

PROJECT STATUS: PLOTTED: 04/20/2019 10:40 AM BY: Chaitanya S. Reddy FOCUSTYLE: Penion VCS-24

Penion
Firm License F-1287

PENION ASSOCIATES, INC.
5430 Wade Park Boulevard, #106
Raleigh, NC 27607
T 919.929.1173 F 919.493.6548

STATE OF NORTH CAROLINA
DEPARTMENT OF TRANSPORTATION
DIVISION OF HIGHWAYS
HALEIGH, N.C.

TARHEEL LODGING REDEVELOPMENT
1742 FORHAM BLVD.
CHAPEL HILL, NC

DRAINAGE DETAILS

TARHEEL LODGING, LLC & UNICORN GROUP FIFTEEN, LLC
6110 FALCON BRIDGE ROAD
CHAPEL HILL, NC 27517

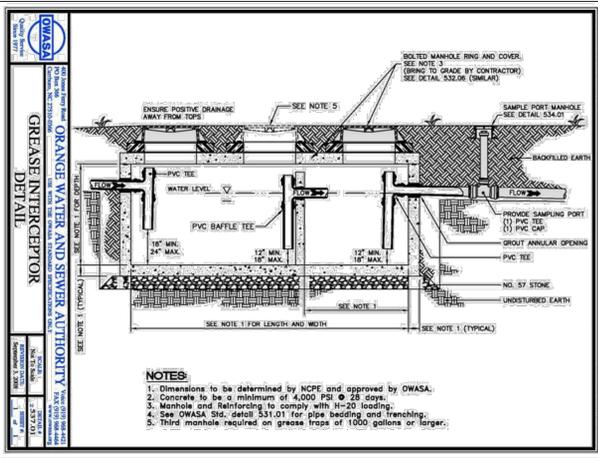
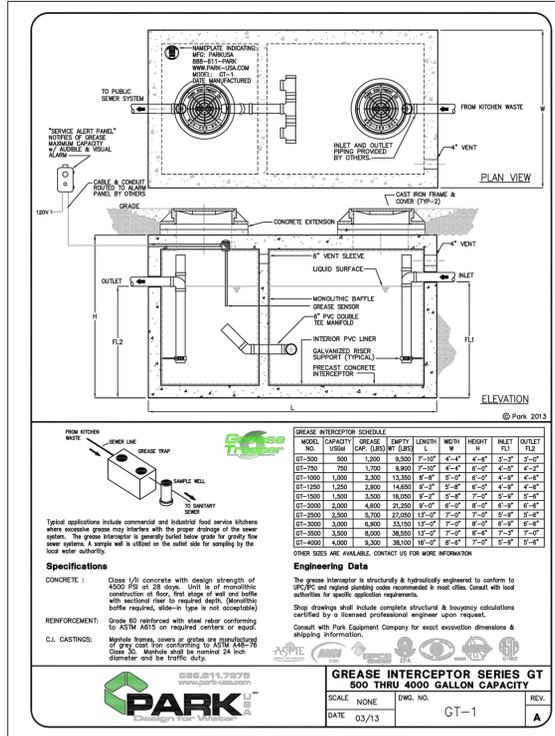
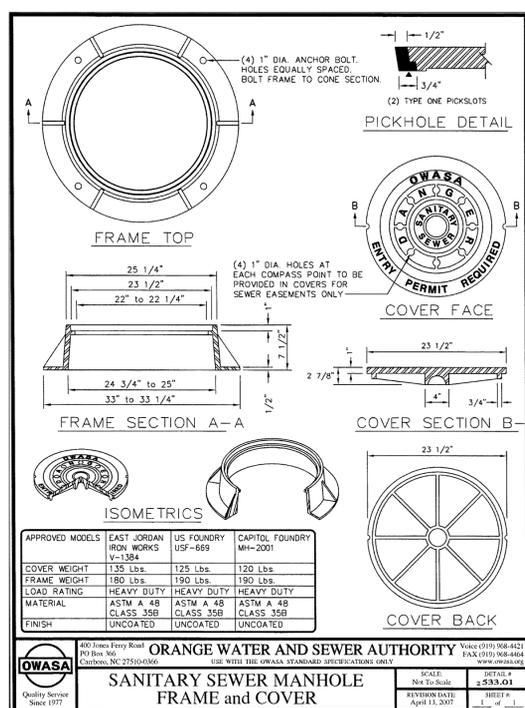
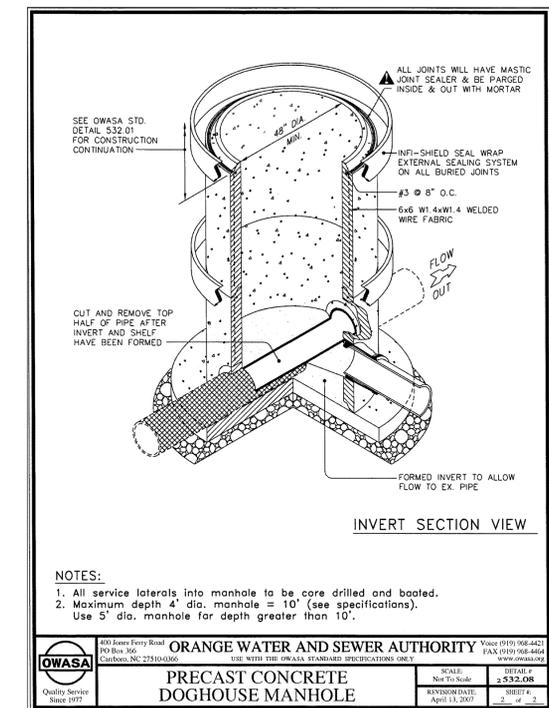
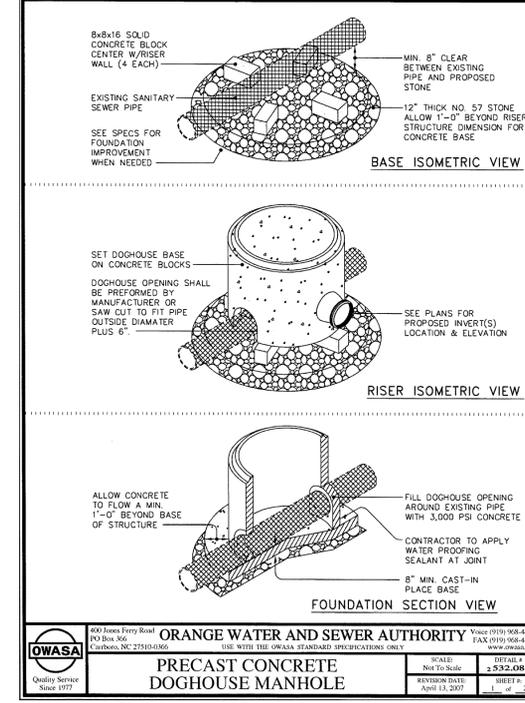
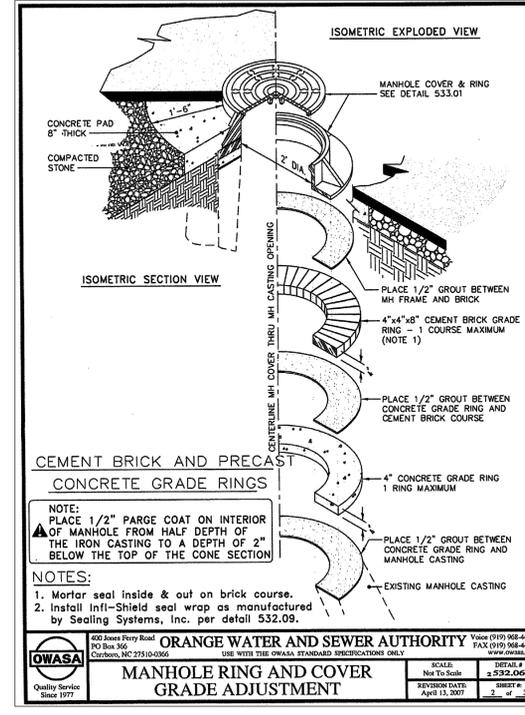
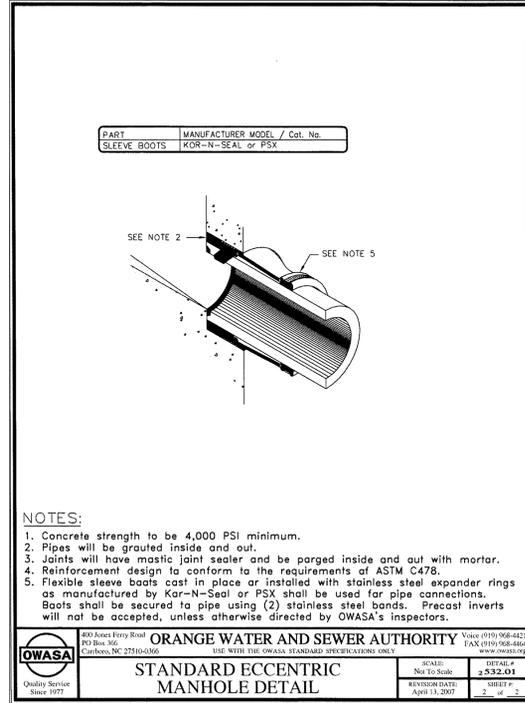
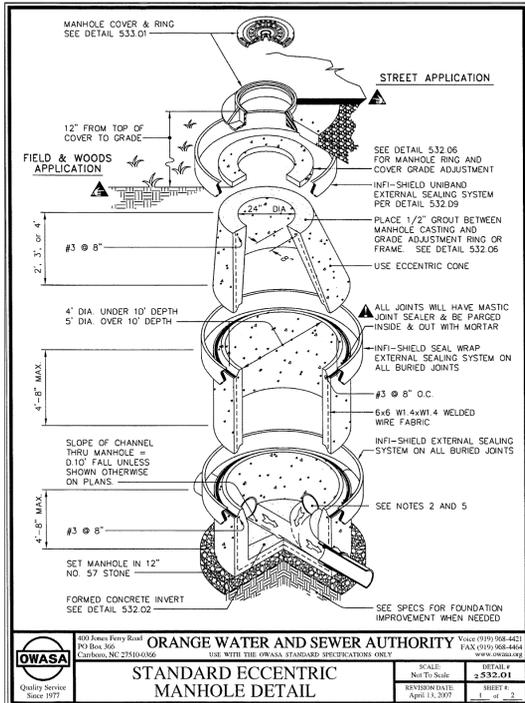
NO.	DATE	REVISIONS	BY
1	07/20/2018	REV. PER TOWN & OVAHA COMMENTS	CSB
2	07/20/2018	REV. PER COMPLETENESS REVIEW	CSB
3	08/14/2018	REV. PER TOWN COMMENTS	CSB
4	04/08/2019	REV. PER TOWN COMMENTS	CSB
5	05/28/2019	REV. PER TOWN COMMENTS	CSB

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5	05/28/2019	REV. PER TOWN COMMENTS	CSB

PROJECT	RKINV18001
DATE	2018-05-21
DRAWING SCALE	N.T.S.
DRAWN BY	RLM/CSB
APPROVED BY	JUB

CS6021

SHEET 41 OF 58



Pennoni
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PENNONI ASSOCIATES, INC.
5430 Wade Park Boulevard, #106
Raleigh, NC 27607
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ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND OWNER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK

SEAL 042406
NORTH CAROLINA REGISTERED PROFESSIONAL ENGINEER
J. W. JONES
No. 42406

TARHEEL LODGING REDEVELOPMENT
1742 FORHAM BLVD.
CHAPEL HILL, NC

SANITARY DETAILS

TARHEEL LODGING, LLC & UNICORN GROUP FIFTEEN, LLC
6110 FALCON BRIDGE ROAD
CHAPEL HILL, NC 27517

NO.	DATE	REVISIONS	BY
5	05/28/2019	REV PER TOWN COMMENTS	SAK
4	04/08/2019	REV PER TOWN COMMENTS	CSB
3	08/14/2018	REV PER TOWN COMMENTS	CSB
2	07/20/2018	REV PER COMPLETENESS REVIEW	CSB
1	07/09/2018	REV PER TOWN & OWASA COMMENTS	CSB

PROJECT: RKNV18001
DATE: 2018-05-21
DRAWING SCALE: N.T.S.
DRAWN BY: RLM/CSB
APPROVED BY: JUB

CS6051
SHEET 45 OF 58

Scott Murray Land Planning, Inc.
274 Botetourt Ct. Boynton, VA 23917
252-213-9501 434-689-2925 (fax)
www.stmlandplan.com
smurray@stmlandplan.com

Project:

**Tarheel Lodging
Redevelopment**
Chapel Hill, North Carolina

Developer:

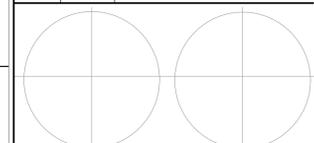
**Tarheel Lodging, LLC
and
Unicorn Group
Fifteen, LLC**

6110 Falconbridge Rd. ste. 200
Chapel Hill, North Carolina 27517

Sheet Title:

**Streetscape
Details**

No. Date: Issue Notes:



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Scale:

Date:
May 28, 2019

Drawn By:
STM

Drawing No.:
na

CS7001

of



8" Concrete Scoring Band Detail per TCH Stand

3 SIDEWALK SCORING PATTERN
nts

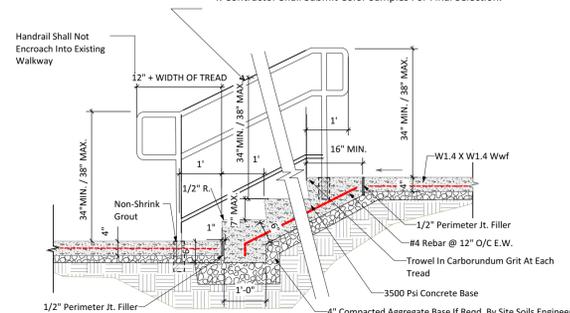


VICTOR-STANLEY 6' BENCH
MODEL: LILY (LIL-20CA) WITH CURVED ARMREST
COLOR: SILVER

4a 6' PARK BENCH W/ BACKREST
nts

4b 6' PARK BENCH WO/ BACKREST
nts

1. All Handrails Shall Comply With NC Building Code And Applicable ADA Standards.
2. Handrails Components To Be 1-1/4" Steel Pipe.
3. Powder Coat All Handrails - Silver or Semi-Gloss Black (TBD)
4. Contractor Shall Submit Color Samples For Final Selection.



