



HOUSING STUDIO

333 West Trade Street, Suite 300  
Charlotte, NC 28202  
T: 704.333.7862 F: 980.237.3862

THE PARK AT CHAPEL HILL APARTMENTS  
PHASE 1A & 1B - CHAPEL HILL, NC

FORM DISTRICT PERMIT - 2/28/2019  
FORM DISTRICT PERMIT RE-SUBMITTAL 5/3/2019  
FORM DISTRICT PERMIT RE-SUBMITTAL 6/19/2019  
FORM DISTRICT PERMIT RE-SUBMITTAL 8/7/2019



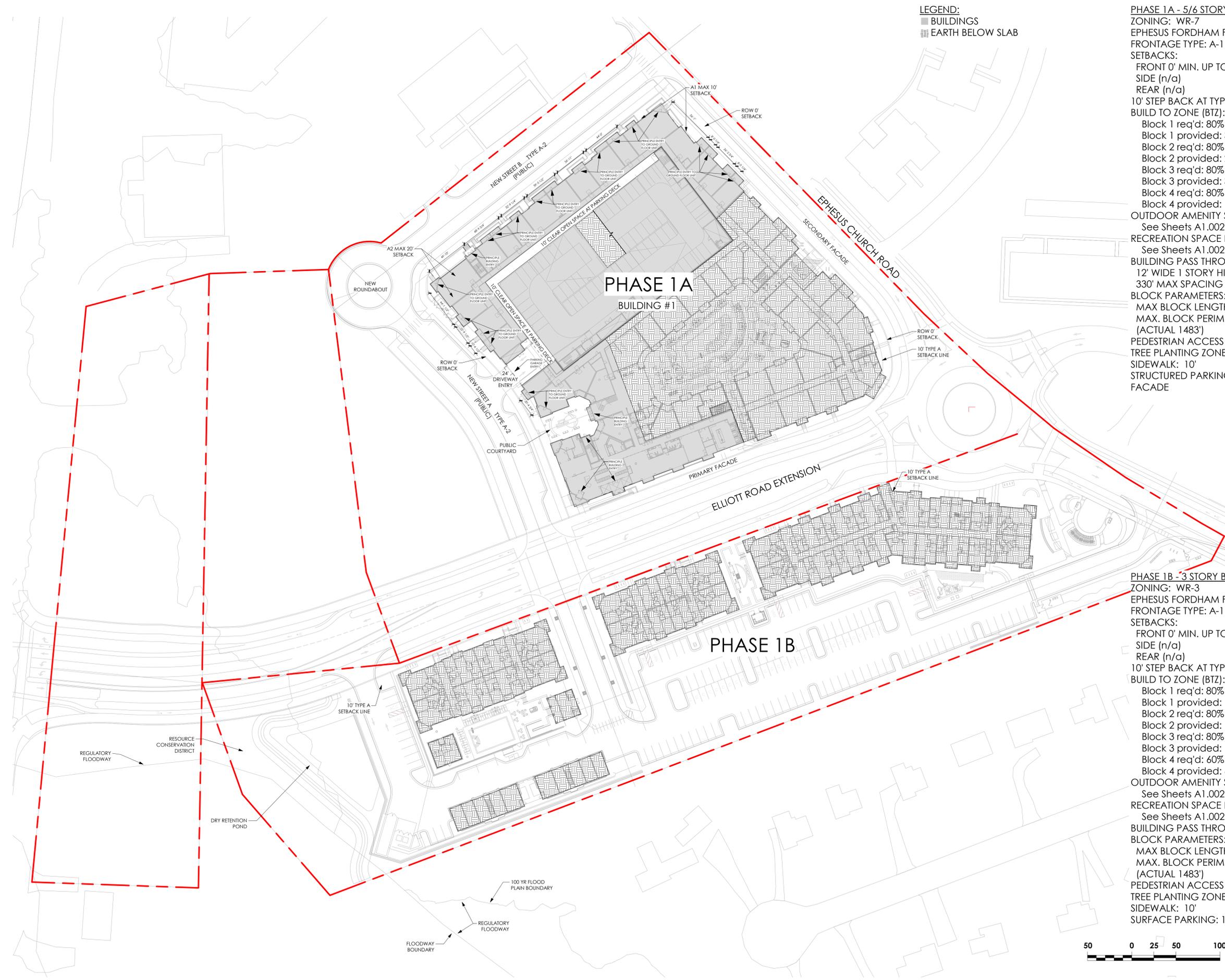
PROJECT SITE  
PLAN - LOWER  
LEVEL

A1.000

LEGEND:  
■ BUILDINGS  
▨ EARTH BELOW SLAB

**PHASE 1A - 5/6 STORY BUILDING**  
ZONING: WR-7  
EPHESUS FORDHAM FORM DISTRICT  
FRONTAGE TYPE: A-1  
SETBACKS:  
FRONT 0' MIN. UP TO 10' MAX.  
SIDE (n/a)  
REAR (n/a)  
10' STEP BACK AT TYPE A-1 FRONTAGE (N/A)  
BUILD TO ZONE (BTZ): 80% OF BUILDING FACADE  
Block 1 req'd: 80% x 419' = 335.2'  
Block 1 provided: 329' + 56' = 385' (92%)  
Block 2 req'd: 80% x 459' = 367.2'  
Block 2 provided: 227' + 11' + 163' = 401' (87%)  
Block 3 req'd: 80% x 389' = 311.2'  
Block 3 provided: 330' (85%)  
Block 4 req'd: 80% x 354' = 283.2'  
Block 4 provided: 171' + 132' = 303' (86%)  
OUTDOOR AMENITY SPACE RATIO:  
See Sheets A1.002 & A1.003  
RECREATION SPACE RATIO:  
See Sheets A1.002 & A1.003  
BUILDING PASS THROUGH:  
12' WIDE 1 STORY HIGH  
330' MAX SPACING  
BLOCK PARAMETERS:  
