASIN | CAPE FEAR | CAPE FEAR | CAPE FEAR | CAPE FEAR |
| PROPOSED SITE INFORMATION | | | | |
| DISTURBED AREA: | 38,500 SF / 0.88 AC | | | |
| SITE AREA IN 100 YEAR FLOODPLAIN (INCLUDES FLOODWAY) | N/A | | | |
| PROPOSED USE: | PRIMARY: DWELLING UNITS; 7 OR MORE | | SECONDARY: BUSINESS - OFFICE | |
| VEHICULAR PARKING SPACES | DWELLING UNITS: 20 UNITS | | OFFICE: 1,000 SF | |
| MINIMUM: | N/A (TOWN CENTER) | | N/A (TOWN CENTER) | |
| MAXIMUM: | 1.25 / DWELLING UNIT (1.25 x 20 = 25 MAX) | | 1 / 375 SF FLOOR AREA (1,000 / 375 = 3 MAX) | |
| EXISTING: | N/A | | 0 | |
| PROPOSED: | 8 | | 0 | |
| TOTAL VEHICULAR PARKING SPACES: | 1 ADA SPACE 2 COMPACT SPACES 5 REGULAR SPACES 8 TOTAL PARKING SPACES | | | |
| BICYCLE PARKING SPACES | DWELLING UNITS: 20 UNITS | | OFFICE: 1,000 SF | |
| REQUIRED: | 1 / 4 UNITS | | MIN. 4 ; 2 ADD'L / 2,500 SF FLOOR AREA | |
| PROPOSED: | 5 CLASS 2 RACKS | | 2 CLASS 2 RACKS | |
| IMPERVIOUS SURFACE | | | | |
| EXISTING: | 42,249 SF / 0.97 AC | | | |
| IMPERVIOUS PROPOSED: | 26,589 SF / 0.61 AC | | | |
| TOTAL IMPERVIOUS SURFACE: | 26,589 SF / 0.61 AC | | | |
| TREE CANOPY COVERAGE | N/A (TOWN CENTER) | | | |
| BUILDING INFORMATION | | | | |
| EXISTING BUILDING SIZE: | 6,037 SF (BREADMEN'S) | | | |
| PROPOSED BUILDING SIZE: | 19,999 SF | | | |
| TOTAL BUILDING SIZE: | 19,999 SF | | | |



PROJECT NOTES

- TOPOGRAPHIC INFORMATION BASED ON SURVEY BY PHILIP POST & ASSOC. A DIVISION OF PENONNI DATED JANUARY, 2014.
- THERE ARE EXISTING TRANSIT STOPS ALONG ROSEMARY.
- ALL CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH ALL TOWN OF CHAPEL HILL STANDARDS AND SPECIFICATIONS.

RESOURCE CONSERVATION NOTES

STREAM BUFFERS:
THERE ARE NO MAPPED STREAMS OR ASSOCIATED STREAM BUFFERS LOCATED ON SITE. A DETERMINATION WAS COMPLETED BY CHAPEL HILL PUBLIC WORKS.

FLOODPLAIN PROTECTION:
THE SITE IS NOT AFFECTED BY A MAPPED FLOODPLAIN ACCORDING TO FIRM MAPS 3710978800 J (FEBRUARY 2, 2007).

STEEP SLOPE PROTECTION:
THERE ARE NO AREAS OF STEEP SLOPES GREATER THAN 15% LOCATED ON SITE.

TREE SURVEY:
THE TREE SURVEY SHOWS ALL 18" CAL. OR LARGER TREES IS SHOWN ON THE EXISTING CONDITIONS PLAN.

WETLANDS:
THERE ARE NO MAPPED WETLANDS ONSITE.

TREE PROTECTION:
REFER TO SHEET C102 AND C500.

TOWN OF CHAPEL HILL NOTES

1. A FIRE FLOW REPORT SHALL BE SUBMITTED TO THE TOWN FOR REVIEW AND APPROVAL PRIOR TO ISSUANCE OF A ZCP.
2. P.E. CERTIFICATION: PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY FOR ANY PHASE, THE APPLICANT SHALL PROVIDE A CERTIFICATION, SIGNED AND SEALED BY A NORTH CAROLINA-LICENSED PROFESSIONAL ENGINEER, THAT THE STORMWATER MANAGEMENT FACILITY IS CONSTRUCTED IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS.
3. AS-BUILT PLANS: PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY, THE APPLICANT SHALL PROVIDE CERTIFIED AS-BUILT PLANS FOR BUILDING FOOTPRINTS, PARKING LOTS, STREET IMPROVEMENTS, STORM DRAINAGE SYSTEMS AND STORMWATER MANAGEMENT STRUCTURES, AND ALL OTHER IMPERVIOUS SURFACES, AND A TALLY OF THE CONSTRUCTED IMPERVIOUS AREA. THE AS-BUILT PLANS SHOULD BE IN DXF BINARY FORMAT USING STATE PLANE COORDINATES AND NAVD 88.

LIST OF SHEETS

| | |
|-----------------|--|
| C000 | COVER SHEET |
| C100 | AREA MAP |
| C101 | EXISTING CONDITIONS PLAN |
| C102 | DEMOLITION & CONSTRUCTION MANAGEMENT PLAN |
| C200 | SITE LAYOUT PLAN |
| C300 | GRADING AND STORM DRAINAGE PLAN |
| C600 | EROSION CONTROL PLAN |
| C400 | UTILITY AND LIGHTING PLAN |
| C500 | LANDSCAPE PLAN |
| C600 | SITE DETAILS |
| C601 | SITE DETAILS |
| 301.AS1 | BUILDING MASSING |

PROJECT TEAM:

| | | |
|--|--|--|
| ARCHITECT MHA WORKS 501 WASHINGTON ST. DURHAM, NC 27701 P: 919-682-2870 JMARTINSON@MHAWORKS.COM | CIVIL ENGINEER COULTER JEWELL THAMES PA 111 WEST MAIN STREET DURHAM, NC, 27701 P: 919.682.0368 PROYSTER@CJTPA.COM | LANDSCAPE ARCHITECT COULTER JEWELL THAMES PA 111 WEST MAIN STREET DURHAM, NC, 27701 P: 919.682.0368 JANDERSON@CJTPA.COM |
|--|--|--|

Project:
318 ROSEMARY MIXED-USE

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ORANGE COUNTY
NORTH CAROLINA