- Notes
1. All Stair And Handrail Construction Shall Conform To NC Building Code Standards.
 2. Final Number Of Risers Will Vary. See Layout and/or Grading Plans For Exact Elevations And Number Of Risers and Intermediate Landings.
 3. Alternate Handrail Design May Be Substituted Provided All Dimensional Standards Conform To NC Building Code As Noted Above.
 4. Depressions Around Posts Are Not Allowed.
 5. Set Top Of Non-Shrink Grout 3/8" Above Pavement/Step Surface And Taper To Pavement/Step Surface.
 6. Handrails Are Required On Both Sides Of Stairs. Maintain 48" Clear Width Unless Noted Otherwise On Site Plan
 7. The Full Extent Of Removal And Replacement Of Existing Adjacent Walks Is Unknown. Reinforce Subgrade At Connections To Existing Walks To Prevent Differential Settling. Helical Ground Screws, Posts or Soil Reinforcement May Be Required To Insure Adequate Support.

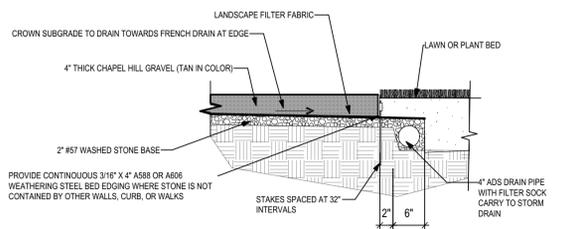
1 SECTION THRU CONCRETE STEPS
1/2" = 1'-0"



Manufacturer: SiteScapes-Cambridge CM2-1002-SF
Per TCH Requirements - SS Finish

Provide (1) Waste and (1) Recycle Receptacle Together within 5' of All Benches within ROW, Spaced No More than 200' Apart as Shown on Streetscape Plans. Recycle Receptacle Shall Have Blue Recycle Label Affixed to Top of Receptacle.

5 WASTE & RECYCLE RECEPTACLE
nts

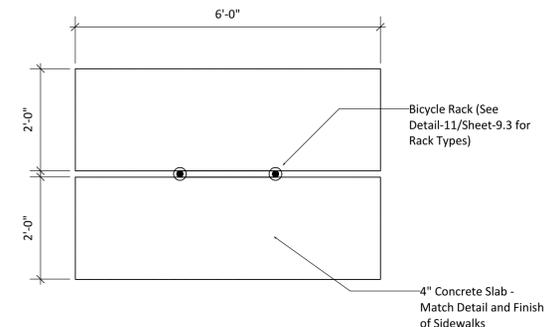


2 SECTION THRU CHAPEL HILL GRAVEL SURFACE
3/4" = 1'-0"

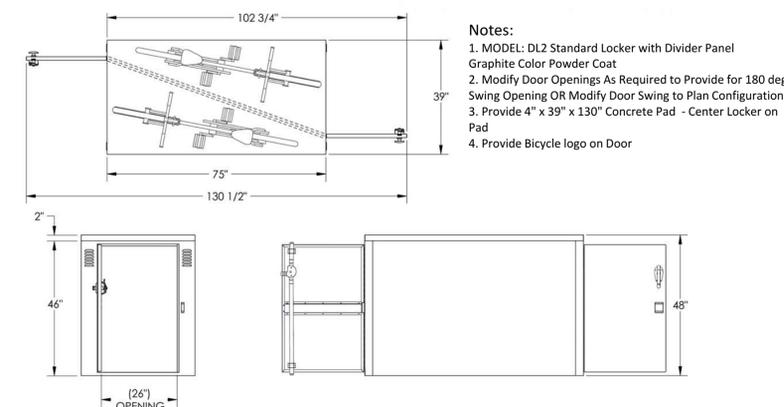
Off-Street Racks May Substitute 1-1/2" Inverted-U Pipe Rack - See Detail 4/C9.2 for Space Layout



Manufacturer: Forms & Surfaces
Per TCH Requirements
Finish: Silver



7 Short-Term Bicycle Rack & Layout
Scale: Actual Size



MODEL: DL2
Standard Locker with Divider Panel
Graphite Color Powder Coat

www.durabikelocker.com
3790 BRADVIEW DR. - SACRAMENTO, CA 95827
(916) 363-7225 - (800) 722-BIKE (2453)

8 LONG-TERM BICYCLE LOCKER
N.T.S.



6 TERRA CAST PLANTERS - SMALL
nts

TERRA CAST COMMERCIAL PLANTER
Model: Square Footed
Finish : Charcoal
Size: 30" x 30"
info@terracastproducts.com

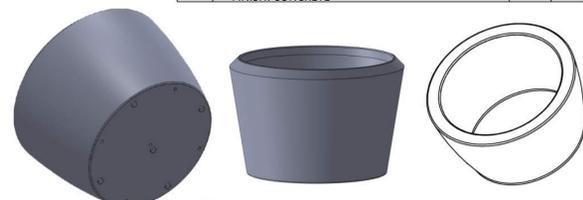
Note: Round Planters May be Substituted for Square Footed Planters Shown Above

Note: Fill planter bottom with 6" #57 stone. Maintain trees at 15' maximum and thin crown to preserve planter stability.

REV	DESCRIPTION	ECN	DATE	APPROVED
X1	PRELIMINARY			
	FINISH: CONCRETE			

TerraCast
PRODUCTS
TerraCast Products, LLC
4400 NW 19th Avenue, Suite 8
Fort Lauderdale, FL 33305
Office: 305-895-0525 x105
Fax: 305-895-7879

SPECS AT A GLANCE
TOP ID: 60"
TOP OD: 54"
BASE ID: 48"
HEIGHT: 40"
VOLUME: 53.23ft³
WEIGHT: 100LBS.



9 TERRA CAST PLANTERS - LARGE
nts

General Notes

1. All Components Shall be Commercial Grade Heavy-Duty and Black in Color
2. 10 GAL Min. Waste Receptacle
3. All Metal Components, Other Than Support Post, Shall be Powder Coated Steel or Aluminum. Support Post Shall be Powder Coated Steel or Galvanized Steel Painted to Match Other Components.
4. Final Equipment Selection May Vary Depending on Tenant Operations and Maintenance Preferences. Consult O&M Staff Before Ordering.

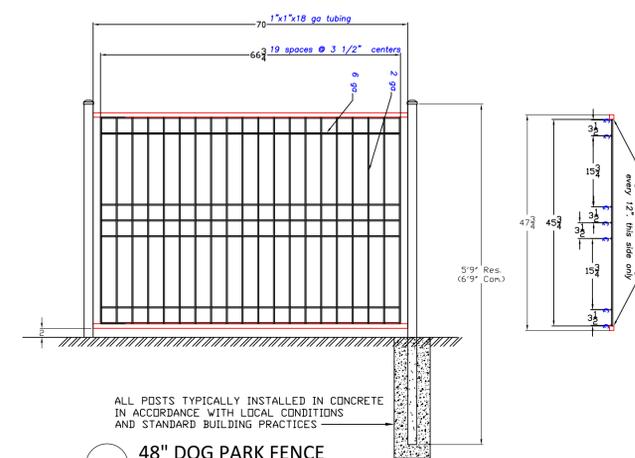


10 DOG WASTE RECEPTACLE
nts



Bocce Ball Rack and Balls by Bocce Masters
www.Boccemasters.com (or equal)

12 BOCCER BALL RACK
nts



11 48" DOG PARK FENCE
nts

ALL POSTS TYPICALLY INSTALLED IN CONCRETE IN ACCORDANCE WITH LEGAL CONDITIONS AND STANDARD BUILDING PRACTICES

JERITH
Manufacturing Co., Inc.
14400 McHenry Rd. Philadelphia, PA 19154
Tel: (800)344-2242 Fax: (215) 678-9756
JER4862

Project:

Tarheel Lodging Redevelopment
Chapel Hill, North Carolina

Developer:

Tarheel Lodging, LLC and Unicorn Group Fifteen, LLC

6110 Falconbridge Rd. ste. 200
Chapel Hill, North Carolina 27517

Sheet Title:

Solid Waste Enclosure, Utility Screen and Storage Room Details

No.	Date:	Issue Notes:

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Scale: as noted

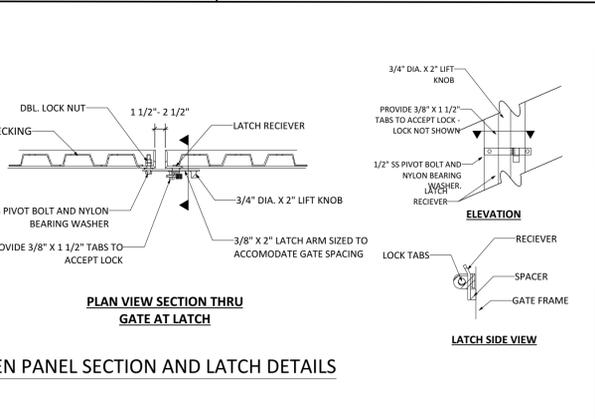
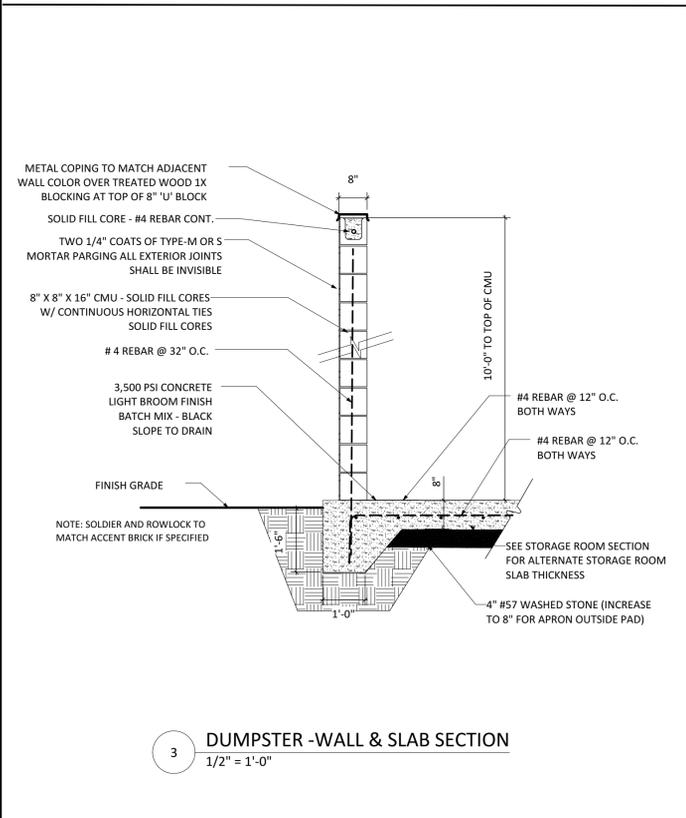
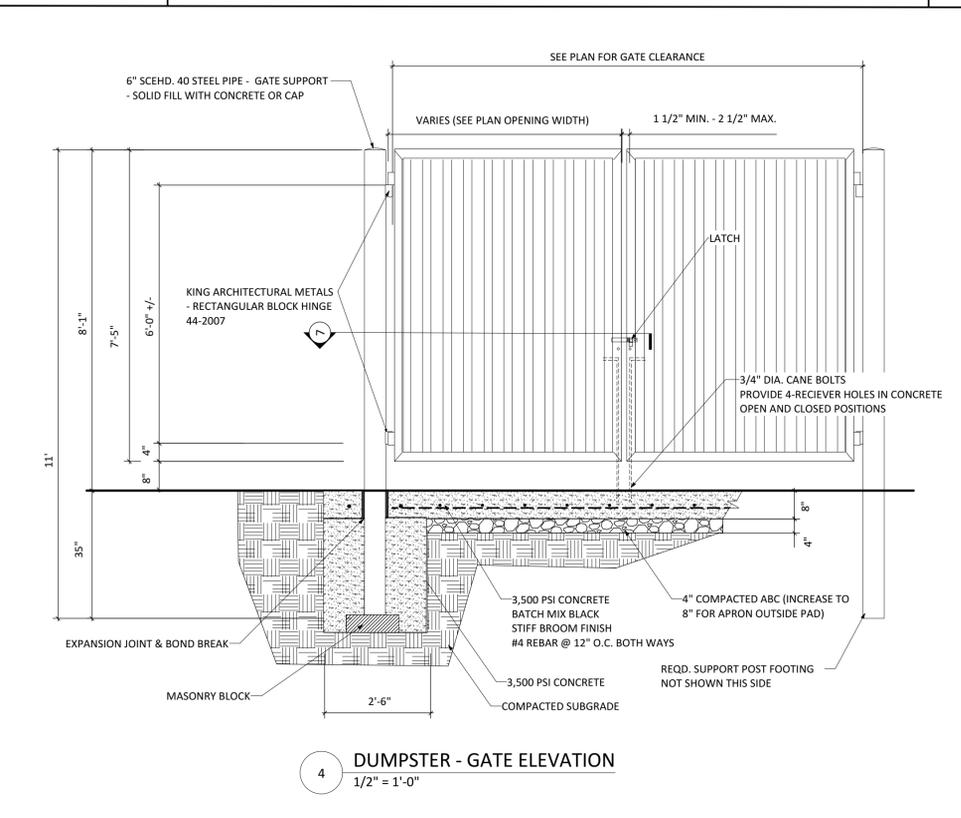
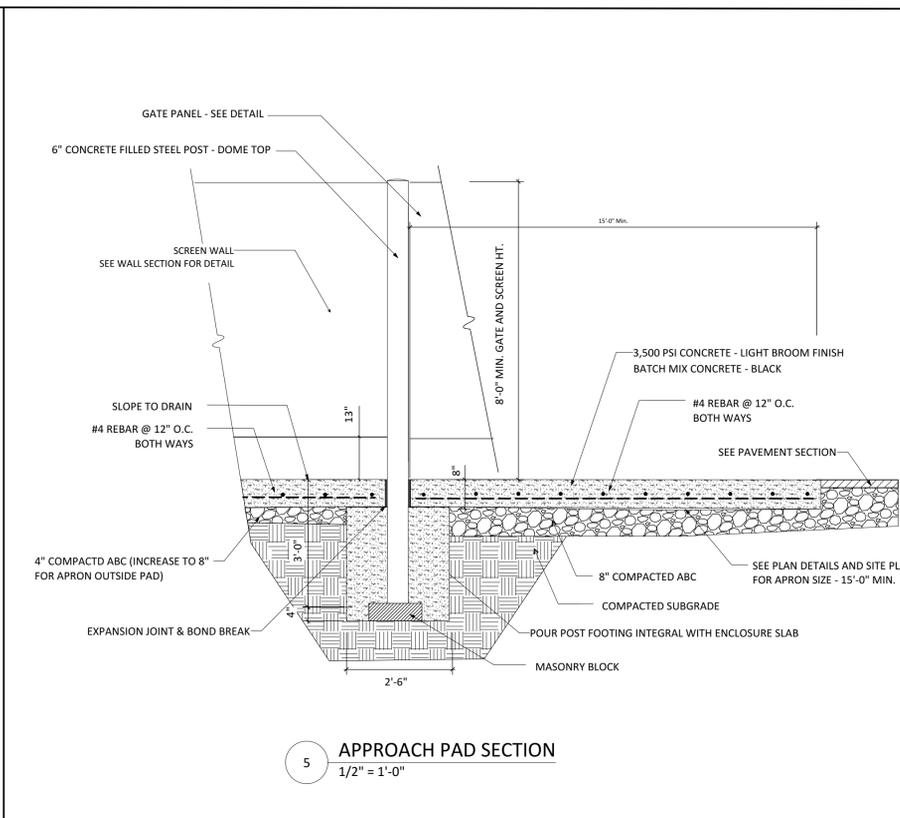
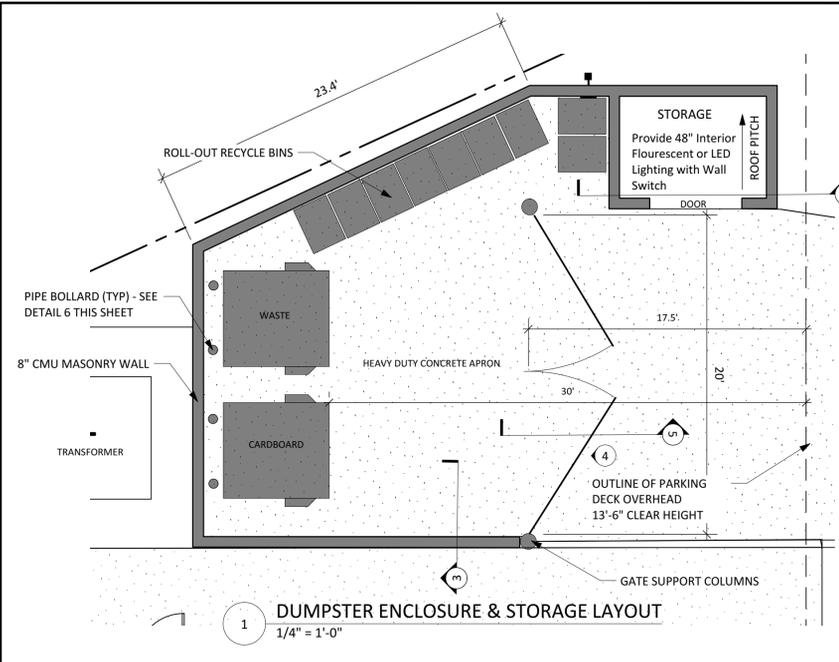
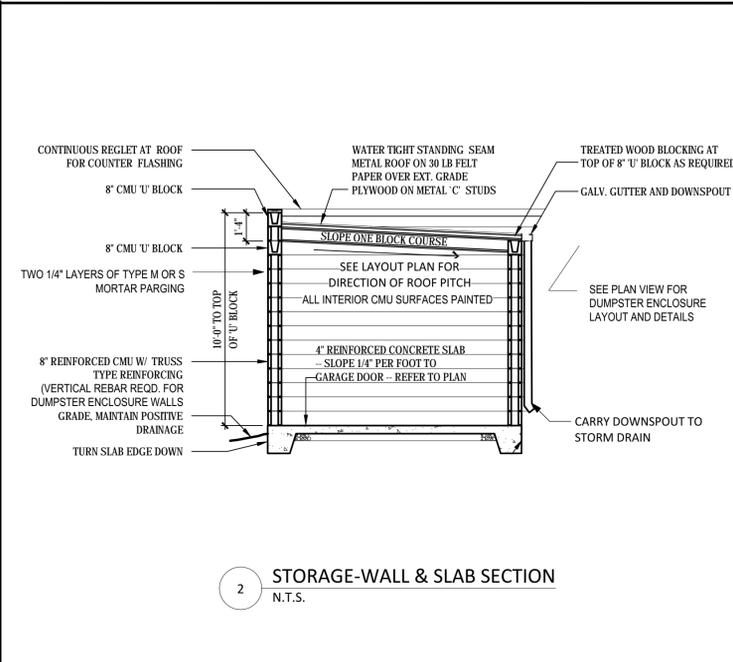
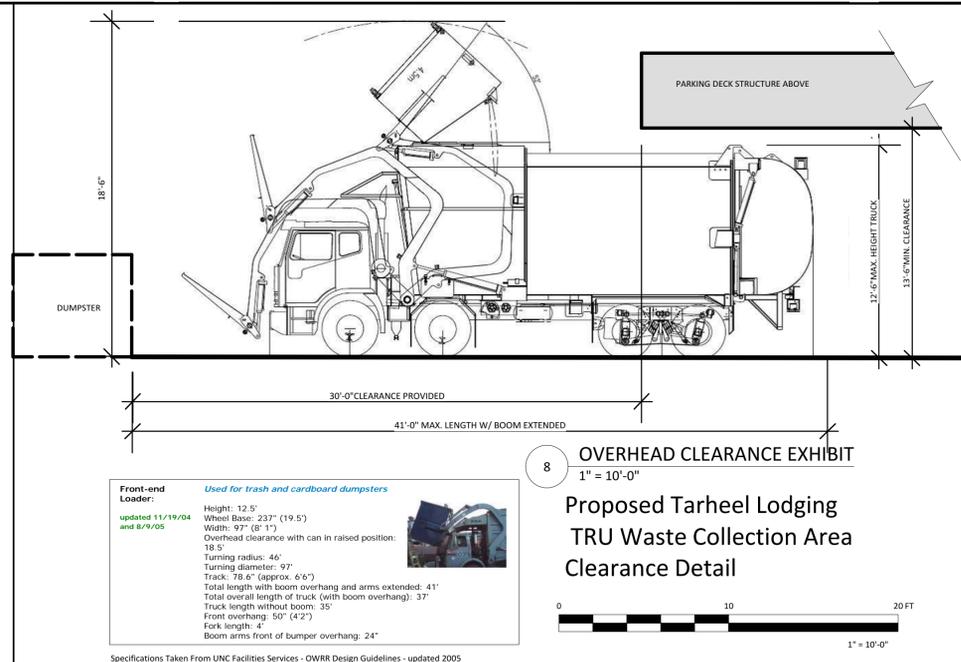
Date: May 28, 2019

Drawn By: STM

Drawing No.: na

CS7002

of

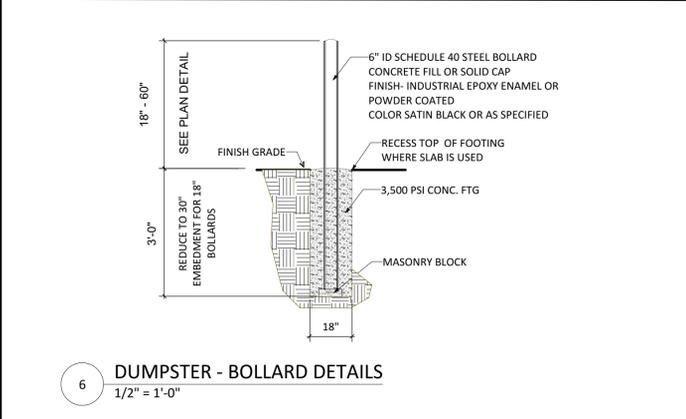
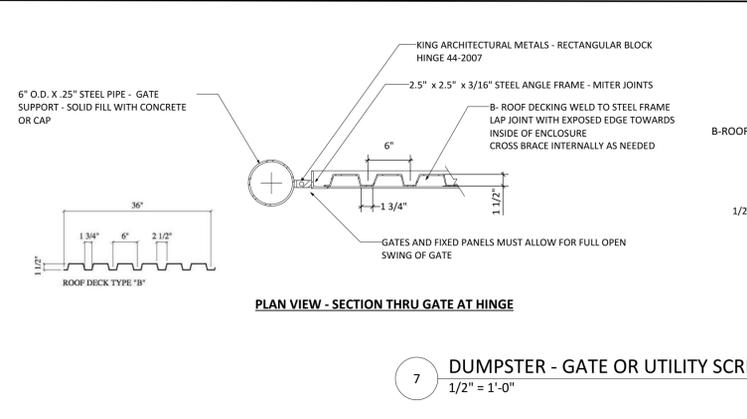


Transformer Screen Notes

- Transformer Screen Enclosure to Match Dumpster Gate Details 4 thru 7 on this Sheet with the Following Exceptions:
 - Overall height shall be equal to or greater than height of transformer.
 - Maintain bottom of panel elevation consistent with that of gate allowing minimal (6" +/-) space for adequate swing of gate.
 - 6" Schedule-40 post shall be substituted for 4" Schedule-40 gate supports and line posts where panel height is less than 6" in height. Reduce post footings to 30" diameter for 4" posts.
 - Provide full-width gated opening as shown on plan.
 - Side panels to be fixed permanently to post and wall (not hinged).
 - Match panel material and finish. See "General Notes" below.

General Notes

- All screen and gate panels to be B-Roof Decking welded to steel frame, lap joint with exposed edge towards inside of enclosure. Cross brace internally as needed.
- All metal components shall be galvanized and painted 2 coats (min) industrial epoxy or powder coated.
- Finish color to be 'Dark Gray' to match building metal components.



NOTES: See also Project Specifications referenced below.

1. UNDERGROUND UTILITY VERIFICATION

Landscape contractor to verify location of underground utilities before beginning work.

2. SOIL PREPARATION

Where existing vegetation remains in areas to be seeded, eradicate existing vegetation by having a licensed spray technician apply an approved herbicide; i.e., glyphosate (Roundup®), or tilling the weeds into the soil. Good pre-seeding weed control may require spraying two applications of glyphosate (at least two weeks apart). Close mowing two weeks prior to spraying is recommended to stimulate weed growth. Glyphosate must be applied to vegetative growth in order to kill undesirable plants and their roots. The second application is needed only if the first application is insufficient.

Test soil qualified laboratory tests and amend with lime and fertilizer as needed. Achieve a pH of at least 6.0. Amend soils pursuant to the soils test report and till into the top 18" for all compacted soil areas to be vegetated..

For heavy compacted clay soils - Organic matter must be added in order to prevent the clay from hardening after rain events, to the point where emergent seedlings will be unable to push through the soil surface. Organic matter, such as straw, compost, mulch, leaf litter, etc., must be added in order to increase soil organics to at least 1%. The organics must be worked into the top-most soil prior to planting using a tiller, harrow, disk, or similar implement. Cultivating the top 6" of soil will aid in root development of emergent seedlings, and will allow some percolation of rain water that would otherwise run off the surface with little to no infiltration, likely carrying the seed away with it. Tilling of the top 18" of soil is required for all areas of compacted soil.

If heavy soil conditions are encountered where percolation is not adequate to prevent ponding after a normal rainfall event then the following procedures supersede those illustrated in the accompanying details. Where subgrade does not allow for natural drainage through amendments or subsurface drainage, rootballs shall be set at a depth not to exceed 1/2 of the total rootball depth. Provide additional amendments or drainage as needed to ensure survival of the plant after consulting with landscape architect.

Tracking slopes with mechanized equipment should be done perpendicular to fall line to minimize runoff and erosion.