MAX BLOCK LENGTH 450'  
MAX. BLOCK PERIMETER 1800'  
(ACTUAL 1483')  
PEDESTRIAN ACCESS : 100'  
TREE PLANTING ZONE : 8'  
SIDEWALK: 10'  
STRUCTURED PARKING: 30' MIN FROM BUILDING FACADE

**PHASE 1B - 3 STORY BUILDINGS**  
ZONING: WR-3  
EPHESUS FORDHAM FORM DISTRICT  
FRONTAGE TYPE: A-1  
SETBACKS:  
FRONT 0' MIN. UP TO 10' MAX.  
SIDE (n/a)  
REAR (n/a)  
10' STEP BACK AT TYPE A-1 FRONTAGE (N/A)  
BUILD TO ZONE (BTZ): 80% OF BUILDING FACADE  
Block 1 req'd: 80% x 286' = 228.8'  
Block 1 provided: 177' + (50% x 108') = 231' (81%)  
Block 2 req'd: 80% x 418' = 334.4'  
Block 2 provided: 150' + 172' + (50% x 35') = 339.5' (81%)  
Block 3 req'd: 80% x 331' = 264.8'  
Block 3 provided: 167' + (50% x 201') = 267.5' (81%)  
Block 4 provided: 68' (91%)  
OUTDOOR AMENITY SPACE RATIO:  
See Sheets A1.002 & A1.003  
RECREATION SPACE RATIO:  
See Sheets A1.002 & A1.003  
BUILDING PASS THROUGH - MAX 330' SPACING  
BLOCK PARAMETERS:  
MAX BLOCK LENGTH 450'  
MAX. BLOCK PERIMETER 1800'  
(ACTUAL 1483')  
PEDESTRIAN ACCESS : 100'  
TREE PLANTING ZONE : 8'  
SIDEWALK: 10'  
SURFACE PARKING: 10' MIN FROM RES. ZONE



1 ARCHITECTURAL SITE PLAN - LOWER LEVEL  
1" = 50'-0"



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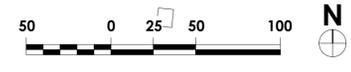