PIN: 9788178053



PRELIMINARY
NOT FOR CONSTRUCTION

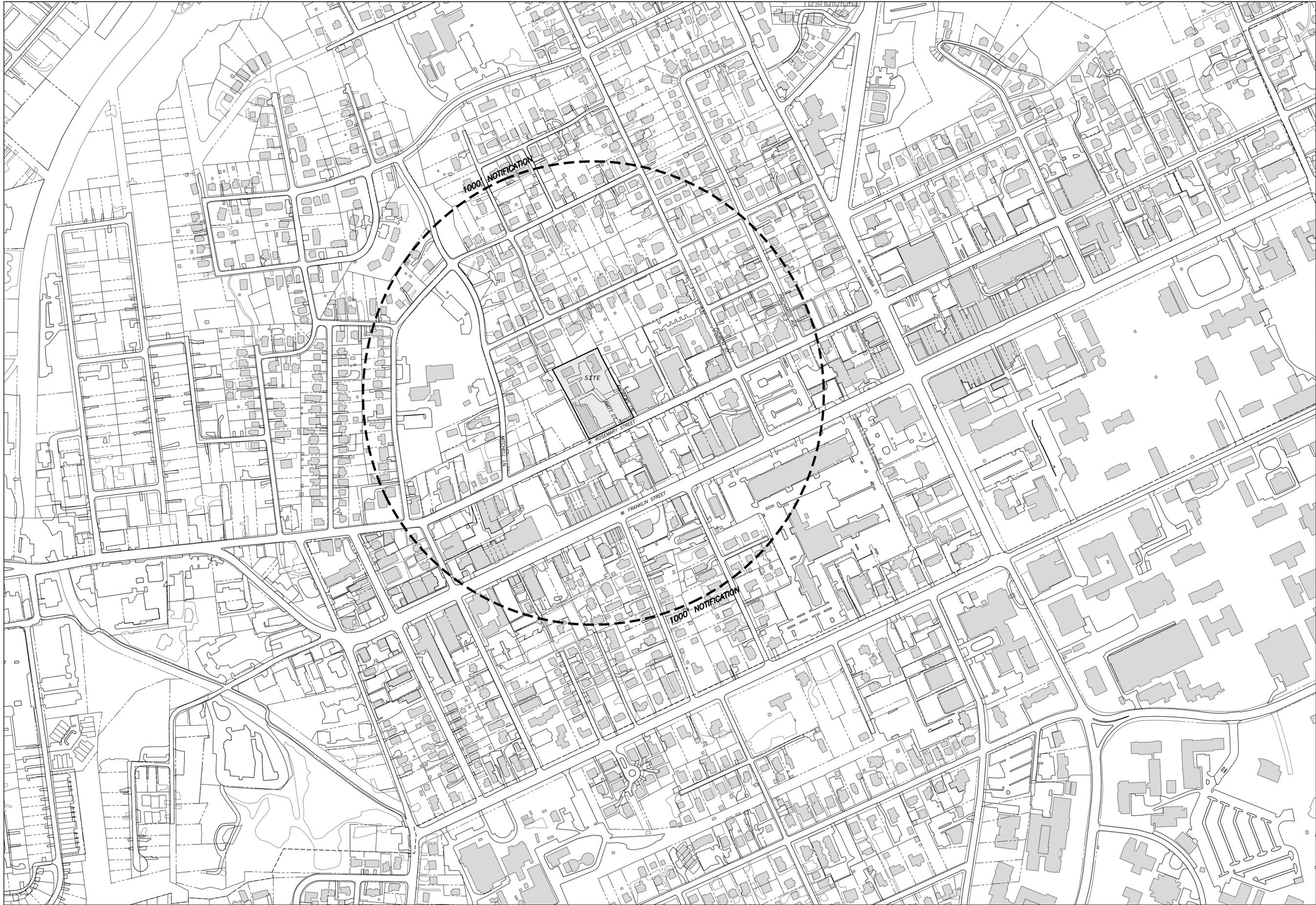
Job Number: 1663

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|-----------|------------|
| Drawn | JSA, ED |
| Checked | JSA |
| Date | 03.17.2017 |
| Revisions | |

SITE PLAN REVIEW

Sheet Title:
COVER SHEET

Sheet Number
C000



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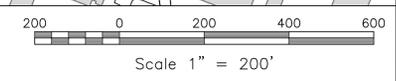
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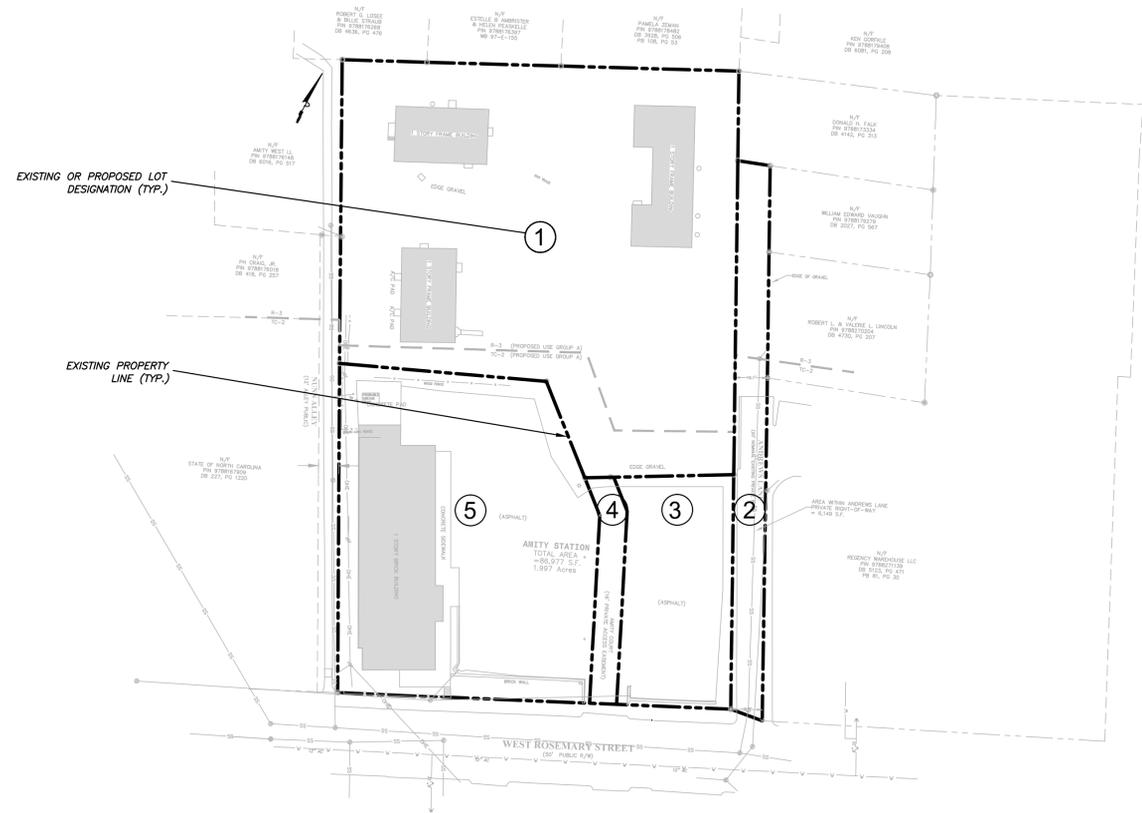
SITE PLAN REVIEW