See Tree Pit Detail for structural soil backfill, tree aeration and stabilization and deep root watering.

3. IRRIGATION

All new plant areas of site as shown on the plans are to be irrigated. Design-Build system design to be submitted to the landscape architect for review and approval prior to installation. Irrigation design shall provide high efficiency drip or spray irrigation to all tree and shrub areas and rotary or spray irrigation to all turf areas. Irrigation design shall incorporate a Root Watering System (RWS) capable of complete deep root watering of root balls. Irrigation Contractor shall be licensed as required by the State in which the work is to be conducted.

4. PLANT MATERIAL STANDARDS

All plant material and planting standards specified shall meet the minimum standards for nursery stock- ANSIZ60.1-2004 or the County whichever is stricter. Any material with evidence of disease or pest infestations will be rejected. All rework will be at the expense of the Contractor. Substitutions will be permitted only upon prior approval by the Landscape Architect or Owner's Representative. Contractor shall be responsible for furnishing all seed tags and plant tags affirming origin and species. Plant tags shall not be removed prior to final inspection and acceptance. Contractor is responsible for the health of all plant material for a minimum of 30 days following final acceptance. If contractor is awarded a contract for maintenance then he/she shall be responsible for the health and/or replacement of all material as set forth by the maintenance contract.

5. MISCELLANEOUS NOTES - ANNUALS, MULCH & PLACEMENT OF PLANTS

- a. Landscape contractor shall submit a schedule of proposed plantings for all annual beds and planters providing for spring and fall plant rotations. Select plants to provide variety and unity. Submittal shall be made to Landscape Architect or Owner's Representative for approval prior to installation.
- b. Tree placement and landscape bed layout to be approved by landscape architect prior to installation.
- c. All disturbed areas are to be stabilized with lawn, plantings, or mulch. Mulch around all plants as specified. trees shall be mulched with pine straw except within 6' of buildings or as prohibited by local ordinances. Double threaded hardwood bark mulch shall be used for all perennials and annual beds. Provide steel or aluminum landscape edging (dark green in color) where liropipe spicata is to be installed adjacent to shrub, turf, or other mulch areas.
- d. All turf areas shall be seeded or sodded as noted on plans and as specified below.
- e. See LANDSCAPE MAINTENANCE OUTLINE for additional specifications.
- f. Plant Quantities shown in the Plant List are included for convenience. Contractor shall be responsible for verifying quantities and providing all plants shown on plan.

6. WARRANTY

All plant material shall be warranted by the Landscape Contractor installing the material while under his/her care. Alternative arrangements made for the installing contractor to supervise the ongoing maintenance and prescribe corrective actions that are then carried out may extend this warranty period subject to the approval by all parties. Additional warranty details are include in Specifications referenced below.

Note: These plans, details and specifications do not comprise the complete project specifications. See Complete Project Specifications which accompany these plans. The Seeding Specifications noted below are superceded by complete project specifications. Reference Specification Sections noted below:

- 1. Final Grading & SoilPreparation 32 9113
- 2. Planting Soils Section 32 9115
- 3. Planting - Section 32 9300
- 4. Turf & Grasses (Sod) Section 32 9200
- 5. Seeding 32 9219

SEEDING SPECIFICATIONS AND SCHEDULES

Temporary Seeding:

All areas disturbed by construction will be stabilized with temporary seeding immediately following grading. Seeding will comply with the standards and specifications of the latest edition of the Erosion and Sediment Control Regulations for the State or jurisdiction in which the project is located. Seeded areas will be maintained in keeping with accepted practices and care.

Permanent Seeding Level-1 TURF AREAS

August 15th - April 1st

Cool Season Turf Grass - Seed with Kentucky 31 Fescue 100 lbs/ac + 75 lbs/ac Creeping Fescue (Rubra rubra) + Kentucky Bluegrass 10 lbs/ac; straw and tack all newly seeded areas not hydro seeded.

Sod - as noted below

April 1st - May 1st

Cool Season Turf Grass - Seed with Kentucky 31 Fescue 100 lbs/ac + 75 lbs/ac Creeping Fescue (Rubra rubra) + Kentucky Bluegrass 10 lbs/ac; straw and tack all newly seeded areas not hydro seeded.

Sod - as noted below

May 1st - August 15th

Warm Season Turf Grass - Sunsport Improved Bermuda - 3 lbs/1,000 sf

Sod - as noted below

Permanent Seeding Level-2 Areas Low Maintenance Steep (Steep slopes >3:1 H:V) - Seeding Schedule

Seed	Rate	
Kentucky 31 Tall Fescue	150 lbs/ac	
Creeping Fescue or Redtop (Festuca rubra)	20 lbs/ac	
Bermudagrass**	20 lbs/ac	
Eragrostis curvula (Schr.) Nees	2 lbs/ac	
Resolute White Clover	20 lbs/ac	
Seasonal Nurse Crop*	20 lbs/ac	
	232 lbs/ac Total	

SOD AREAS

El Toro or Empire Zoysia Sod shall be installed in all areas shown or noted as sod. Contractor shall be responsible for handwatering sod until established where no irrigation is proposed. If planting schedule requires sod placement during formant periods, a hybrid Berumda sod shall be substituted and overseeded with annual rye. Substitute sod variety availability shall be submitted to Landscape Architect for approval.

LANDSCAPE MAINTENANCE OUTLINE

The following outline describes the basic elements of work that will be performed throughout the calendar year:

I. LAWNS - WARM SEASON TURF

A. Mowing

All lawns will be mowed as needed throughout the year in order to maintain a clean, neat appearance. Typically all lawns will be cut at a height of 2" for warm season grasses and 3"- 4" for cool season grasses.

B. Fertilization and Weed Control

February/March: All lawns will be treated with a pre-emergent herbicide for the prevention of annual weed grasses and broadleaf weeds.

March: All lawns will be treated with a high-density fertilizer to promote Spring plant growth and replace nutrients lost due to leaching during the Winter months.

May: All lawns will be treated with a post-emergent herbicide for control of broadleaf weeds and weed grasses, plus a slow-release fertilizer to maintain a healthy turf during the Summer months.

September: All lawns will have a Fall application of fertilizer to replace nutrients lost during the Summer months.

November: All lawns will be treated with a slow-release fertilizer with Iron-Plus to promote Winter hardiness.

C. Insects and Disease Control

All lawn areas will be monitored for infestation of insects or appearance of turf diseases. Due to the unpredictable nature of these problems, treatments will be performed on an "as needed" basis to prevent and control infestations. All insecticides/ fungicides will be applied under the supervision of a Certified Pesticide Applicator. Vertebrate pests such as deer, beaver, vols, and moles shall be monitored and reported to property manager when occurrences are noted.

II. EDGING

A. Lawns

All curbs and sidewalks will be edged, as needed, throughout the year in order to maintain a clean cut, crisp edge.

B. Shrub Beds

All bed lines will be edge cut once a year.

III. PLANTING

A. Weed Control

March: all bed areas will be treated with a pre-emergent herbicide to control weed seed germination (Ex. Barricade, Snapshot, pendulum)

When needed, all beds will be treated with the selective post-emergent herbicide, (Ex. Finale, Roundup, Reward,) to control weed seeds, which have germinated.

Additional hand weeding and selective spraying of herbicides such as ROUND-UP will be performed as needed

All applications will be applied under the supervision of a licensed Certified Pesticide Applicator.

B. Fertilization

All evergreen shrub beds will be fertilized in the early Spring according to soil test results and plant /fertilizer recommendations.

All blooming trees and shrubs (i.e., azalea, rhododendron, dogwoods, redbud) will be fertilized with a complete analysis fertilizer 4 to 5 weeks after blooming.

Deciduous trees and shrubs except blooming species will be fertilized with a complete slow release fertilizer in the early Spring and two additional times during the growing season.

C. Pruning

All plantings will be pruned at the appropriate time of the year according to type / species. For example, Spring blooming trees and shrubs will be pruned after flowering while Summer blooming species will be pruned in Winter or early Spring

D. Insect and Disease Control

All plantings will be monitored for infestation of insect or appearance of disease. Once identified, chemical treatments will be applied. All applications will be performed under the supervision of a licensed Certified Pesticide Applicator.

IV. CLEAN-UP

A. Grounds

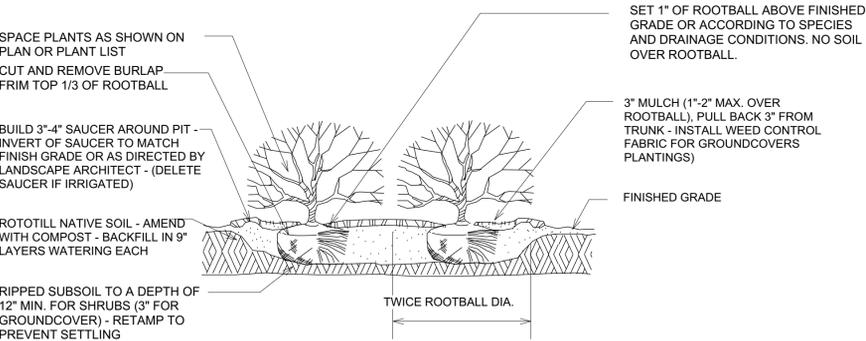
All grounds will be policed on a bi-weekly basis.

Major damage due to high winds, ice, snow, or other unpredictable acts of nature is not included but shall be offered on an hourly basis. Contractor shall provide property manager with hourly rates for labor and equipment at the time of contract acceptance/renewal.

Leaf clean-up of walks, turf areas, shrub beds and other high visibility areas is to be provided weekly. Leaf cleanup in out lying natural areas is to be provided twice per year in the fall.

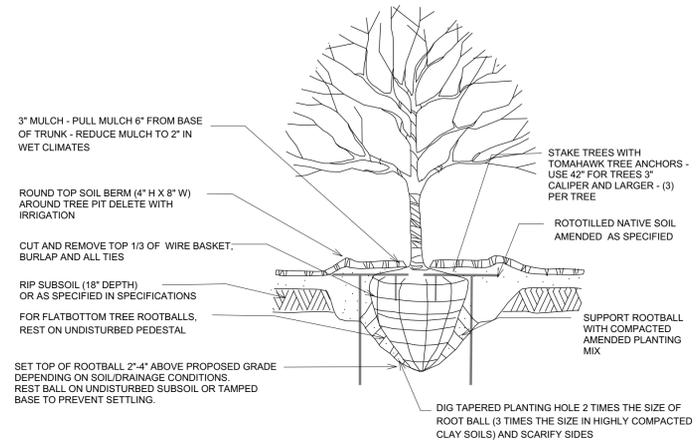
V. IRRIGATION (if provided)

All Irrigation will be monitored on a weekly basis to insure coverage per the irrigation design. Repairs made as needed. Cost for repairs shall be specified in Landscape Contract. Provisions shall be made to draindown in the fall to insure against freezing.



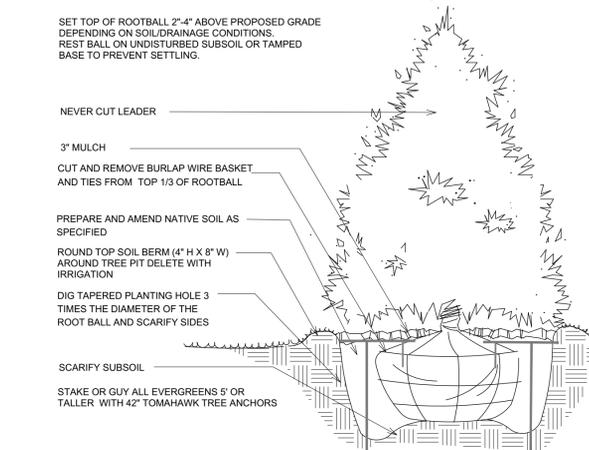
3 SHRUB PLANTING AND GROUND COVER PLANTINGS

LA-1.1 N.T.S.



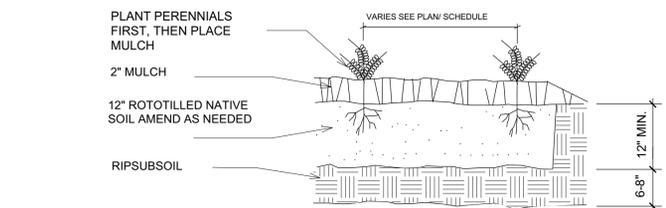
1 TREE PLANTING

LA-1.1 N.T.S.



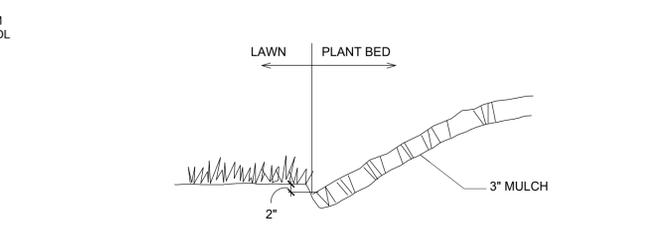
2 EVERGREEN TREE PLANTING

LA-1.1 N.T.S.



4 PERENNIAL PLANTING

LA-1.1 N.T.S.



5 MULCH EDGE

LA-1.1 N.T.S.

Note:
All Tree placements conform to the NCDOT Guidelines for Planting Within Highway Right-of-Way.