A1.001

**PHASE 1A - 5/6 STORY BUILDING**  
 ZONING: WR-7  
 EPHEsus FORDHAM FORM DISTRICT  
 FRONTAGE TYPE: A-1  
 SETBACKS:  
 FRONT 0' MIN. UP TO 10' MAX.  
 SIDE (n/a)  
 REAR (n/a)  
 10' STEP BACK AT TYPE A-1 FRONTAGE (N/A)  
 BUILD TO ZONE (BTZ): 80% OF BUILDING FACADE  
 Block 1 req'd: 80% x 419' = 335.2'  
 Block 1 provided: 329' + 56' = 385' (92%)  
 Block 2 req'd: 80% x 459' = 367.2'  
 Block 3 req'd: 80% x 389' = 311.2'  
 Block 3 provided: 330' (85%)  
 Block 4 req'd: 80% x 354' = 283.2'  
 Block 4 provided: 171' + 132' = 303' (86%)  
 OUTDOOR AMENITY SPACE RATIO:  
 See Sheets A1.002 & A1.003  
 RECREATION SPACE RATIO:  
 See Sheets A1.002 & A1.003  
 BUILDING PASS THROUGH:  
 12' WIDE 1 STORY HIGH  
 330' MAX SPACING  
 BLOCK PARAMETERS:  
 MAX BLOCK LENGTH 450'  
 MAX. BLOCK PERIMETER 1800'  
 (ACTUAL 1483')  
 PEDESTRIAN ACCESS : 100'  
 TREE PLANTING ZONE : 8'  
 SIDEWALK: 10'  
 STRUCTURED PARKING: 30' MIN FROM BUILDING FACADE

**PHASE 1B - 3 STORY BUILDINGS**  
 ZONING: WR-3  
 EPHEsus FORDHAM FORM DISTRICT  
 FRONTAGE TYPE: A-1  
 SETBACKS:  
 FRONT 0' MIN. UP TO 10' MAX.  
 SIDE (n/a)  
 REAR (n/a)  
 10' STEP BACK AT TYPE A-1 FRONTAGE (N/A)  
 BUILD TO ZONE (BTZ): 80% OF BUILDING FACADE  
 Block 1 req'd: 80% x 286' = 228.8'  
 Block 1 provided: 177' + (50% x 108') = 231' (81%)  
 Block 2 req'd: 80% x 418' = 334.4'  
 Block 2 provided: 150' + 172' + (50% x 35') = 339.5' (81%)  
 Block 3 req'd: 80% x 331' = 264.8'  
 Block 3 provided: 167' + (50% x 201') = 267.5' (81%)  
 Block 4 req'd: 60% x 75' = 45'  
 Block 4 provided: 68' (91%)  
 OUTDOOR AMENITY SPACE RATIO:  
 See Sheets A1.002 & A1.003  
 RECREATION SPACE RATIO:  
 See Sheets A1.002 & A1.003  
 BUILDING PASS THROUGH - MAX 330' SPACING  
 BLOCK PARAMETERS:  
 MAX BLOCK LENGTH 450'  
 MAX. BLOCK PERIMETER 1800'  
 (ACTUAL 1483')  
 PEDESTRIAN ACCESS : 100'  
 TREE PLANTING ZONE : 8'  
 SIDEWALK: 10'  
 SURFACE PARKING: 10' MIN FROM RES. ZONE

**LEGEND:**  
 ■ BUILDINGS  
 ■ EARTH BELOW SLAB



1 ARCHITECTURAL SITE PLAN - MAIN LEVEL  
1" = 50'-0"



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THE PARK AT CHAPEL HILL APARTMENTS  
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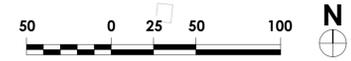
PROJECT  
AMENITY SPACE  
SITE PLAN -  
LOWER LEVEL  
**A1.002**

- LEGEND:
- BUILDINGS
  - ▨ OUTDOOR AMENITY SPACES
  - ▩ RECREATION SPACES
  - ▧ EARTH BELOW SLAB

SITE	
<b>Outdoor Amenity Spaces (Ratio: 0.06)</b>	
Site Required: (334,347 SF x 0.06) =	<b>20,061</b>
Provided:	
Public Courtyard	2,300
Amenity Courtyard	1,417
Pass-Thru Courtyard	702
Outdoor Fitness Zone	7,452
Public Dog Park	3,854
Outdoor Gathering #1	719
Outdoor Gathering #2	1,553
Mulch Trail	6,359

