

TARHEEL LODGING REDEVELOPMENT

Certificate of Appropriateness and Design Alternatives

PIN # 9799368876, 9799460556, 9799461879



JDAVIS >

RBA GROUP
ARCHITECTURE
INTERIORS

Pennoni

COMMUNITY DESIGN COMMISSION

August 27, 2018

Revised September 13, 2018

ATMA
HOTEL GROUP, INC.

SCOTT MURRAY
LAND PLANNING, INC.

PowerPoint Presentation

The Project

Phased redevelopment of the multiple parcels into a vibrant mixed-use community of residential and commercial uses that compliment the adjacent properties and advance the vision of the Blue Hill District.

The project site includes the existing Hong Kong Buffet Restaurant parcel, the existing Quality Inn Motel parcel and a third smaller parcel located behind the Jiffy Lube and Advance Auto.

August 13, 2018

The Project Goals

- *Provide new opportunities for (i) sustainable business growth, (ii) urban living options and (iii) outdoor amenity spaces,*
- *Redevelop in a manner that is consistent with the goals and objectives established for the District,*
- *Preserve the availability of affordable room rates within the Blue Hill District of Chapel Hill.*

August 13, 2018

Site Analysis & Site Plan



VIEW WESTERLY TOWARDS JIFFY LUBE DRIVE CONNECTION

1



VIEW OF RETAINING WALL AND SLOPE ADJACENT TO EUROPA CENTER BOUNDARY

5



VIEW EASTERLY ALONG NEW STREET-1 CL - QUALITY INN PORTICO TO THE RIGHT

6



VIEW SOUTH INTO HONG KONG RESTAURANT ENTRY

2



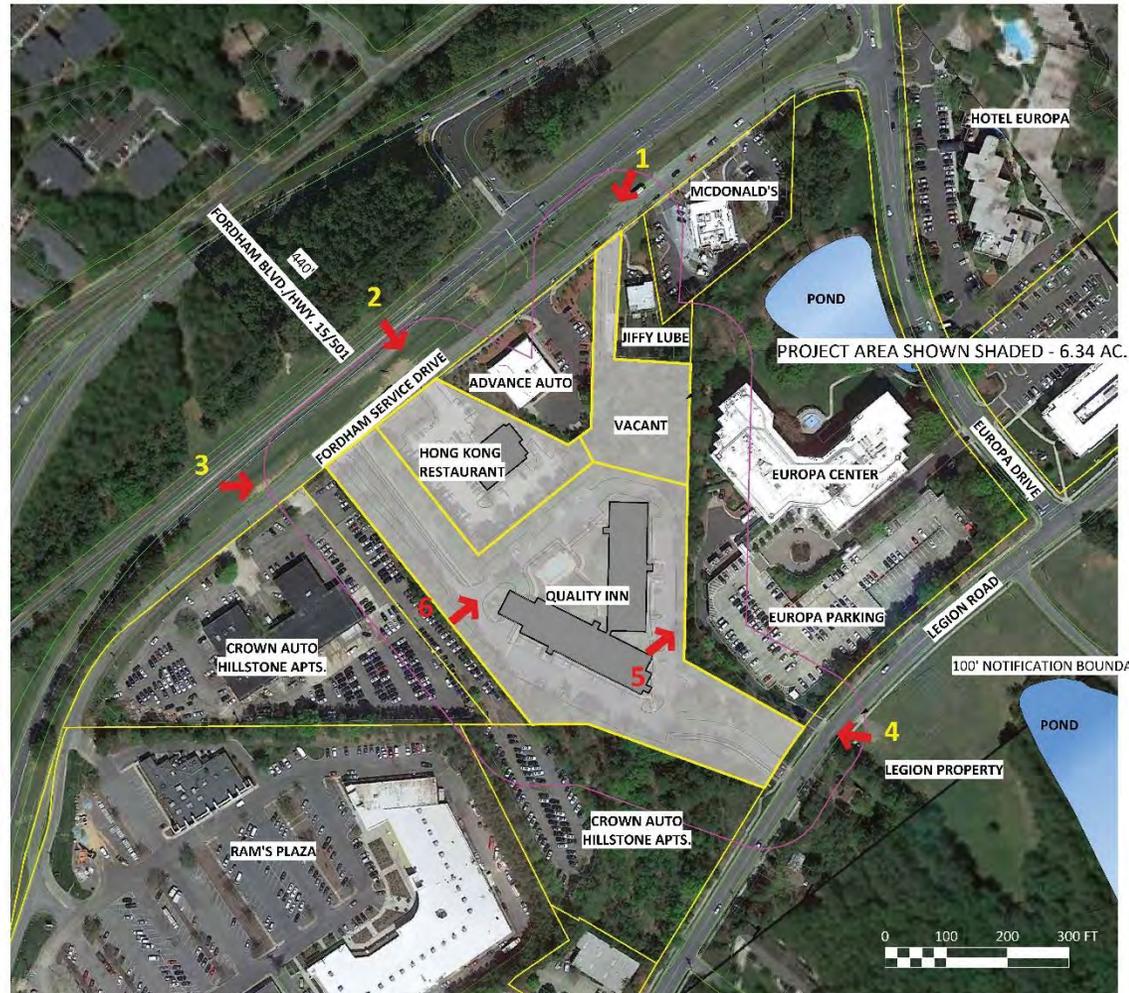
VIEW EASTERLY TOWARDS QUALITY INN ENTRANCE ACROSS HILLSTONE STREET FUTURE CONNECTION