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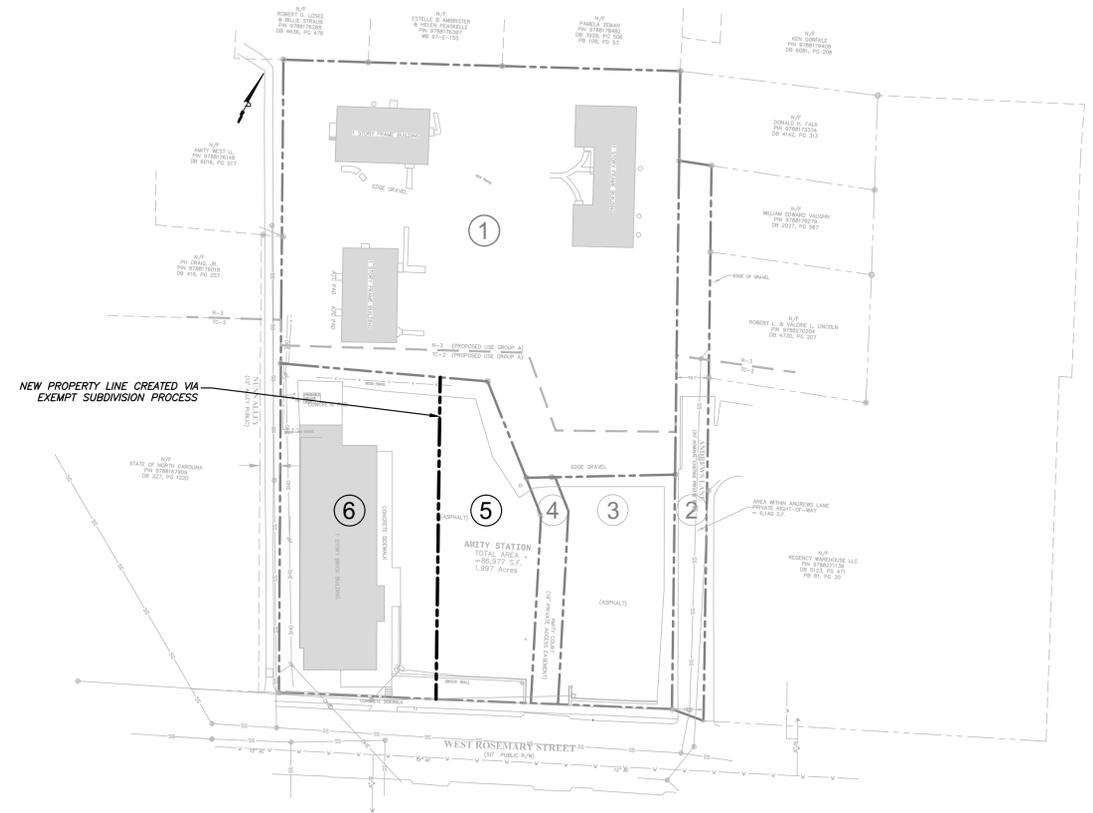
**AREA
MAP**

Sheet Number
C001

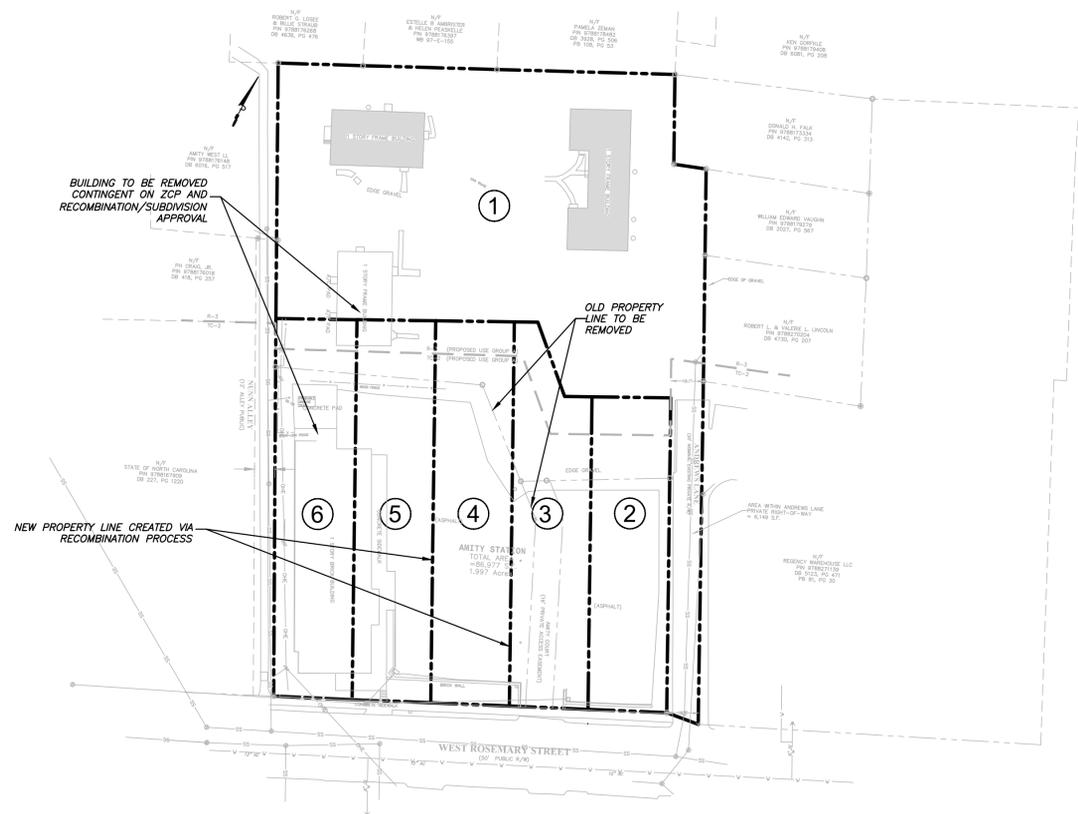




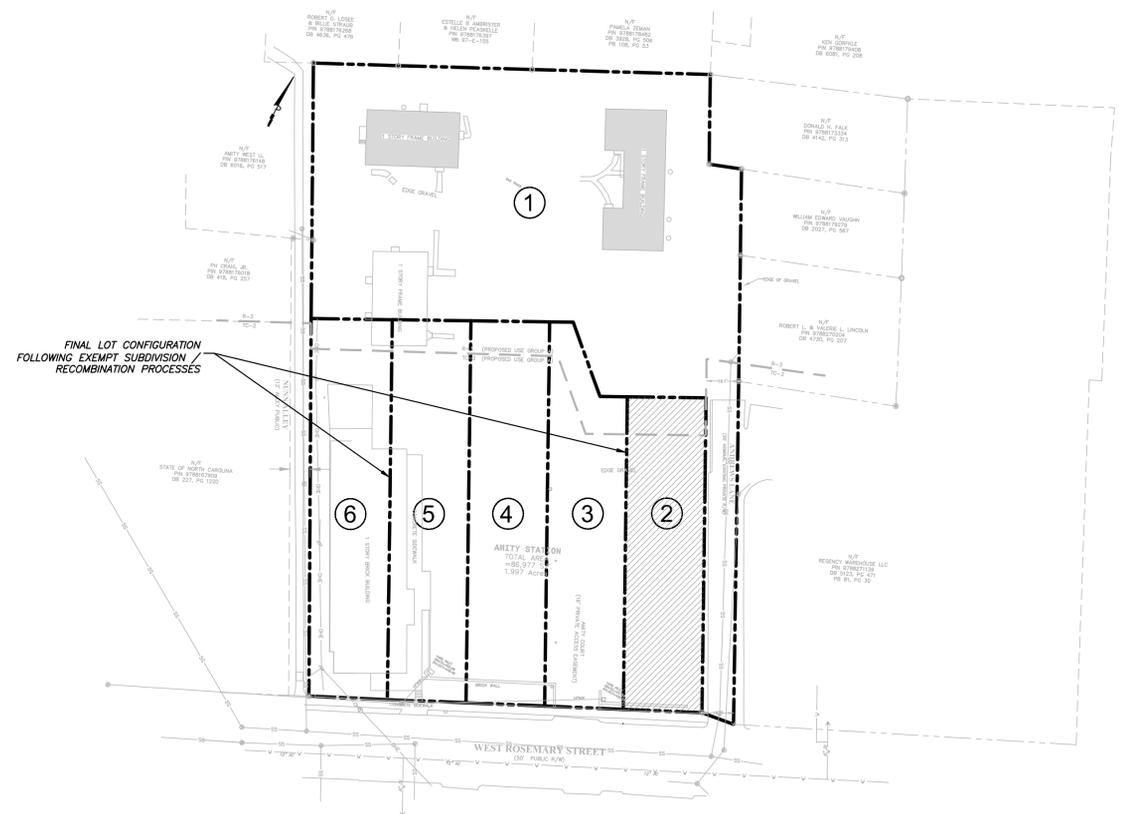
1/C103
EXISTING LOT CONFIGURATION
SCALE: 1"=50'