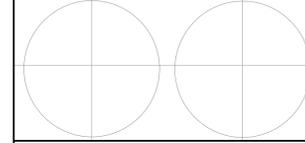
Scott Murray Land Planning, Inc.
274 Botetourt Ct. Boydton, VA 23917
252-213-9501 434-689-2925 (fax)
www.stmlandplan.com
smurray@stmlandplan.com

Tarheel Lodging Redevelopment
Chapel Hill, North Carolina

Developer:
Tarheel Lodging, LLC and Unicorn Group Fifteen, LLC
6110 Falconbridge Rd. ste. 200
Chapel Hill, North Carolina 27517

Planting Details and Maintenance Plan

No.	Date:	Issue Notes:



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Scale:	CS7101 of
Date: May 28, 2019	
Drawn By: STM	
Drawing No.: na	

Project:

**Tarheel Lodging
Redevelopment**
Chapel Hill, North Carolina

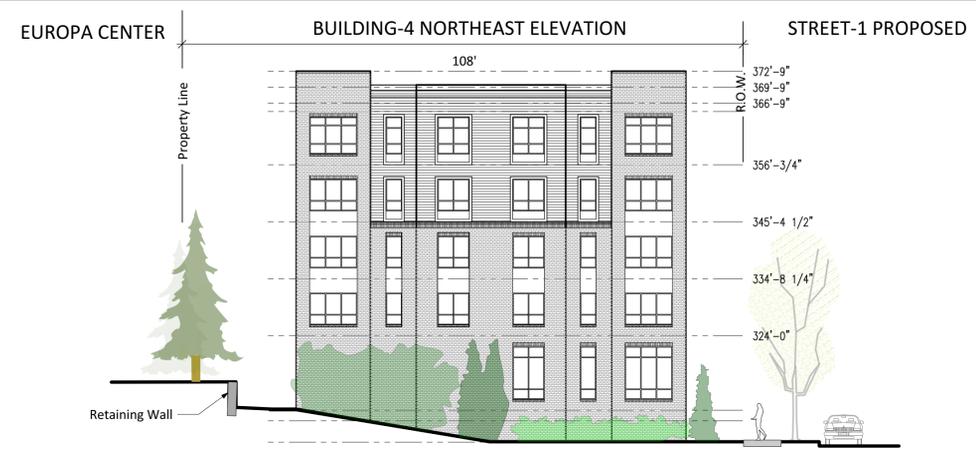
Developer:

**Tarheel Lodging, LLC
and
Unicorn Group
Fifteen, LLC**

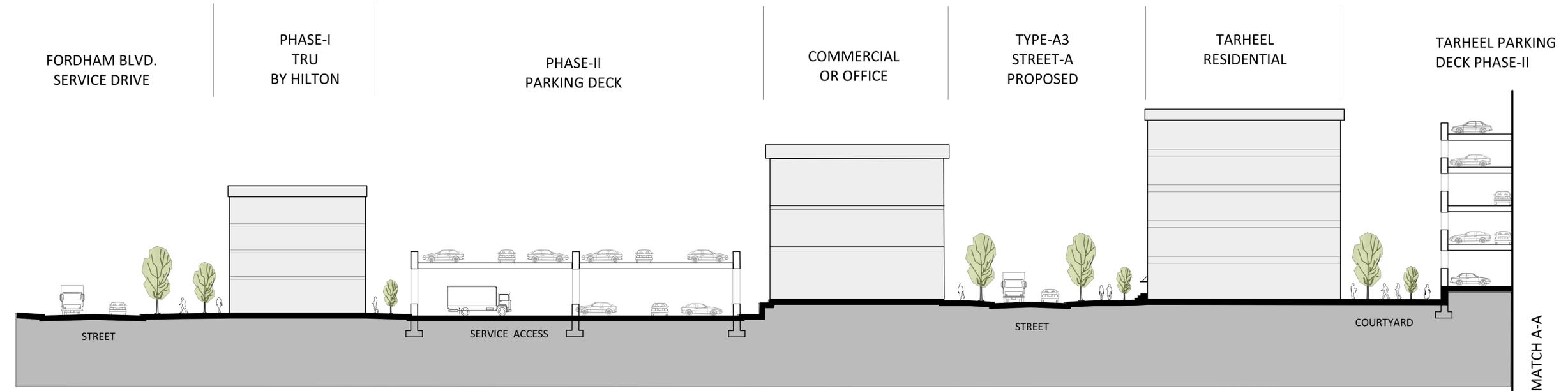
6110 Falconbridge Rd. ste. 200
Chapel Hill, North Carolina 27517

Sheet Title:

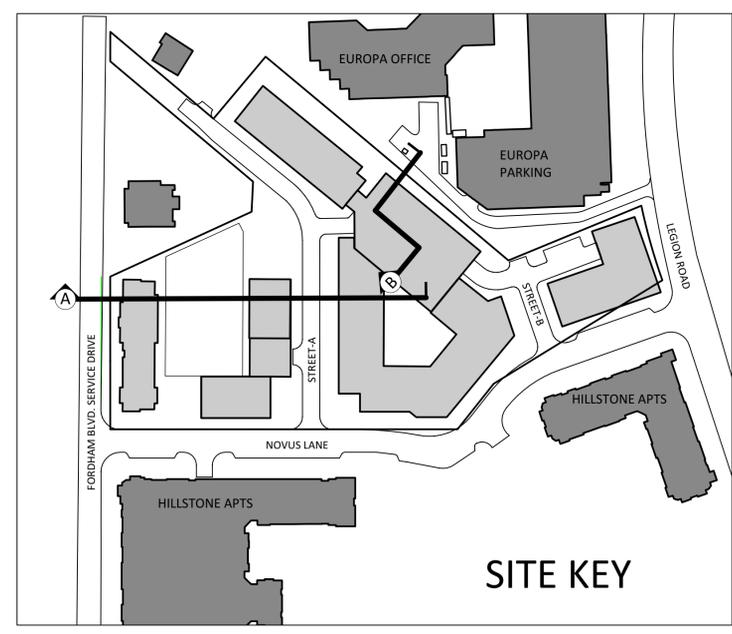
Site Sections



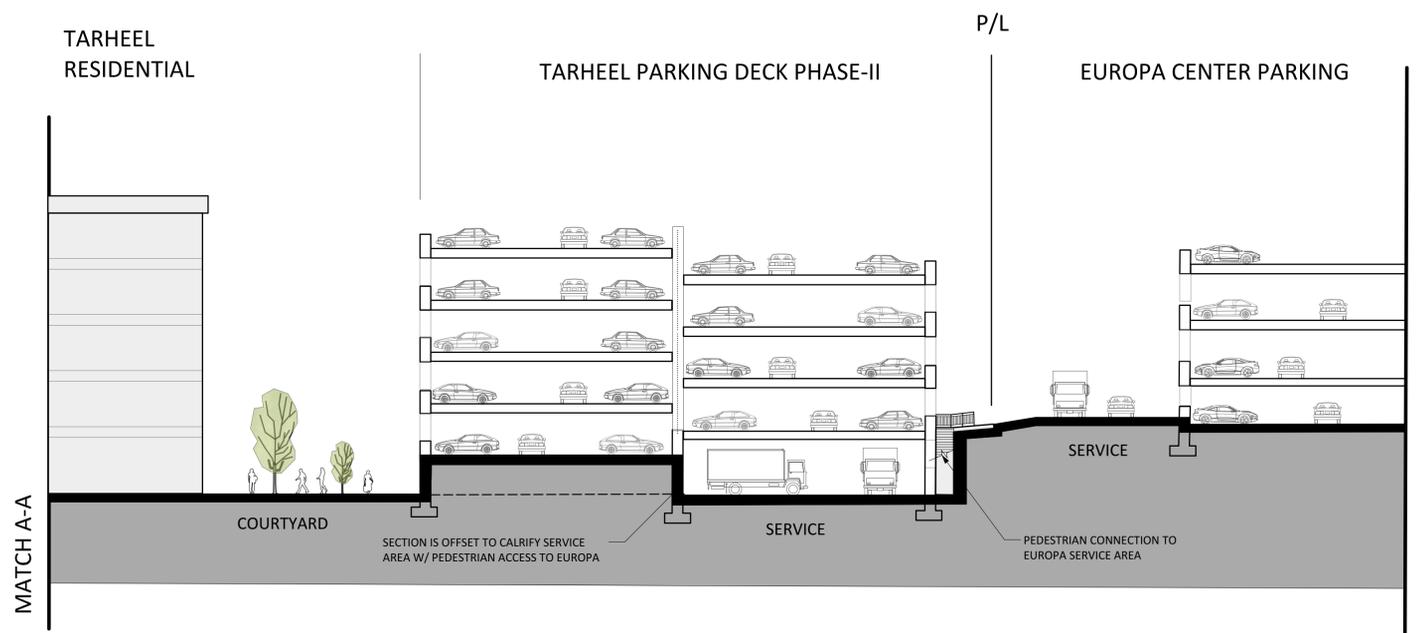
SECTION/ELEVATION C



SECTION A



SITE KEY



SECTION B

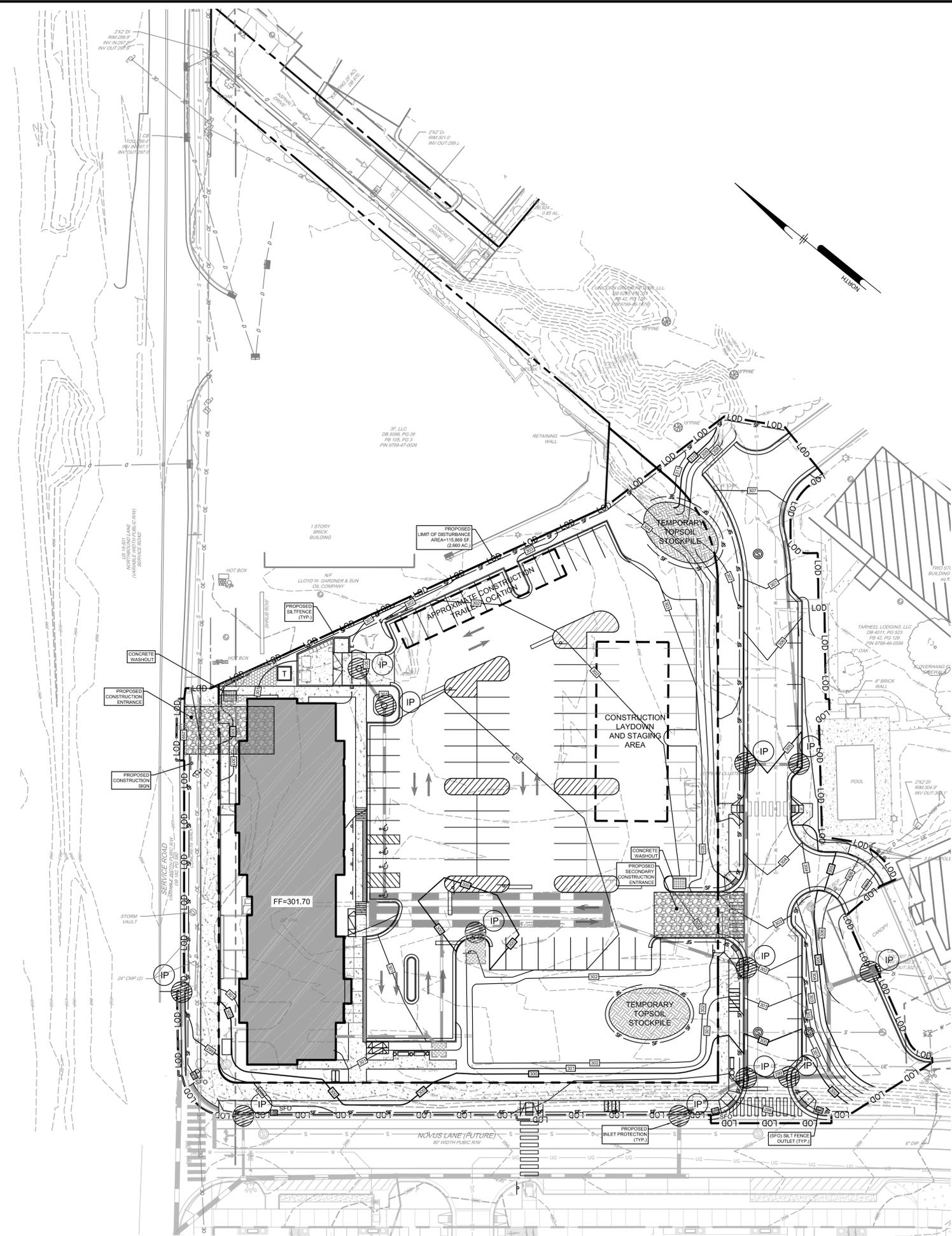
No.	Date:	Issue Notes:

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Scale:	N.T.S.
Date:	May 28, 2019
Drawn By:	STM
Drawing No.:	na

CS7200
of

U:\Account\RKINV\RKINV18001 - Head Sht. CS8001\CS8001\RKINV18001-CS-8001.dwg PLOTTED: 04/20/19 11:02 AM BY: Chelsie S. Bell PLOTSTYLE: Pennon VCS.dwg PROJECT STATUS: —



Phase I

1. Install proposed sign near construction exit.
2. Stake/flag the LOD (where staking is not possible/practical, the LOD must be conspicuously, and prominently, marked to denote the boundary).
3. Install construction entrance, tree protection fencing, and perimeter sediment control BMPs. Clear only the minimum area absolutely necessary to install these perimeter control BMPs.
4. Clear only the minimum area absolutely necessary to install sediment basin(s), including stockpile areas necessary for spoil from these required structural sediment control BMPs.
5. Construct sediment basin(s) with appropriate outfall structures and pipes, as specified on the site maps.
6. Stabilize side slopes, bottom and all sides of embankments or slopes of sediment basin immediately upon completion of each.
7. Install hydraulic control structures (diversion swales, check dams, etc.), as specified on the site maps.
8. Stabilize side slopes and flow line of hydraulic control structures (diversion dikes and swales) with seed, fertilizer and rolled erosion control products.