PHASE 1A	
<b>Recreation Spaces (Ratio: 0.12 Residential Portion)</b>	
Required: (153,200 SF x 0.12) / 2 =	<b>9,192</b>
Provided:	
Pool Courtyard	8,392
Fitness / Yoga	2,474
Speak Easy	886
Club Room	1,915
Game Room	1,626
50% Payment in Lieu	4,596

PHASE 1B	
<b>Recreation Spaces (Ratio: 0.08 Residential Portion)</b>	
Required: (214,581 SF x 0.08) / 2 =	<b>8,583</b>
Provided:	
Pool Courtyard	6,195
Aqua Lounge	900
50% Payment in Lieu	5,780



1 OUTDOOR AMENITY & RECREATION SPACE SITE PLAN - LOWER LEVEL  
1" = 50'-0"

1700 THE PARK AT CHAPEL HILL GARDEN  
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**THE PARK AT CHAPEL HILL APARTMENTS  
PHASE 1A & 1B - CHAPEL HILL, NC**

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FORM DISTRICT PERMIT RE-SUBMITTAL 8/7/2019



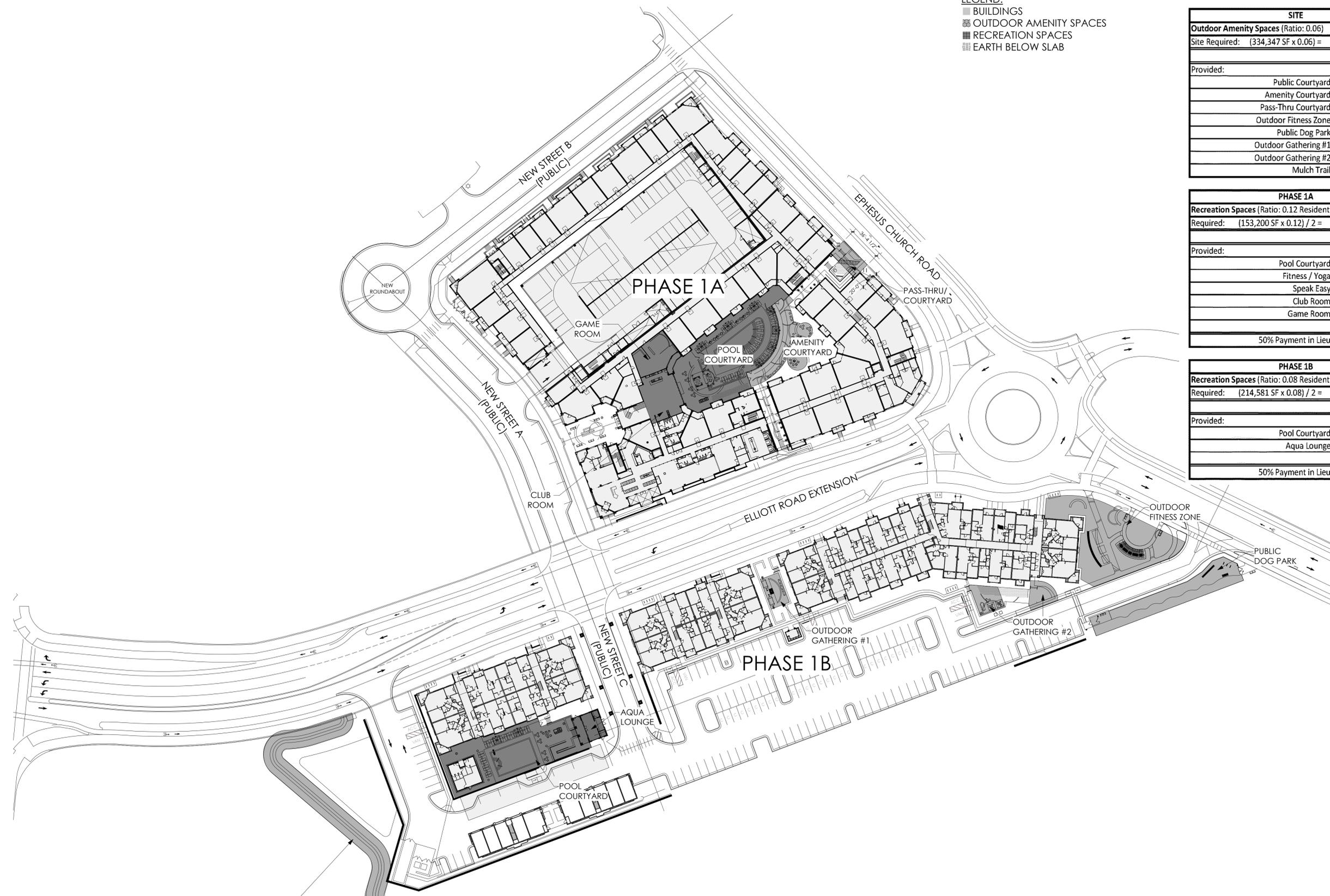
**W**  
PROJECT  
AMENITY SPACE  
SITE PLAN - MAIN  
LEVEL  
**A1.003**

- LEGEND:**
- BUILDINGS
  - OUTDOOR AMENITY SPACES