2/C103
STEP 1 - EXEMPT SUBDIVISION CONFIGURATION
SCALE: 1"=50'



3/C103
STEP 2 - RECOMBINATION CONFIGURATION
SCALE: 1"=50'



4/C103
FINAL LOT CONFIGURATION
SCALE: 1"=50'



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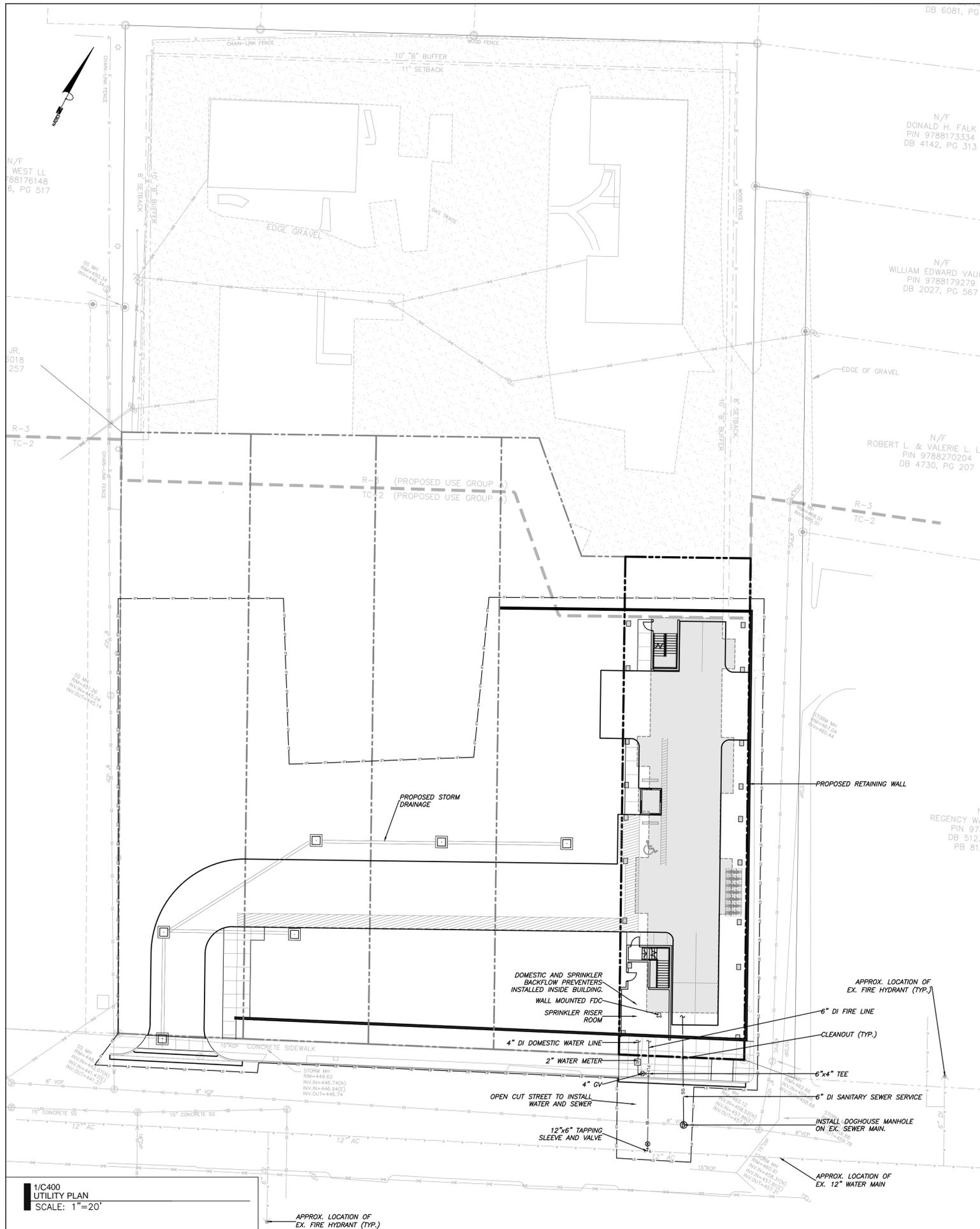
SITE PLAN REVIEW

Sheet Title:

EXISTING
LOTS
RECOMBINATION

Sheet Number

C103



1/C400
UTILITY PLAN
SCALE: 1"=20'

APPROX. LOCATION OF
EX. FIRE HYDRANT (TYP.)

GENERAL NOTES:

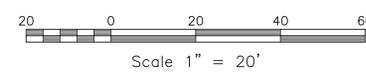
- CONTRACTOR SHALL NOTIFY "NORTH CAROLINA ONE CALL" (1-800-632-4949) AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR TO CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICE INDEPENDENT OF "NORTH CAROLINA ONE CALL".
- ALL WATER AND SEWER MAINS WITHIN PUBLIC EASEMENTS AND RIGHT-OF-WAYS TO BE OWNED, OPERATED AND MAINTAINED BY THE TOWN OF CHAPEL HILL.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE TOWN OF CHAPEL HILL STANDARDS AND SPECIFICATIONS.
- ALL EXISTING UNDERGROUND UTILITIES ARE APPROXIMATELY LOCATED. ACTUAL LOCATION AND DEPTH SHALL BE CONFIRMED IN THE FIELD PRIOR TO CONSTRUCTION.
- BEFORE STARTING ANY CONSTRUCTION OF IMPROVEMENTS WITHIN ANY TOWN OR N.C.D.O.T. STREET OR HIGHWAY RIGHT-OF-WAY THE FOLLOWING PROCEDURES SHOULD BE UNDERTAKEN; TOWN RIGHT-OF-WAY: CONTACT LOCAL AUTHORITIES' TRAFFIC ENGINEERING DEPT. FOR INFORMATION ON DETOURS, OPEN CUTTING OF STREETS OR FOR ANY CONSTRUCTION WITHIN RIGHT-OF-WAY. N.C.D.O.T. RIGHT-OF-WAY: CONTACT PROJECT ENGINEERS AND OBTAIN ALL PERMITS AND ENCROACHMENTS (KEEP COPIES ON CONSTRUCTION SITE. ALSO CONTACT N.C.D.O.T. DISTRICT OFFICE 24 HOURS IN ADVANCE BEFORE PLACING CURB AND GUTTER).
- ALL DIMENSIONS AND GRADES SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE OWNER IF ANY DISCREPANCIES EXIST. PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN OR GRADING CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR ANY WORK DONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
- POWER, TELEPHONE, AND GAS SERVICES TO BUILDINGS SHALL BE UNDERGROUND. ACCESS AND SERVICE ROUTES TO BE COORDINATED WITH THE PUBLIC UTILITIES, CONTRACTOR AND THE OWNER.
- RESURFACING OF STREET DUE TO UTILITY CUTS SHALL BE REQUIRED AT THE DIRECTION OF ENGINEERING. (MINIMUM 50' TO EITHER SIDE OF UTILITY CUTS).