EROSION LEGEND	
SYMBOL	DESCRIPTION
	PROPOSED LIMIT OF DISTURBANCE
	PROPOSED SILT FENCE
	PROPOSED CONCRETE WASHOUT
	PROPOSED SILT FENCE OUTLET
	PROPOSED INLET PROTECTION



NOT FOR CONSTRUCTION

ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND OWNER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK

TARHEEL LODGING REDEVELOPMENT
 1742 FORHAM BLVD.
 CHAPEL HILL, NC
SOIL EROSION & SEDIMENT CONTROL PLAN - PHASE I
 TARHEEL LODGING, LLC & UNICORN GROUP FIFTEEN, LLC
 6110 FALCON BRIDGE ROAD
 CHAPEL HILL, NC 27517

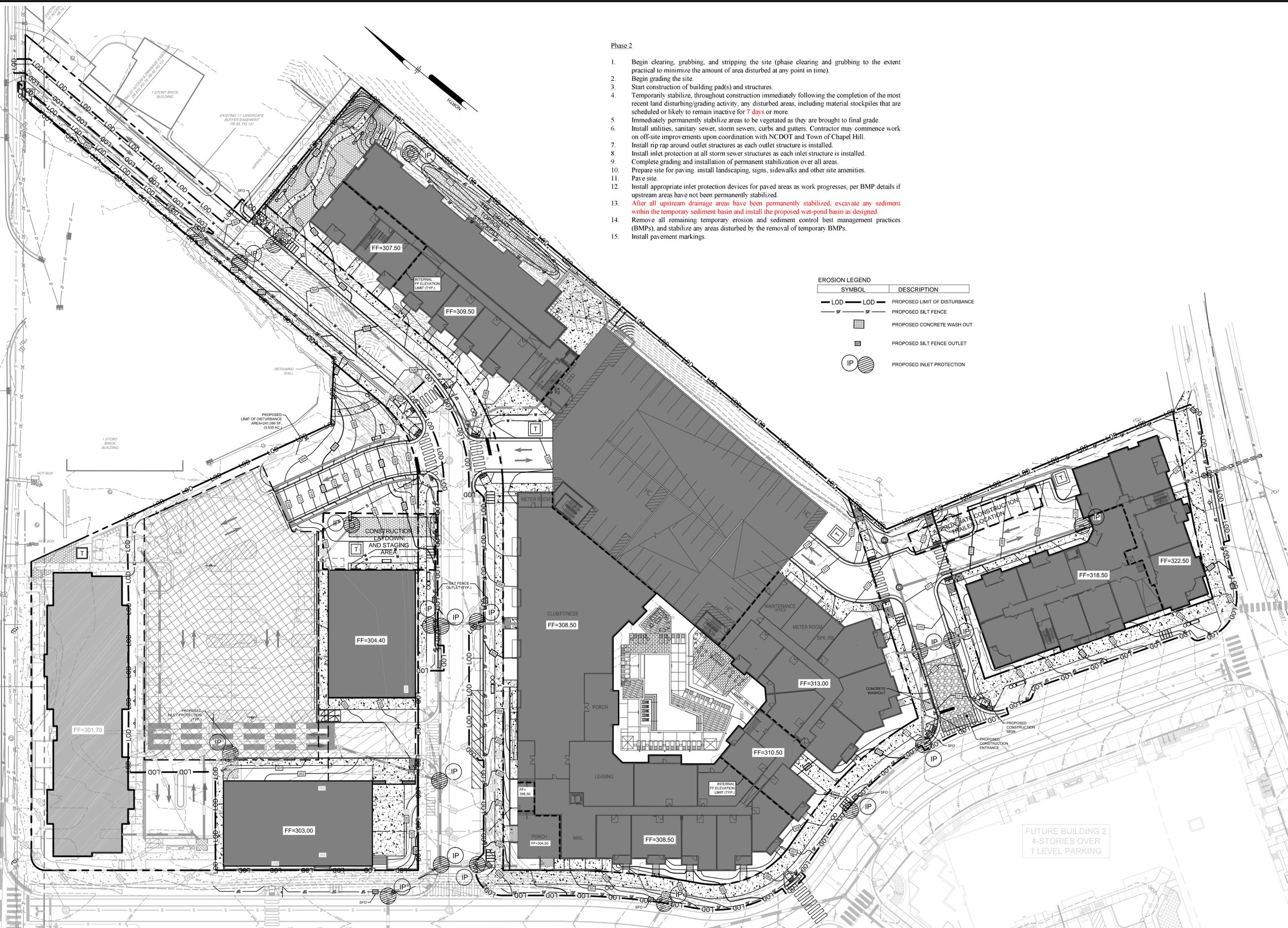
NO.	DATE	REVISIONS	BY
5	05/28/2019	REV PER TOWN COMMENTS	CSB
4	04/08/2019	REV PER TOWN COMMENTS	CSB
3	06/14/2018	REV PER TOWN COMMENTS	CSB
2	07/20/2018	REV PER COMPLETENESS REVIEW	CSB
1	07/20/2018	REV PER TOWN & OWASA COMMENTS	CSB

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PROJECT	RKINV18001
DATE	2018/05/23
DRAWING SCALE	AS SHOWN
DRAWN BY	CSB
APPROVED BY	JUB

CS8001
 SHEET 54 OF 58

Pennon
 Firm License F-1287
PENNONI ASSOCIATES, INC.
 5430 Wade Park Boulevard, #106
 Raleigh, NC 27607
 T 919.929.1173 F 919.493.6548



- Phase 2
1. Begin clearing, grubbing, and stripping the site (phase clearing and grubbing to the extent practical to minimize the amount of area disturbed at any point in time).
 2. Begin grading the site.
 3. Start construction of building pad(s) and structures.
 4. Temporarily stabilize, throughout construction immediately following the completion of the most recent land disturbing/grading activity, any disturbed areas, including material stockpiles that are scheduled or likely to remain inactive for **7 days** or more.
 5. Immediately permanently stabilize areas to be vegetated as they are brought to final grade.
 6. Install utilities, sanitary sewer, storm sewers, curbs and gutters. Contractor may commence work on off-site improvements upon coordination with NCDOT and Town of Chapel Hill.
 7. Install rip rap around outlet structures as each outlet structure is installed.
 8. Install inlet protection at all storm sewer structures as each inlet structure is installed.
 9. Complete grading and installation of permanent stabilization over all areas.
 10. Prepare site for paving, install landscaping, signs, sidewalks and other site amenities.
 11. Pave site.
 12. Install appropriate inlet protection devices for paved areas as work progresses, per BMP details if upstream areas have not been permanently stabilized.
 13. **After all upstream drainage areas have been permanently stabilized, excavate any sediment within the temporary sediment basin and install the proposed wet-pond basin as designed.**
 14. Remove all remaining temporary erosion and sediment control best management practices (BMPs), and stabilize any areas disturbed by the removal of temporary BMPs.
 15. Install pavement markings.

EROSION LEGEND

SYMBOL	DESCRIPTION
— LOD —	PROPOSED LIMIT OF DISTURBANCE
— SF —	PROPOSED SILT FENCE
[Grid Pattern]	PROPOSED CONCRETE WASH OUT
[Square]	PROPOSED SILT FENCE OUTLET
[Circle with Diagonal Lines]	PROPOSED INLET PROTECTION

U:\Account\RKINV18001 - Head Sht. Chapel Hill\ES&S\RKINV18001-CS-8002.dwg PROJECT STATUS: PLOTTED: 04/20/19 11:46 AM BY: Chaitanya S. Bhat PLOT STYLE: Penmon VCE.dwg

NOT FOR CONSTRUCTION 0 30' 60'

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PENNONI ASSOCIATES, INC.
 5430 Wade Park Boulevard, #106
 Raleigh, NC 27607
 T 919.929.1173 F 919.493.6548

ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND OWNER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK

TARHEEL LODGING REDEVELOPMENT
 1742 FORHAM BLVD.
 CHAPEL HILL, NC
SOIL EROSION & SEDIMENT CONTROL PLAN - PHASE-2
 TARHEEL LODGING, LLC & UNICORN GROUP FIFTEEN, LLC
 6110 FALCON BRIDGE ROAD
 CHAPEL HILL, NC 27517

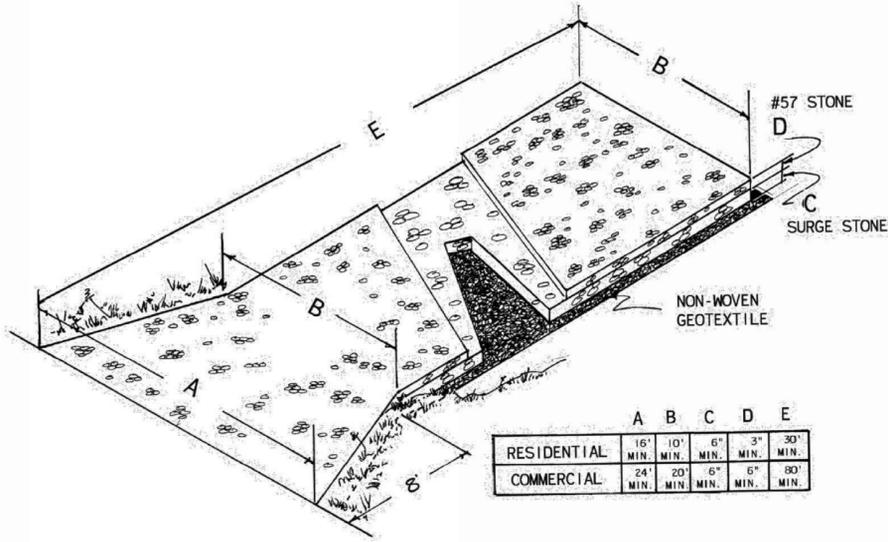
NO.	DATE	REVISIONS	BY
5	05/28/2019	REV. PER TOWN COMMENTS	SAK
4	04/08/2019	REV. PER TOWN COMMENTS	CSB
3	08/14/2018	REV. PER TOWN COMMENTS	CSB
2	07/20/2018	REV. PER COMPLETENESS REVIEW	CSB
1	07/28/2018	REV. PER TOWN & OVA&A COMMENTS	CSB

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PROJECT	RKINV18001
DATE	2018/05/23
DRAWING SCALE	AS SHOWN
DRAWN BY	CSB
APPROVED BY	JUB

GRAVEL CONSTRUCTION ENTRANCE NOTES:

- ALL SITE ACCESS MUST BE CONFINED TO THE CONSTRUCTION EXITS. BARRICADE TO PREVENT USE OF ANY LOCATIONS OTHER THAN THE CONSTRUCTION EXITS WHERE VEHICLES OR EQUIPMENT MAY ACCESS THE SITE.
- CONTRACTOR TO LOCATE TEMPORARY CONSTRUCTION FENCING, JERSEY BARRIERS, OR BOTH ALONG THE SIDES OF THE CONSTRUCTION EXIT TO PREVENT CONSTRUCTION TRAFFIC FROM SHORT CIRCUITING BYPASSING THE EXIT.
- IF THE ACTION OF VEHICLES TRAVELING OVER THE GRAVEL CONSTRUCTION EXITS IS NOT SUFFICIENT TO PREVENT TRACKING OF DIRT, DUST OR MUD, THEN TRUCKS MUST BE WASHED BEFORE THE VEHICLES ENTER A PUBLIC ROAD. ALL WASH WATER MUST BE ROUTED TO A SEDIMENT TRAP OR OTHER TREATMENT AREA AND SHALL NOT BE DIRECTLY DISCHARGED OFF-SITE.
- LOCATIONS WHERE VEHICLES ENTER AND EXIT THE SITE MUST BE INSPECTED FOR EVIDENCE OF SEDIMENT TRACKING BEYOND THE PERMITTED PROJECT AREA. ALL MATERIALS SPILLED, DROPPED, WASHED OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY.
- ANY SEDIMENT DEPOSITED ON THE ROADWAY SHALL BE SWEEP AS NECESSARY (AND WITHIN THE SAME DAY AS DISCOVERY) AND DISPOSED OF IN AN APPROPRIATE MANNER. SEDIMENT SHALL NOT BE WASHED INTO STORM SEWER SYSTEMS.
- EXITS SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD BEYOND THE EXITS. THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE CONSTRUCTION EXITS AS CONDITIONS DEMAND.
- CONTRACTOR SHALL BE PERMITTED TO TURN THE STONE WHEN THE SURFACE BECOMES SMOOTH AND SURFACE VOIDS ARE FILLED TO MAINTAIN EFFECTIVENESS OF CONSTRUCTION EXIT UNTIL SUCH TIME THAT VOIDS BELOW THE SURFACE BECOME FILLED AND THE CONSTRUCTION EXIT IS NO LONGER EFFECTIVE. AT SUCH A TIME THE CONTRACTOR SHALL REMOVE THE INEFFECTIVE STONE AND REPLACE PER DETAIL.
- IF EXIT BMP IS STILL INEFFECTIVE, GC MUST CONTACT THE ENGINEER AND SUBMIT AN RFI AS NECESSARY.



	A	B	C	D	E
RESIDENTIAL	16'	10'	6"	3"	30"
	MIN.	MIN.	MIN.	MIN.	MIN.
COMMERCIAL	24'	20'	6"	6"	30"
	MIN.	MIN.	MIN.	MIN.	MIN.