  - RECREATION SPACES
  - EARTH BELOW SLAB

SITE	
<b>Outdoor Amenity Spaces (Ratio: 0.06)</b>	
Site Required: (334,347 SF x 0.06) =	<b>20,061</b>
Provided:	
Public Courtyard	2,300
Amenity Courtyard	1,417
Pass-Thru Courtyard	702
Outdoor Fitness Zone	7,452
Public Dog Park	3,854
Outdoor Gathering #1	719
Outdoor Gathering #2	1,553
Mulch Trail	6,359

PHASE 1A	
<b>Recreation Spaces (Ratio: 0.12 Residential Portion)</b>	
Required: (153,200 SF x 0.12) / 2 =	<b>9,192</b>
Provided:	
Pool Courtyard	8,392
Fitness / Yoga	2,474
Speak Easy	886
Club Room	1,915
Game Room	1,626
50% Payment in Lieu	4,596

PHASE 1B	
<b>Recreation Spaces (Ratio: 0.08 Residential Portion)</b>	
Required: (214,581 SF x 0.08) / 2 =	<b>8,583</b>
Provided:	
Pool Courtyard	6,195
Aqua Lounge	900
50% Payment in Lieu	5,780



1701 THE PARK AT CHAPEL HILL GARDEN  
02/20/19 4:28:34 PM

① OUTDOOR AMENITY & RECREATION SPACE SITE PLAN - MAIN LEVEL  
1" = 50'-0"