SANITARY SEWER:

- BACKFLOW PREVENTORS SHALL BE PROVIDED FOR ALL UNITS WITH FINAL FLOOR ELEVATIONS OF BUILDINGS LESS THAN 1'-0" ABOVE UPSTREAM MANHOLE.
- MINIMUM COVER OF 5 FEET IN TRAFFIC AREAS TO BE PROVIDED FOR ALL COLLECTOR LINES 4 INCHES AND LARGER. IF LESS THAN 5 FEET, DUCTILE IRON PIPE SHALL BE REQUIRED.
- MINIMUM SLOPE FOR 4 INCH SANITARY SEWER COLLECTION LINES SHALL BE NO LESS THAN 2.0% WITH CLEANOUTS EVERY 75 LINEAL FEET.
- MINIMUM SLOPE FOR 6 INCH SANITARY SEWER COLLECTION LINES SHALL BE NO LESS THAN 1.0% WITH CLEANOUTS EVERY 75 LINEAL FEET.

WATER:

- WATERLINES WILL BE 3' OFF CURB AND GUTTER UNLESS SHOWN OTHERWISE.
- LAY WATER MAINS AT LEAST 10 FEET LATERALLY FROM EXISTING OR PROPOSED SANITARY SEWERS. IF LOCAL CONDITIONS OR BARRIERS PREVENT A 10 FOOT SEPARATION, LAY THE WATER MAIN WITH AT LEAST 18" VERTICAL SEPARATION ABOVE THE TOP OF THE SANITARY SEWER PIPE EITHER IN A SEPARATE TRENCH OR IN THE SAME TRENCH ON A BENCH OF UNDISTURBED EARTH.
- WHEN A PROPOSED WATER MAIN CROSSES OVER A PROPOSED OR EXISTING SANITARY SEWER, LAY THE WATER MAIN WITH AT LEAST 18" VERTICAL SEPARATION ABOVE THE TOP OF THE SANITARY SEWER. IF LOCAL CONDITIONS PREVENT AN 18" VERTICAL SEPARATION, CONSTRUCT BOTH THE WATER MAIN AND THE SANITARY SEWER FOR A DISTANCE OF 10 FEET ON EACH SIDE TO THE POINT OF CROSSING WITH FERROUS PIPE HAVING WATER MAIN QUALITY JOINTS.
- WHEN A PROPOSED WATER MAIN CROSSES UNDER A PROPOSED OR EXISTING SANITARY SEWER, CONSTRUCT BOTH THE WATER MAIN AND THE SANITARY SEWER OF FERROUS MATERIALS WITH JOINTS THAT ARE EQUIVALENT TO WATER MAIN STANDARDS FOR A DISTANCE OF 10 FEET ON EACH SIDE OF THE POINT OF CROSSING. CENTER THE SECTION OF WATER PIPE AT THE POINT OF CROSSING.
- MAINTAIN A MINIMUM COVER OF 42" BELOW FINISHED GRADE OVER ALL PIPES UNLESS OTHERWISE DIRECTED OR SHOWN ON THE PLANS. DUE TO THE HEIGHTS OF VALVES, INCREASE THE COVER DEPTHS ADJACENT TO THE VALVES OR VARIED AT POINTS OF TIE-IN TO EXISTING LINES.
- ALL FDC(S) AND HYDRANT(S) TO BE PROVIDED WITH 5 INCH DIAMETER STORZ CONNECTIONS.



LEGEND

| | | | | |
|------------------------|-----|--|---|-----|
| Water Valve | ⊗ | Light Pole | ⊗ | OLP |
| Curb Inlet/Catch Basin | ⊠ | Sewer Cleanout | ⊠ | OCO |
| Mail Box | MB | Flared End Section | ⊠ | |
| Traffic Signal Box | TSB | Gas Valve | ⊗ | GV |
| Electric Transformer | ⊠ | Existing Iron Pipe (3/4" unless noted) | ⊠ | IPS |
| Electric Junction Box | ⊠ | 1/2" Iron Pipe Set | ⊠ | PK |
| Gas Meter | ⊠ | Existing PK Nail | ⊠ | PKS |
| Sanitary Sewer Manhole | ⊠ | PK Nail Set | ⊠ | |
| Storm Sewer Manhole | ⊠ | Computed Point | ⊠ | |
| Telephone Manhole | ⊠ | Concrete Monument | ⊠ | |
| Electric Manhole | ⊠ | Tree Line | ⊠ | |
| Sign | ⊠ | Fence | ⊠ | |
| Telephone Pedestal | ⊠ | Underground Electric | ⊠ | |
| Fire Hydrant | ⊠ | Underground Telephone | ⊠ | |
| Post Indicator Valve | ⊠ | Gas Line | ⊠ | |
| Water Manhole | ⊠ | Water Line | ⊠ | |
| Water Meter | ⊠ | Overhead Utilities | ⊠ | |
| Hot Box | ⊠ | Storm Sewer | ⊠ | |
| Utility Pole | ⊠ | Sanitary Sewer | ⊠ | |
| | | Guard Rail | ⊠ | |
| | | Building Wall | ⊠ | |