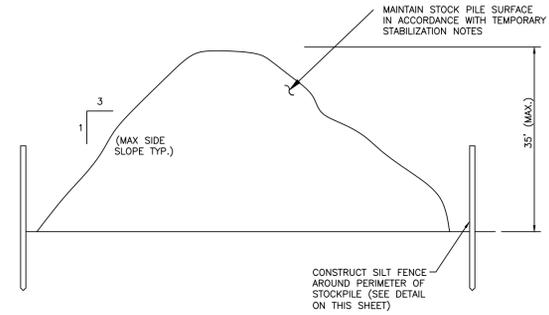
GRAVEL CONSTRUCTION ENTRANCE
NOT TO SCALE

TITLE
GRAVEL
CONSTRUCTION
ENTRANCE

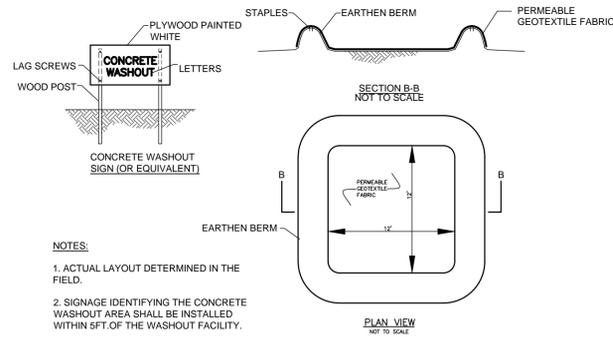
REVISIONS	NO	DATE	BY

DET.NO
E-1

STANDARD DETAILS
ENGINEERING DEPARTMENT

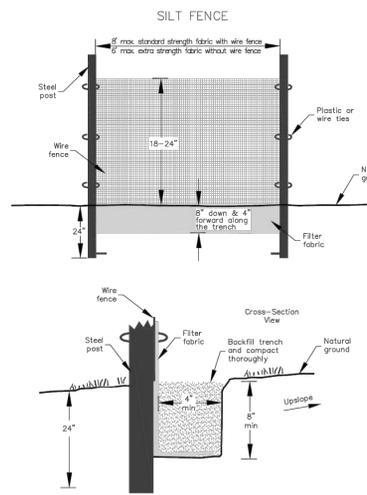


TEMPORARY
STOCKPILE DETAIL
NOT TO SCALE



- NOTES:
- ACTUAL LAYOUT DETERMINED IN THE FIELD.
 - SIGNAGE IDENTIFYING THE CONCRETE WASHOUT AREA SHALL BE INSTALLED WITHIN 5 FT. OF THE WASHOUT FACILITY.

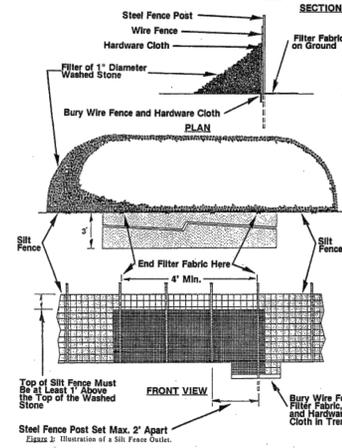
CONCRETE WASHOUT
TYPE 'A' ABOVE GRADE WITH EARTHEN BERMS



- GENERAL NOTES:
- Use silt fence only when drainage area does not exceed 5 ac and never in areas of concentrated flow.
 - Silt fence shall not be removed unless site is stabilized and inspected by Town of Chapel Hill staff.

SILT FENCE DETAIL
N.T.S.

TITLE:	REVISIONS	DET. NO.
SILT FENCE	08/13 15	SD-18



INSTRUCTIONS FOR

SILT FENCE OUTLET

- INSTALLATION**
- REFER TO THE PLANS FOR LOCATIONS AND SPECIFICATIONS. DURING INSTALLATION OF THE SILT BARRIER OR SILT FENCE, INSPECT THE INSTALLATION TO DETERMINE IF OUTLETS ARE NEEDED ACCORDING TO THE CRITERIA SET FORTH IN THE SPECIFICATIONS FOR THE BARRIER AND FENCE. IF THERE ARE QUESTIONS OR PROBLEMS WITH THE LOCATION, EXTENT, OR METHOD OF INSTALLATION, CONTACT THE ENGINEER, ARCHITECT, OR RESPONSIBLE PERSONNEL ON THE SITE FOR ASSISTANCE. ENGINEER/CONTRACTOR PERSONNEL HAVE COPIES OF INSTRUCTIONS AND MAY HAVE PHOTOGRAPHS OF PROPERLY INSTALLED OUTLETS AS AN AID TO INSTALLATION.
 - IF THE SILT FENCE OUTLET IS NOT INSTALLED CORRECTLY THE FIRST TIME, IT WILL HAVE TO BE REINSTATE.
 - DETERMINE THE EXACT LOCATION OF THE OUTLET BEFORE COMPLETING INSTALLATION OF THE SILT BARRIER OR SILT FENCE, TAKING INTO CONSIDERATION:
 - INSTALL THE OUTLET AT THE LOWEST POINT(S) IN THE BARRIER OR FENCE WHERE WATER WILL POND.
 - INSTALL THE OUTLET WHERE IT IS ACCESSIBLE FOR INSTALLATION, MAINTENANCE, AND REMOVAL.
 - ALLOW AT LEAST:
 - 15 FEET BETWEEN THE BARRIER OR FENCE AND SINGLE-STORY BUILDINGS.
 - 25 FEET FOR FORK LIFTS BETWEEN THE BARRIER OR FENCE AND MULTIPLE-STORY BUILDINGS.
 - 10 FEET BETWEEN THE BARRIER OR FENCE AND THE TOE OF FILL SLOPES.
 - PLACE THE OUTLET SO THAT WATER FLOWING THROUGH IT WILL NOT CREATE AN EROSION HAZARD BELOW. AVOID STEEP SLOPES BELOW THE OUTLET AND AROUND PROTECTIVE VEGETATION. USE SLOPE DRAINS IF NECESSARY.
 - DETERMINE THE LOCATION OF THE OUTLET: FOR A SILT BARRIER, WHEN THE TRENCH IS SOG TO BURY THE BOTTOM OF THE FILL BECAUSE THE BARRIER WILL BE OMITTED AT THE OUTLET; FOR A SILT FENCE, WHEN THE WIRE FENCE IS IN PLACE BECAUSE THE FILTER FABRIC WILL BE OMITTED AT THE OUTLET.
 - REFER TO THE ILLUSTRATIONS OF THE OUTLET IN THE PLAN.
 - CLEAR STUMPS AND ROOTS FROM THE LOCATION OF THE OUTLET. CLEAR ADEQUATE ACCESS FOR THE EQUIPMENT NEEDED FOR INSTALLATION, MAINTENANCE, AND REMOVAL.
 - FOR A SILT BARRIER:
 - JUST BELOW THE GAP IN THE BARRIER, PLACE A LAYER OF FILTER FABRIC ON THE GROUND TO PROTECT THE SOIL FROM EROSION BY OUTFLOW FROM THE OUTLET; PLACE 6 INCHES OF THE UPPER EDGE IN THE TRENCH. STAKE THE REMAINING EDGES OF THE FABRIC TO HOLD IT IN PLACE.
 - ALONG THE GAP WHERE THE OUTLET WILL GO, PLACE STEEL FENCE POSTS FOR STRENGTH. THE POSTS MUST BE A MAXIMUM OF 2 FEET APART AND DRIVEN INTO SOLID GROUND AT LEAST 18 INCHES.
 - PLACE HARDWARE CLOTH (WELDED GALVANIZED SCREEN WITH SQUARE 1/4 - 1/2-INCH HOLES) ON THE UPHILL SIDE OF THE POSTS TO HOLD THE WASHED STONE IN PLACE. PUT 6 INCHES OF THE BOTTOM OF THE CLOTH IN THE TRENCH AND FASTEN IT TO THE POSTS WITH LENGTHS OF WIRE.
 - BURY THE BOTTOM OF THE HARDWARE CLOTH AND THE UPPER EDGE OF THE FILTER FABRIC BELOW THE OUTLET IN THE TRENCH AND COMPACT THE FILL.
 - PLACE A FILTER OF 1-INCH DIAMETER WASHED STONE ON THE UPHILL SIDE OF THE OUTLET. FILL THE STONE UP TO THE TOP OF THE HARDWARE CLOTH AND OVER THE JOINT BETWEEN THE OUTLET AND THE BARRIER.
 - FOR A SILT FENCE:
 - JUST BELOW THE GAP IN THE FENCE, PLACE A LAYER OF FILTER FABRIC ON THE GROUND TO PROTECT THE SOIL FROM EROSION BY OUTFLOW FROM THE OUTLET; PLACE 6 INCHES OF THE UPPER EDGE IN THE TRENCH. STAKE THE OTHER EDGES OF THE FABRIC TO HOLD IT IN PLACE.
 - ALONG THE GAP WHERE THE OUTLET WILL GO, PLACE ADDITIONAL STEEL FENCE POSTS FOR STRENGTH. THE POSTS MUST BE A MAXIMUM OF 2 FEET APART AND DRIVEN INTO SOLID GROUND AT LEAST 18 INCHES.
 - PLACE HARDWARE CLOTH (WELDED GALVANIZED SCREEN WITH SQUARE 1/4 - 1/2-INCH HOLES) ON THE UPHILL SIDE OF THE POSTS TO HOLD THE WASHED STONE IN PLACE. PUT 6 INCHES OF THE BOTTOM OF THE CLOTH IN THE TRENCH AND FASTEN IT TO THE POSTS WITH LENGTHS OF WIRE.
 - BURY THE BOTTOM OF THE HARDWARE CLOTH, THE UPPER EDGE OF THE FILTER FABRIC BELOW THE OUTLET, AND THE WIRE FENCE IN THE TRENCH AND COMPACT THE FILL.
 - PLACE A FILTER OF 1-INCH DIAMETER WASHED STONE ON THE UPHILL SIDE OF THE OUTLET. FILL THE STONE UP TO THE TOP OF THE HARDWARE CLOTH AND OVER THE JOINT BETWEEN THE OUTLET AND THE SILT FENCE.

MAINTENANCE
MATERIALS, EQUIPMENT, AND PERSONNEL MUST BE AVAILABLE FOR MAINTENANCE AT ALL TIMES.

- INSPECT THE SILT FENCE OUTLET:
 - DURING CONSTRUCTION:** TO DETERMINE IF MACHINERY, FALLING TREES, ETC. HAVE DAMAGED THE BARRIER, FENCE, OR OUTLET; IF DAMAGED, MAKE REPAIRS. TO SEE THAT FILL MATERIAL HAS NOT ACCUMULATED AGAINST THE OUTLET, BLOCKING OUTFLOW; IF IT HAS, REMOVE THE MATERIAL, REPAIR THE DAMAGE, AND MOVE THE FENCE OR FILL SO THAT IT DOES NOT HAPPEN AGAIN.
 - AFTER EACH RAINFALL:** TO DETERMINE IF RUNOFF FLOWING THROUGH THE OUTLET HAS CAUSED DAMAGE BY UNDERMINING THE FENCE OR OUTLET, OR IF ACCUMULATED WATER HAS COLLAPSED THE OUTLET; IF IT HAS, MAKE REPAIRS OR INSTALL A SEDIMENT TRAP IF NECESSARY TO PREVENT FUTURE FAILURES.
- CLEAN OUT ACCUMULATED SEDIMENT WHEN IT REACHES A DEPTH OF ONE-HALF THE HEIGHT OF THE OUTLET. PLACE THE SEDIMENT IN A DISPOSAL AREA, OR MIX IT WITH DRY SOIL ON THE SITE IF APPROPRIATE.
- DO NOT DISPOSE OF SEDIMENT IN A MANNER THAT WILL CREATE AN EROSION HAZARD.
- WHEN THE STONE FILTER BECOMES CLOGGED, PREVENTING FLOW THROUGH THE FILTER, REMOVE THE CONTAMINATED STONE, DISPOSE OF IT PROPERLY, AND REPLACE IT WITH CLEAN WASHED STONE.
- REPAIR THE OUTLET IF DAMAGED BY USE OR DURING MAINTENANCE. REBUILD IT TO THE ORIGINAL CONFIGURATION.

- REMOVAL**
- WHEN GRADING IN THE DRAINAGE AREA ABOVE THE OUTLET HAS BEEN COMPLETED AND THE DISTURBED AREA SUFFICIENTLY STABILIZED TO RESTRAIN EROSION, THE OUTLET MUST BE REMOVED.
 - CLEAN OUT ACCUMULATED SEDIMENT AND DISPOSE OF IT PROPERLY.
 - REMOVE POSTS, FENCE, FABRIC, WIRE, AND WASHED STONE; DISPOSE OF THEM PROPERLY.
 - GRADE THE LOCATION AS NECESSARY.
 - STABILIZE THE DISTURBED AREA WHERE THE OUTLET WAS LOCATED.

SILT FENCE OUTLET
N.T.S.

PRELIMINARY
NOT FOR CONSTRUCTION

Pennoni
Firm License
F-2377
PENNONI ASSOCIATES, INC.
5430 Wade Park Boulevard, #106
Raleigh, NC 27607
T 919.929.1173 F 919.493.6548

ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND OWNER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK

PROFESSIONAL SEAL
NORTH CAROLINA
REGISTERED PROFESSIONAL ENGINEER
SEAL 042486
J. W. B. J.