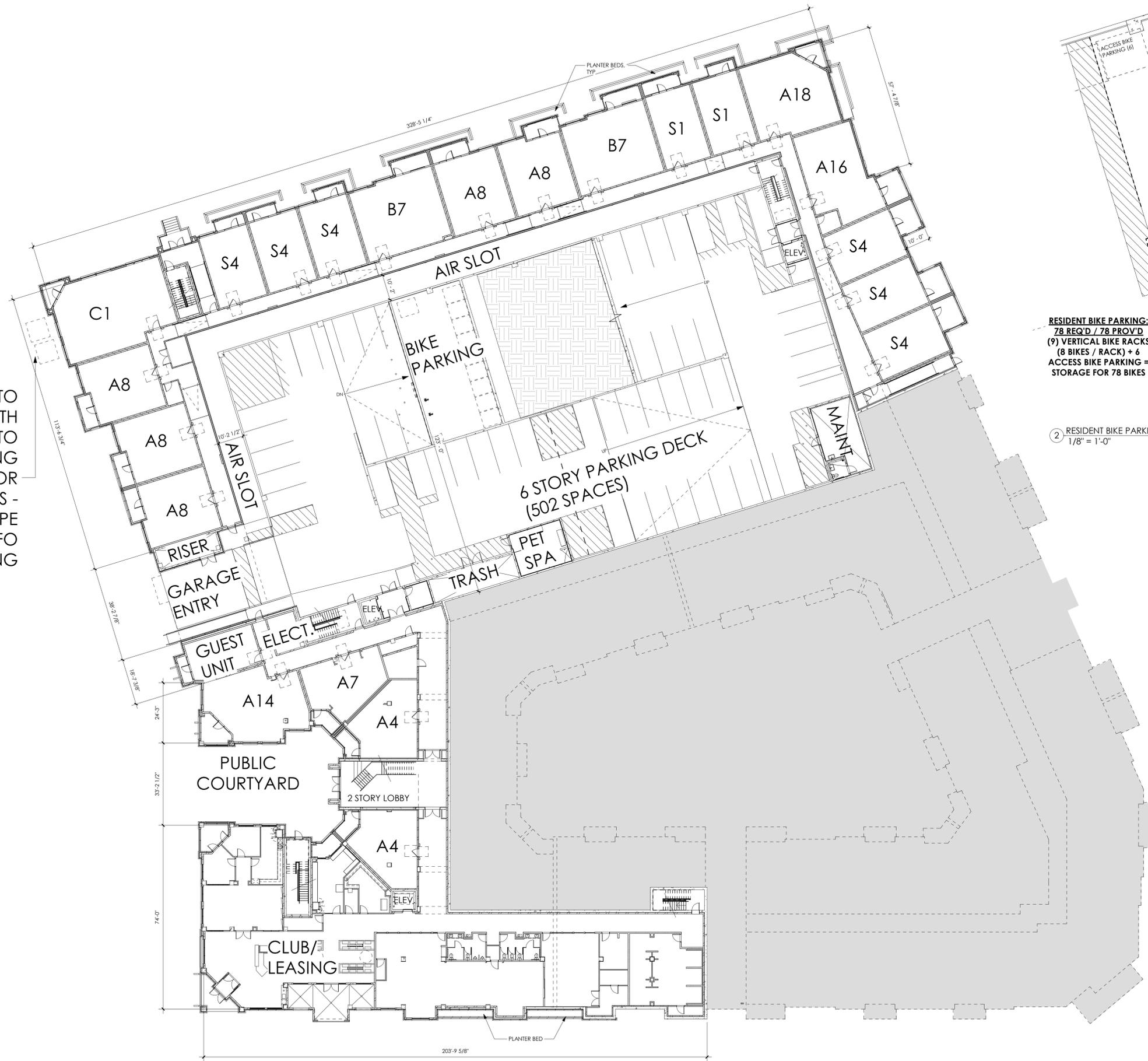


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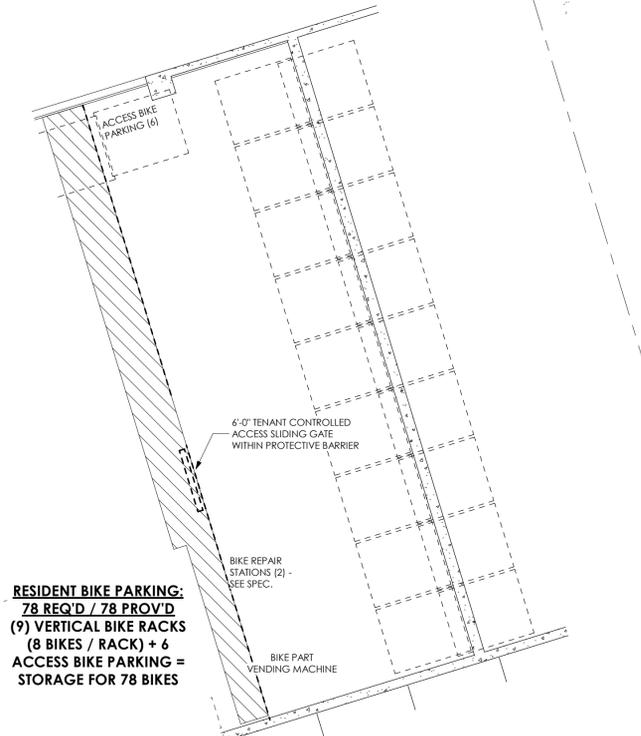
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PHASE 1A - CHAPEL HILL, NC