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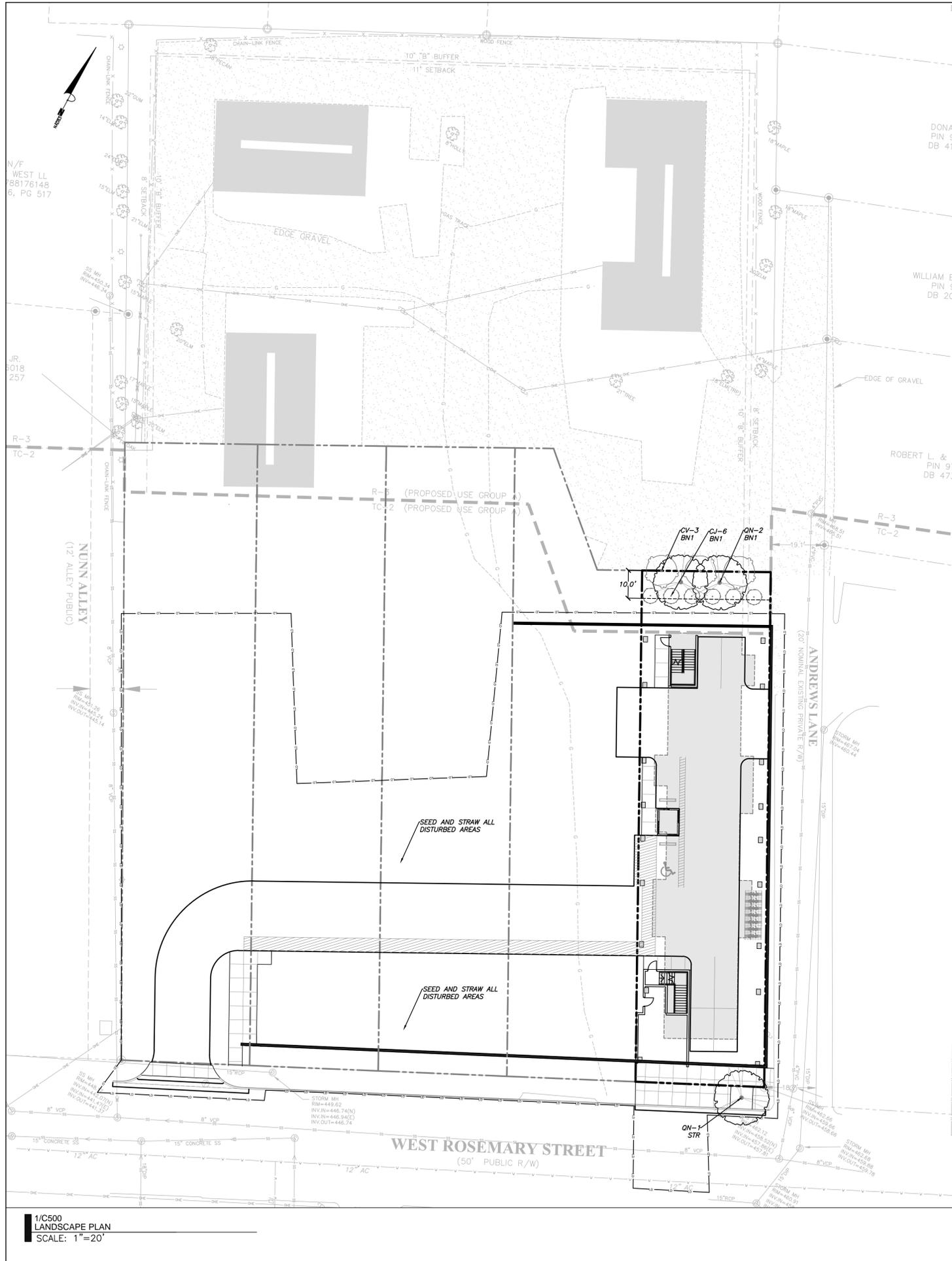
Drawn JSA, ED
Checked JSA, PBR
Date 03.17.2017
Revisions

SITE PLAN REVIEW

Sheet Title:

**UTILITY
PLAN**

Sheet Number
C400



1/C500
LANDSCAPE PLAN
SCALE: 1"=20'

2/C500
LANDSCAPE NOTES
NTS

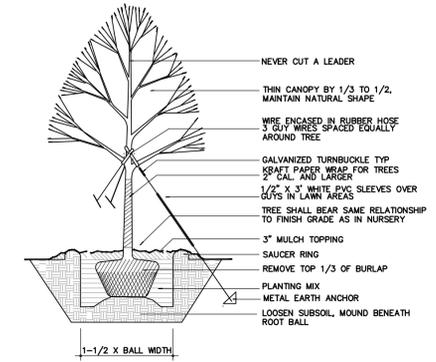
- LANDSCAPING MUST BE IN PLACE PRIOR TO REQUEST FOR A CERTIFICATE OF OCCUPANCY OR CERTIFICATE OF COMPLIANCE.
- CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS, DEPTHS, QUANTITIES, DISTANCES, ANGLES AND SLOPES PRIOR TO ORDERING MATERIALS OR INSTALLING PROJECT.
- IN AREAS OF GROUND COVER, MAINTAIN A 12" MINIMUM DISTANCE BETWEEN PLANTS AND HARD IMPROVEMENTS.
- BED LINES SHALL CONFORM TO CONFIGURATION SHOWN ON THE PLANS. BED LINES SHALL MEET CURBS, WALKS, BUILDINGS, ETC. AT RIGHT ANGLES UNLESS SHOWN OTHERWISE.
- CONTRACTOR SHALL VISIT THE SITE AND FAMILIARIZE THEMSELVES WITH ACTUAL CONDITIONS AND VERIFY EXISTING CONDITIONS IN THE FIELD. CONTRACTOR SHALL REPORT ALL DISCREPANCIES TO LANDSCAPE ARCHITECT.
- CONTRACTOR SHALL ACCEPT ACTUAL CONDITIONS AT SITE AND PERFORM THE WORK SPECIFIED INCLUDING FINE GRADING AND INCORPORATION OF TOP SOIL INTO PLANTING AREAS, WITHOUT ADDITIONAL COMPENSATION FOR POSSIBLE VARIATION FROM GRADES AND CONDITIONS SHOWN, WHETHER SURFACE OR SUBSURFACE, EXCEPT AS PROVIDED FOR IN CONTRACT DOCUMENTS.
- IN LAWN AREAS, 2" TOPSOIL SHALL BE TILLED INTO THE TOP 5" OF GROUND PRIOR TO SEEDING.
- CONTRACTOR WILL OBTAIN WRITTEN APPROVAL FROM LANDSCAPE ARCHITECT FOR ANY PLANT SUBSTITUTIONS OF SPECIES, SIZE, OR TYPE OF CONTAINER.
- CONTRACTOR SHALL LOCATE ALL UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION AND SHALL BE RESPONSIBLE FOR THE PROTECTION OF THESE UTILITIES DURING INSTALLATION, AND SHALL PROMPTLY REPAIR AND RESTORE SERVICES AT NO ADDITIONAL COST TO THE OWNER IF DAMAGE OCCURS DURING INSTALLATION. CONTRACTOR SHALL BECOME THOROUGHLY FAMILIAR WITH THE FULL SET OF CONSTRUCTION DRAWINGS AND SPECIFICATIONS FOR COORDINATION WITH UTILITIES, ARCHITECTURAL FEATURES, ETC.
- CONTRACTOR WILL LEAVE DISTURBED AREAS LEVEL AND RAKED SMOOTH, REMOVING ALL ROCKS AND DEBRIS.
- MULCH IS TO BE A 3" LAYER OF TRIPLE SHREDDED HARDWOOD MULCH. MULCH IS TO BE KEPT AWAY FROM TREE TRUNKS.
- ANY DAMAGE TO EXISTING CONDITIONS OUTSIDE THE CONTRACT LIMITS, INCLUDING CURBS, SIDEWALKS, TURF AREAS AND PAVING, SHALL BE RESTORED TO ORIGINAL CONDITION BY THE CONTRACTOR WITHOUT EXTRA COST TO THE OWNER.
- IN CASE OF DISCREPANCY BETWEEN THE QUANTITY OF PLANTS ON THE PLANS COMPARED TO THE PLANT LIST, THE CONTRACTOR SHALL SUPPLY QUANTITIES AS SHOWN ON THE PLANS.
- ALL UNPAVED SURFACES ARE TO BE COVERED IN PLANTS, MULCH, OR GRASS.