TARHEEL LODGING REDEVELOPMENT
1742 FORHAM BLVD.
CHAPEL HILL, NC

EROSION AND SEDIMENTATION DETAILS

TARHEEL LODGING, LLC & UNICORN GROUP FIFTEEN, LLC
6110 FALCON BRIDGE ROAD
CHAPEL HILL, NC 27517

NO.	DATE	REVISIONS	BY

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PROJECT	RKINV18001
DATE	2018-05-21
DRAWING SCALE	N.T.S.
DRAWN BY	RLM/CSB
APPROVED BY	JUB

CS8502
SHEET 57 OF 58

U:\Account\RKIN\RKIN18001 - Head Sta. Chain REVISION SHEET CS8503.dwg PLOTTED: 04/20/2016 04:41 AM BY: Chaitin HEESON, SHEET CS8503.dwg PROJECT STATUS: -

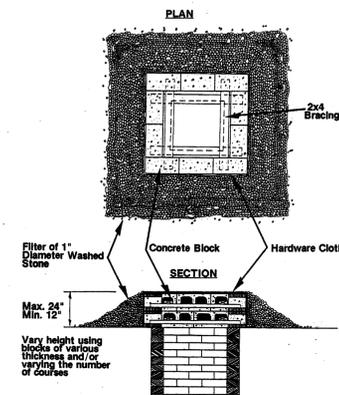
PLOTFILE: Pennon\CS8503.dwg

PLOTFILE: Pennon\CS8503.dwg

PROJECT STATUS: -

PRELIMINARY
NOT FOR CONSTRUCTION

BLOCK AND GRAVEL FILTER



Height must be adjusted so that overflow enters the inlet and does not bypass it.

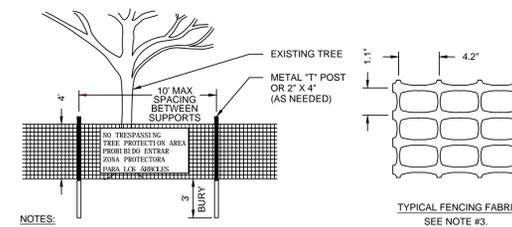
INSTRUCTIONS FOR STORM DRAIN INLET PROTECTION USING A BLOCK AND GRAVEL FILTER

- INSTALLATION**
- REFER TO THE PLANS FOR LOCATIONS AND SPECIFICATIONS. IF THERE ARE QUESTIONS OR PROBLEMS WITH THE LOCATION OR METHODS OF INSTALLATION, CONTACT THE ENGINEER, ARCHITECT, OR RESPONSIBLE PERSONNEL ON THE SITE FOR ASSISTANCE. EROSION CONTROL PERSONNEL HAVE COPIES OF INSTRUCTIONS AND MAY HAVE PHOTOGRAPHS OF PROPERLY INSTALLED BLOCK AND GRAVEL FILTERS AS AN AID TO INSTALLATION.
 - IF THE INLET PROTECTION IS NOT INSTALLED CORRECTLY THE FIRST TIME, IT WILL HAVE TO BE REBUILT.
 - DETERMINE THE LOCATION ON THE GROUND, TAKING INTO CONSIDERATION:
 - DIVERSIONS AND/OR BERMS MUST BE USED TO FORCE RUNOFF THROUGH THE FILTER INTO THE INLET SO THAT IT DOES NOT BY-PASS THE INLET AND CAUSE PROBLEMS ELSEWHERE.
 - IF THE INLET IS TO BE RAISED IN STAGES AS THE FILL IS BROUGHT UP AROUND IT, THE FILTER MUST BE REMOVED FOR GRADING AND REPLACED IMMEDIATELY SO THAT THE INLET IS ALWAYS PROTECTED FROM THE ENTRY OF UNFILTERED RUNOFF.
 - REFER TO ILLUSTRATIONS IN THE PLAN TO ASSIST INSTALLATION.
 - PLACE CONCRETE BLOCKS AROUND THE OPENING OF THE INLET WITH THE HOLES IN THE BLOCK PARALLEL TO THE GROUND SO THAT WATER CAN FLOW THROUGH THE HOLES. VARY THE NUMBER OF COURSES TO BUILD THE FILTER TO THE REQUIRED HEIGHT. IT MUST BE AT LEAST 12 INCHES HIGH.
 - INSTALL 2 X 4'S AS SHOWN IN THE ILLUSTRATION FOR REINFORCEMENT.
 - WRAP HARDWARE CLOTH AROUND THE OUTSIDE OF THE BLOCKS AND ON THE GROUND. HARDWARE CLOTH IS WELDED, GALVANIZED WIRE FABRIC WITH 1/4" - 1/2" INCH SQUARE HOLES.
 - PILE CLEAN WASHED STONE (1-INCH DIAMETER) AROUND THE OUTSIDE OF THE BLOCKS AND ON TOP OF THE HARDWARE CLOTH.
 - WHERE POSSIBLE, DIG A SMALL PIT AROUND THE FILTER TO STORE SEDIMENT.
 - IT IS ADVISABLE TO PLACE GUARD STAKES AROUND THE FILTER TO ALERT MACHINERY OPERATORS OF ITS LOCATION AND PREVENT DAMAGE TO IT.
 - DIVERSIONS AND/OR BERMS MUST BE USED TO DIRECT RUNOFF TO THE FILTERS AND INTO THE INLET. RUNOFF MUST NOT BE ALLOWED TO BY-PASS THE INLET AS IT WILL CREATE PROBLEMS DOWNHILL. REFER TO SPECIFIC DETAILS IN THE PLAN.

MAINTENANCE
MATERIALS, EQUIPMENT, AND PERSONNEL MUST BE AVAILABLE FOR MAINTENANCE AT ALL TIMES.

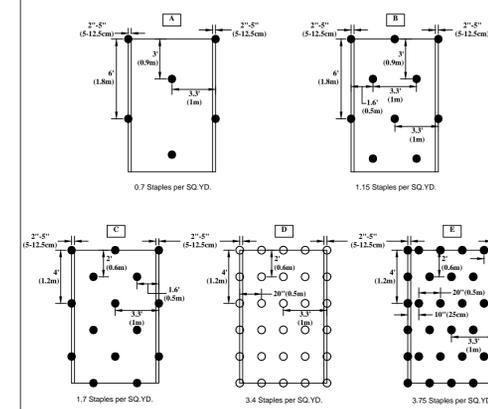
- INSPECT THE BLOCK AND GRAVEL FILTER:
 - DURING CONSTRUCTION: TO SEE IF MACHINERY OR CONSTRUCTION ACTIVITY HAVE DAMAGED THE FILTER; IF DAMAGED, REPAIR IT. TO SEE IF CONSTRUCTION TRAFFIC HAS DAMAGED OR REDUCED THE CAPACITY OF THE BERMS AND DIVERSIONS DIRECTING RUNOFF TO THE FILTER; IF SO, MAKE REPAIRS.
 - AFTER EACH RAINFALL: TO SEE IF RUNOFF IS BY-PASSING THE INLET OR TOPPING THE BERMS OR DIVERSIONS BELOW THE FILTER; IF SO, INCREASE THEIR CAPACITY TO PREVENT IT.
- WHEN THE STONE FILTER BECOMES COVERED WITH SEDIMENT AND CLOGGED SO THAT RUNOFF CANNOT FLOW THROUGH IT, THE COMPACTED STONE MUST BE REMOVED, DISPOSED OF PROPERLY, AND REPLACED WITH CLEAN WASHED STONE.
 - DO NOT DISPOSE OF SEDIMENT IN A MANNER THAT WILL CREATE AN EROSION HAZARD.
- IF THE FILTER IS DAMAGED, IF THE BLOCKS ARE DISLOCATED OR BROKEN, OR IF THE REINFORCEMENT IS DAMAGED, REBUILD THE FILTER TO ITS ORIGINAL DESIGN CONFIGURATION.

- REMOVAL**
- WHEN GRADING IN THE DRAINAGE AREA ABOVE THE INLET HAS BEEN FINISHED AND THE DISTURBED AREA STABILIZED, THE BLOCK AND GRAVEL FILTER MUST BE REMOVED.
 - REMOVE ANY ACCUMULATED SEDIMENT AND DISPOSE OF IT PROPERLY.
 - REMOVE THE STONE, HARDWARE CLOTH, BLOCK, AND 2 X 4'S, AND DISPOSE OF THEM PROPERLY.
 - STABILIZE THE DISTURBED AREA AS REQUIRED.



- NOTES:**
- PLACE CONTINUOUS RUN OF FENCE MATERIAL AS SHOWN ON PLANS.
 - ATTACH AT 10' MAXIMUM INTERVALS TO 2x4 POSTS. DO NOT STAPLE TO TREES.
 - FENCE MATERIAL SHALL BE TENSAR HIGH STRENGTH POLYMER GEOGRID FABRIC BY TENSAR CORPORATION, MORROW, GEORGIA, OR EQUAL, BRIGHT ORANGE COLOR.
 - AT 100' O.C., PLACE SIGNS IN ENGLISH AND SPANISH: 'NO TRESPASSING - TREE PROTECTION AREA' and 'PROHIBIDO ENTRAR - ZONA PROTECTORA PARA LOS ARBOLES'
 - A PRE-CONSTRUCTION CONFERENCE SHALL BE HELD WITH THE PROJECT MANAGER AND THE TOWN'S LANDSCAPE ARCHITECT BEFORE ANY SITE WORK BEGINS.
 - ANY TREE ROOTS EXPOSED BY CONSTRUCTION SHALL BE SEVERED CLEANLY WITH A PRUNING TOOL.
 - THE SOIL WITHIN THE PROTECTED AREA AROUND EXISTING TREES SHALL NOT BE DRIVEN UPON AFTER FENCE REMOVAL FOR THE PURPOSE OF INSTALLING LANDSCAPING.
 - ONE OR MORE LANDSCAPE PROTECTION SUPERINTENDENTS SHALL BE DESIGNATED UPON COMPLETION OF TRAINING IN TREE PROTECTION PROCEDURES AS INSTRUCTED BY THE TOWN. PLEASE CONTACT ADAM NICHOLSON AT 919.969.5006.
 - INSPECTION OF CONTINUOUS TREE PROTECTION FENCE MUST BE COMPLETED BY TOWN PRIOR TO ANY FURTHER DEMOLITION OF CLEARINGS/REMOVING OF TREES. PLEASE CONTACT ADAM NICHOLSON AT 919.969.5006.

TREE PROTECTION FENCE
N.T.S.



STAPLE PATTERN GUIDE

- 4:1 Slopes (A)
- 3:1 Slopes (B)
- 2:1 Slopes (C)
- 1:1 & Steeper Slopes (D)
- Medium/High Flow Channel (E)
- High Flow Channel And Shoreline (E)

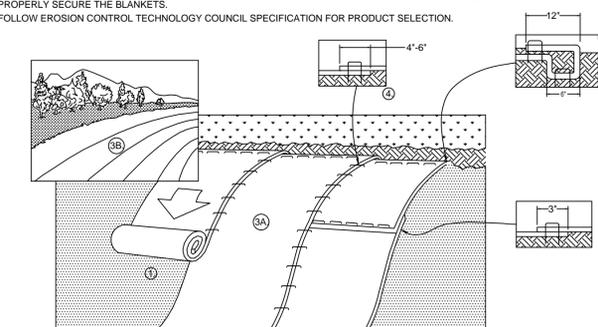
NOTES:
* Use ECOMDS® for more accurate staple pattern selection.

NORTH AMERICAN GREEN
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STAPLE PATTERN
N.T.S.

- PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER, AND SEED.
- BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN A 6" DEEP X 6" WIDE TRENCH WITH APPROXIMATELY 12" OF BLANKET EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH AS SHOWN IN DETAIL 2. ANCHOR THE BLANKET WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" PORTION OF BLANKET BACK OVER SEED AND COMPACTED SOIL. SECURE BLANKET OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12" APART ACROSS THE WIDTH OF THE BLANKET.
- ROLL THE BLANKETS (A.) DOWN OR (B.) HORIZONTALLY ACROSS THE SLOPE. BLANKETS WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL BLANKETS MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS PER MANUFACTURER'S RECOMMENDATION.
- THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH MINIMUM 6" OVERLAP. TO ENSURE PROPER SEAM ALIGNMENT, PLACE THE EDGE OF THE OVERLAPPING BLANKET (BLANKET BEING INSTALLED ON TOP) WITH THE SEAM STITCH ON THE PREVIOUSLY INSTALLED BLANKET.
- CONSECUTIVE BLANKETS SPICED DOWN THE SLOPE MUST BE PLACED END OVER END (SHINGLE STYLE) WITH AN APPROXIMATE 3" OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" APART ACROSS ENTIRE BLANKET WIDTH.
- PLACE STAPLES/STAKES PER MANUFACTURER'S RECOMMENDATION FOR THE APPROPRIATE SLOPE BEING APPLIED.

NOTES:
1. IN LOOSE SOIL CONDITIONS, THE USE OF STAPLE OR STAKE LENGTHS GREATER THAN 6" MAY BE NECESSARY TO PROPERLY SECURE THE BLANKETS.
2. FOLLOW EROSION CONTROL TECHNOLOGY COUNCIL SPECIFICATION FOR PRODUCT SELECTION.



EROSION CONTROL BLANKET (SLOPE INSTALLATION)
NOT TO SCALE

Pennon
Firm License
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CHAPEL HILL, NC

EROSION AND SEDIMENTATION DETAILS

TARHEEL LODGING, LLC & UNICORN GROUP FIFTEEN, LLC
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NO.	DATE	REVISIONS	BY

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