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TRANSFORMERS TO BE SCREENED WITH BRICK WALLS TO MATCH BUILDING FINISH & GATES FOR UTILITY ACCESS - SEE LANDSCAPE SHEET D-1 FOR INFO ON SCREENING



**RESIDENT BIKE PARKING:**  
78 REQ'D / 78 PROV'D  
(9) VERTICAL BIKE RACKS  
(8 BIKES / RACK) + 6  
ACCESS BIKE PARKING =  
STORAGE FOR 78 BIKES

2 RESIDENT BIKE PARKING - LONG TERM  
1/8" = 1'-0"

**FIRE PROTECTION DESIGN NOTES**

- NFPA 13 SYSTEM TO BE INSTALLED IN GARAGE IN OCCUPIABLE AMENITY SPACES (EX. DOG SPA) & ELEVATOR LOBBIES ONLY. NFPA 13 SYSTEM WILL BE INSTALLED IN RESIDENTIAL, BUSINESS, & AMENITY OCCUPANCIES IN PHASE 1A APARTMENTS. NFPA 13R SYSTEM WILL BE INSTALLED IN RESIDENTIAL OCCUPANCIES IN PHASE 1B.
- STANDPIPES WILL BE INSTALLED & OPERATIONAL AS REQUIRED PER 2018 NCBC SECTION 905.3.1 & 2018 NCFC SECTION 2313.1.1 DURING CONSTRUCTION.
- FIRE DEPARTMENT CONNECTIONS WILL BE INSTALLED PER 2018 NCFC SECTION 912 & LOCATED PER 2018 NCFC AND TOWN OF CHAPEL HILL ORDINANCE SECTION 7-38.
- EMERGENCY RESPONDER RADIO WILL BE INSTALLED IN PHASE 1A & 1B IN COMPLIANCE WITH 2018 NCBC SECTION 510.
- KEY BOXES WILL BE INSTALLED PER 2018 NCFC SECTION 506.1 & LOCAL FIRE OFFICIALS.