3/C500
LANDSCAPE CALCULATIONS
NTS

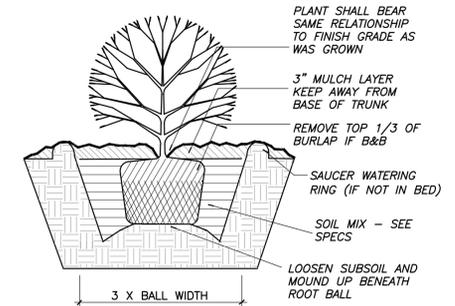
USE CLASSIFICATION: DWELLING UNITS, 7 OR MORE (USE GROUP A)
 ADJACENT USE CLASSIFICATION: DWELLING UNITS, 7 OR MORE (USE GROUP A)
 NORTHERN BUFFER = TYPE B INTERNAL BUFFER (10' MIN.)
 PLANTINGS PER 100 LF
 4 LARGE TREES
 7 SMALL TREES
 12 SHRUBS
 PLANTINGS PROVIDED = 46' PL
 2 LARGE TREES
 3 SMALL TREES
 6 SHRUBS

4/C500
LANDSCAPE PLANTING SCHEDULE
NTS

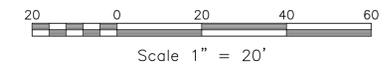
| QTY | % | EVGN | KEY | BOTANICAL NAME | COMMON NAME | SIZE | SPACING | REMARKS |
|--------------------|---|------|-----|----------------------------------|-----------------|-----------|-------------|----------------|
| LARGE TREES | | | | | | | | |
| 3 | | N | QR | <i>Quercus nuttallii</i> | Nuttall Oak | 2" cal. | 8'-10' hgt. | Single leader |
| SMALL TREES | | | | | | | | |
| 3 | | N | CV | <i>Chionanthus virginicus</i> | Fringetree | 1.5" cal. | 5'-6' hgt. | Single trunk |
| SHRUBS | | | | | | | | |
| 6 | | Y | CI | <i>Camellia japonica</i> 'Jacks' | Spring Camellia | 3 gal. | 18" hgt. | Full, Matching |



5/C500
TREE PLANTING DETAIL
NTS



6/C500
SHRUB PLANTING DETAIL
NTS



LEGEND

| | | | |
|------------------------|---|--|------|
| Water Valve | ⊗ | Light Pole | ○LP |
| Sewer Cleanout | □ | Sewer Cleanout | ○OC |
| Curb Inlet/Catch Basin | ⊠ | Flared End Section | ⊠ |
| Mail Box | ⊠ | Gas Valve | ⊗GV |
| Traffic Signal Box | ⊠ | Existing Iron Pipe (3/4" unless noted) | ○ |
| Electric Transformer | ⊠ | 1/2" Iron Pipe Set | ○IPS |
| Electric Junction Box | ⊠ | Existing PK Nail | ●PK |
| Gas Meter | ⊠ | PK Nail Set | ●PKS |
| Sanitary Sewer Manhole | ⊠ | Computed Point | ⊠ |
| Storm Sewer Manhole | ⊠ | Concrete Monument | ⊠ |
| Telephone Manhole | ⊠ | Tree Line | ⊠ |
| Electric Manhole | ⊠ | Fence | ⊠ |
| Sign | ⊠ | Underground Electric | ⊠ |
| Telephone Pedestal | ⊠ | Underground Telephone | ⊠ |
| Fire Hydrant | ⊠ | Gas Line | ⊠ |
| Water Manhole | ⊠ | Water Line | ⊠ |
| Water Meter | ⊠ | Overhead Utilities | ⊠ |
| Hot Box | ⊠ | Storm Sewer | ⊠ |
| Utility Pole | ⊠ | Sanitary Sewer | ⊠ |
| | | Guard Rail | ⊠ |
| | | Building Wall | ⊠ |



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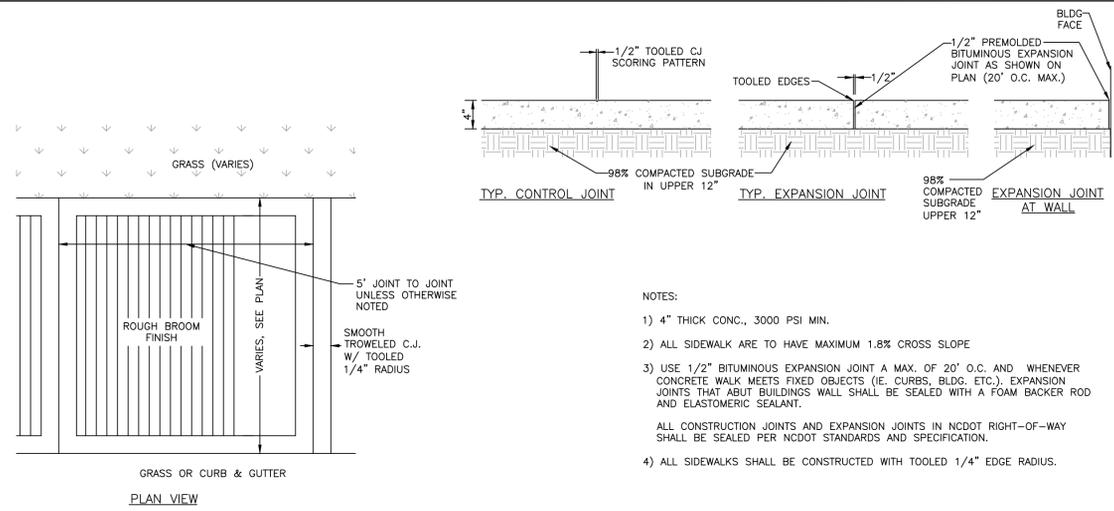
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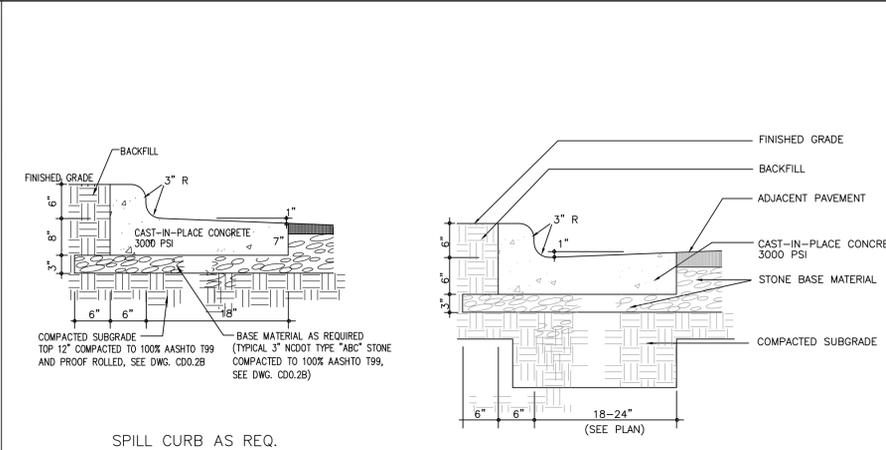
Sheet Title:
**LANDSCAPE
PLAN**

Sheet Number
C500



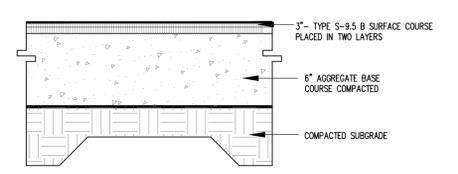
- NOTES:
- 1) 4" THICK CONC., 3000 PSI MIN.
 - 2) ALL SIDEWALK ARE TO HAVE MAXIMUM 1.8% CROSS SLOPE
 - 3) USE 1/2" BITUMINOUS EXPANSION JOINT A MAX. OF 20' O.C. AND WHENEVER CONCRETE WALK MEETS FIXED OBJECTS (I.E. CURBS, BLDG. ETC.), EXPANSION JOINTS THAT ABUT BUILDINGS WALL SHALL BE SEALED WITH A FOAM BACKER ROD AND ELASTOMERIC SEALANT.
 - 4) ALL SIDEWALKS SHALL BE CONSTRUCTED WITH TOOLED 1/4" EDGE RADIUS.
- ALL CONSTRUCTION JOINTS AND EXPANSION JOINTS IN NCDOT RIGHT-OF-WAY SHALL BE SEALED PER NCDOT STANDARDS AND SPECIFICATION.

1 CONCRETE SIDEWALK
C600 no scale



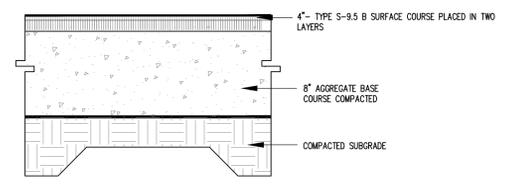
- CONTRACTION JOINTS SHALL BE SPACED AT 10 FOOT INTERVALS. EXCEPT THAT A 15 FOOT SPACING MAY BE USED WHEN A MACHINE IS USED OR WHEN SATISFACTORY SUPPORT FOR THE FACE FORM CAN BE OBTAINED WITHOUT THE USE OF TEMPLATES AT 10 FOOT INTERVALS. JOINT SPACING MAY BE ALTERED BY THE ENGINEER TO PREVENT UNCONTROLLED CRACKING.
- CONTRACTION JOINTS MAY BE INSTALLED BY THE USE OF TEMPLATES OR FORMED BY OTHER APPROVED METHODS. WHERE SUCH JOINTS ARE NOT FORMED BY TEMPLATES, A MINIMUM DEPTH OF 1 1/2" SHALL BE MAINTAINED.
- CONCRETE FOR CURBING SHALL HAVE A MINIMUM COMPRESSION STRENGTH OF 3000 PSI AT 28 DAYS.
- ALL CONTRACTION JOINTS SHALL BE FILLED WITH JOINT FILLER.
- JOINTS SHALL MATCH LOCATIONS WITH JOINT IN ABUTTING SIDEWALK.
- EXPANSION JOINTS SHALL BE SPACED AT 90 FOOT INTERVALS AND ADJACENT TO ALL RIGID OBJECTS.

2 CURB AND GUTTER
C600 no scale



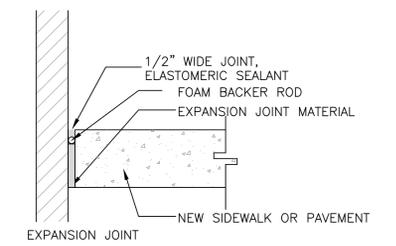
FINAL PAVEMENT SECTION IS PROVIDED BY GEO-TECHNICAL ENGINEER BASED SITE SPECIFIC GEO-TECHNICAL REPORT

3 LIGHT DUTY ASPHALT PAVING
C600 no scale

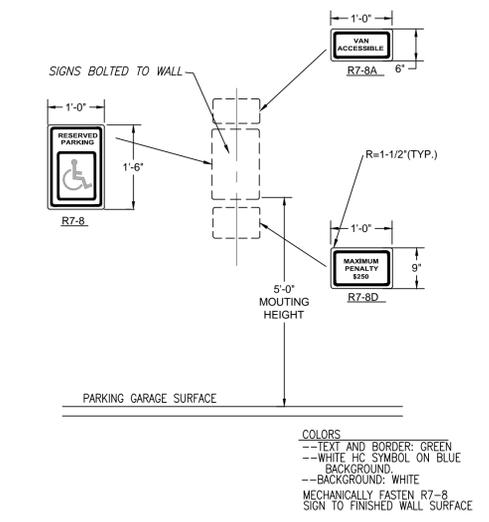


FINAL PAVEMENT SECTION IS PROVIDED BY GEO-TECHNICAL ENGINEER BASED SITE SPECIFIC GEO-TECHNICAL REPORT

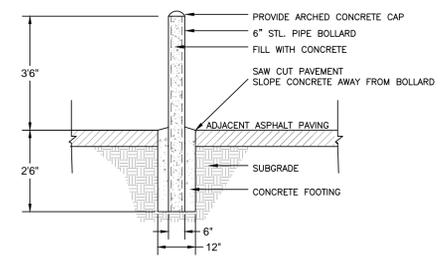
4 HEAVY DUTY ASPHALT PAVING
C600 no scale



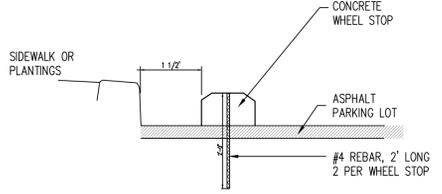
5 PAVING ADJACENT TO BUILDING
C600 no scale



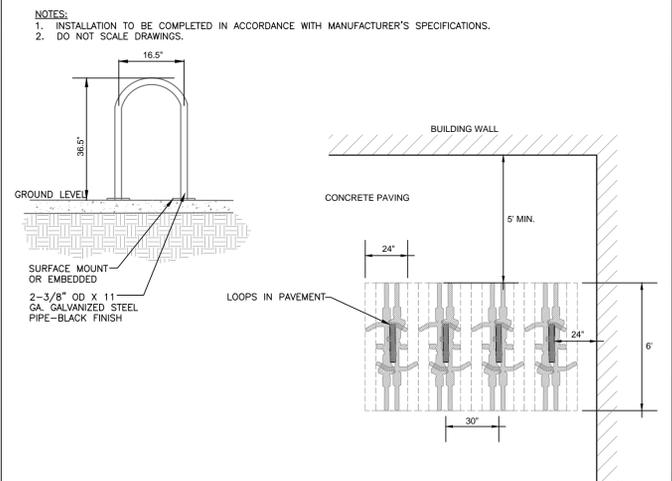
6 ADA SIGNAGE
C600 no scale



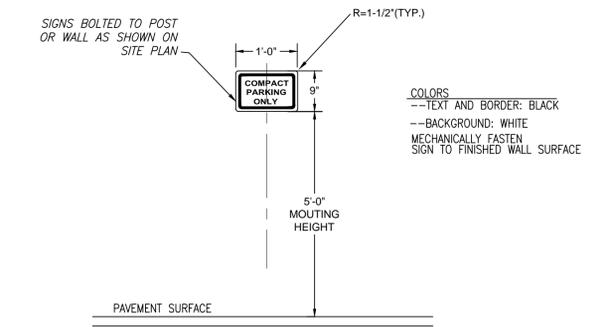
7 BOLLARD
C600 no scale



8 WHEELSTOP
C600 no scale



9 BIKE RACK
C600 no scale



10 COMPACT PARKING SPACE SIGNAGE
C600 no scale



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PRELIMINARY NOT FOR CONSTRUCTION

Job Number: 1663

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| Drawn | JSA, ED |
| Checked | JSA |
| Date | 03.17.2017 |
| Revisions | |

SITE PLAN REVIEW

Sheet Title:

SITE DETAILS

Sheet Number
C600