LOWER LEVEL FLOOR PLAN

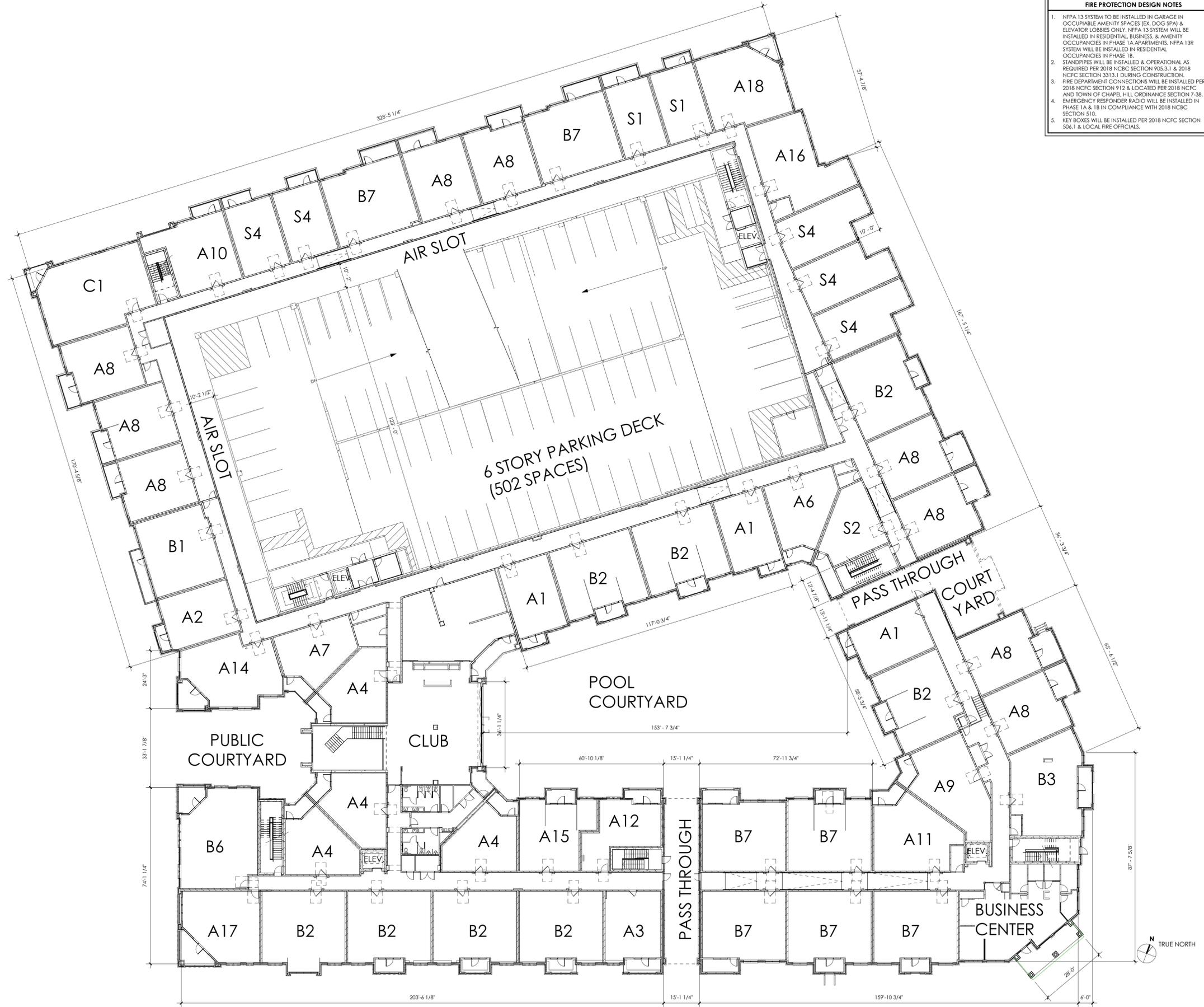
1700 THE PARK AT CHAPEL HILL APARTMENTS  
02/2019 4/2019



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- FIRE PROTECTION DESIGN NOTES**
1. NFPA 13 SYSTEM TO BE INSTALLED IN GARAGE IN OCCUPIABLE AMENITY SPACES (EX. DOG SPA) & ELEVATOR LOBBIES ONLY. NFPA 13 SYSTEM WILL BE INSTALLED IN RESIDENTIAL, BUSINESS, & AMENITY OCCUPANCIES IN PHASE 1A APARTMENTS. NFPA 13R SYSTEM WILL BE INSTALLED IN RESIDENTIAL OCCUPANCIES IN PHASE 1B.
  2. STANDPIPES WILL BE INSTALLED & OPERATIONAL AS REQUIRED PER 2018 NCBC SECTION 905.5.1 & 2018 NCFC SECTION 831.1 DURING CONSTRUCTION.
  3. FIRE DEPARTMENT CONNECTIONS WILL BE INSTALLED PER 2018 NCFC SECTION 912 & LOCATED PER 2018 NCFC AND TOWN OF CHAPEL HILL ORDINANCE SECTION 7.38.
  4. EMERGENCY RESPONDER RADIO WILL BE INSTALLED IN PHASE 1A & 1B IN COMPLIANCE WITH 2018 NCBC SECTION 510.
  5. KEY BOXES WILL BE INSTALLED PER 2018 NCFC SECTION 506.1 & LOCAL FIRE OFFICIALS.



THE PARK AT CHAPEL HILL APARTMENTS  
 PHASE 1A - CHAPEL HILL, NC  
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 FORM DISTRICT PERMIT RE-SUBMITTAL 5/3/2019  
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 FORM DISTRICT PERMIT RE-SUBMITTAL 8/7/2019



A2A.01

1 1ST FLOOR - KEY PLAN CDC  
1" = 20'-0"

1700 THE PARK AT CHAPEL HILL APARTMENTS  
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