3



VIEW FROM LEGION RD INTO EUROPA CENTER PARING DRIVE - QUALITY INN TO LEFT

4



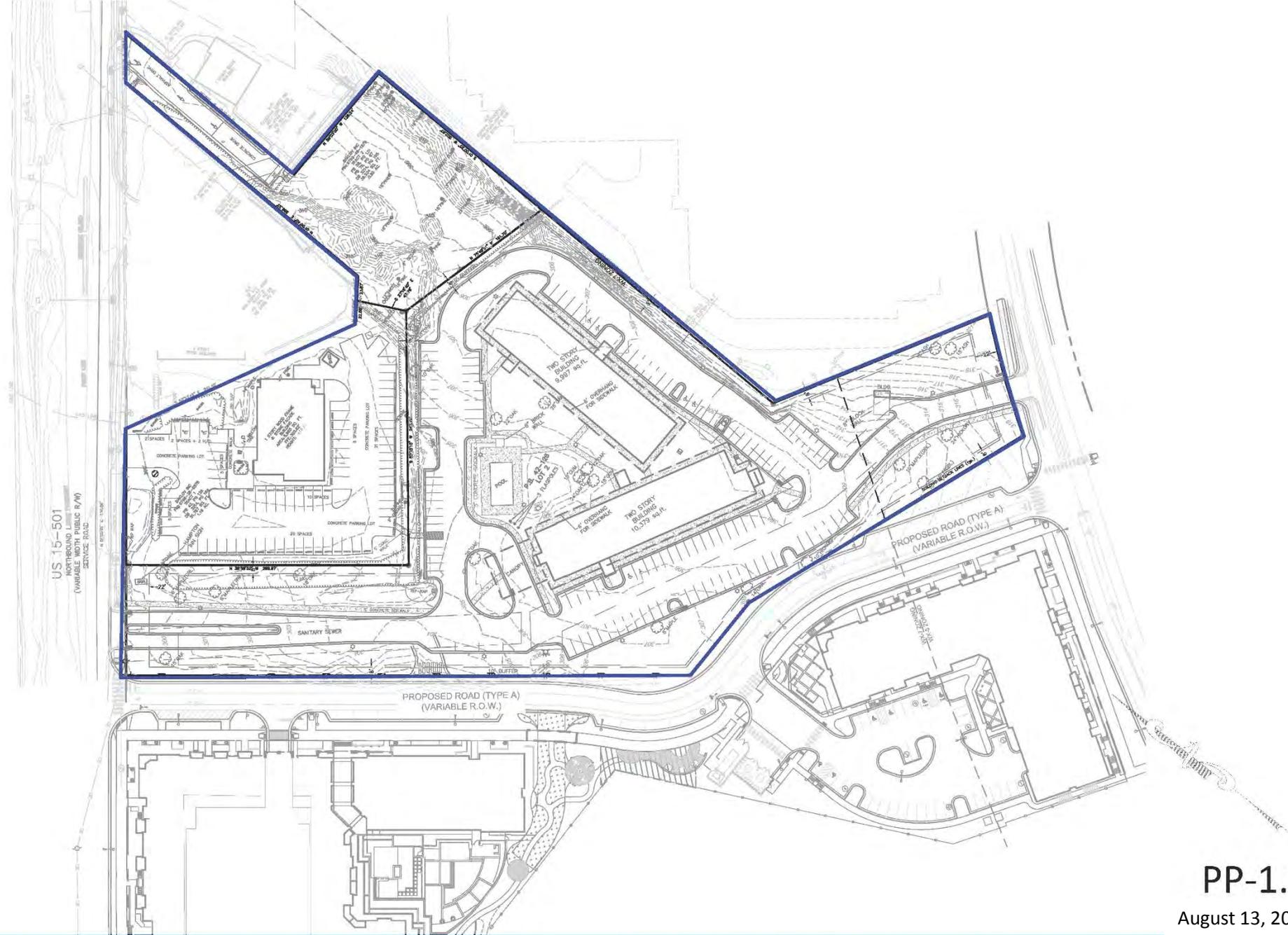
PROJECT AREA SHOWN SHADED - 6.34 AC.

100' NOTIFICATION BOUNDARY



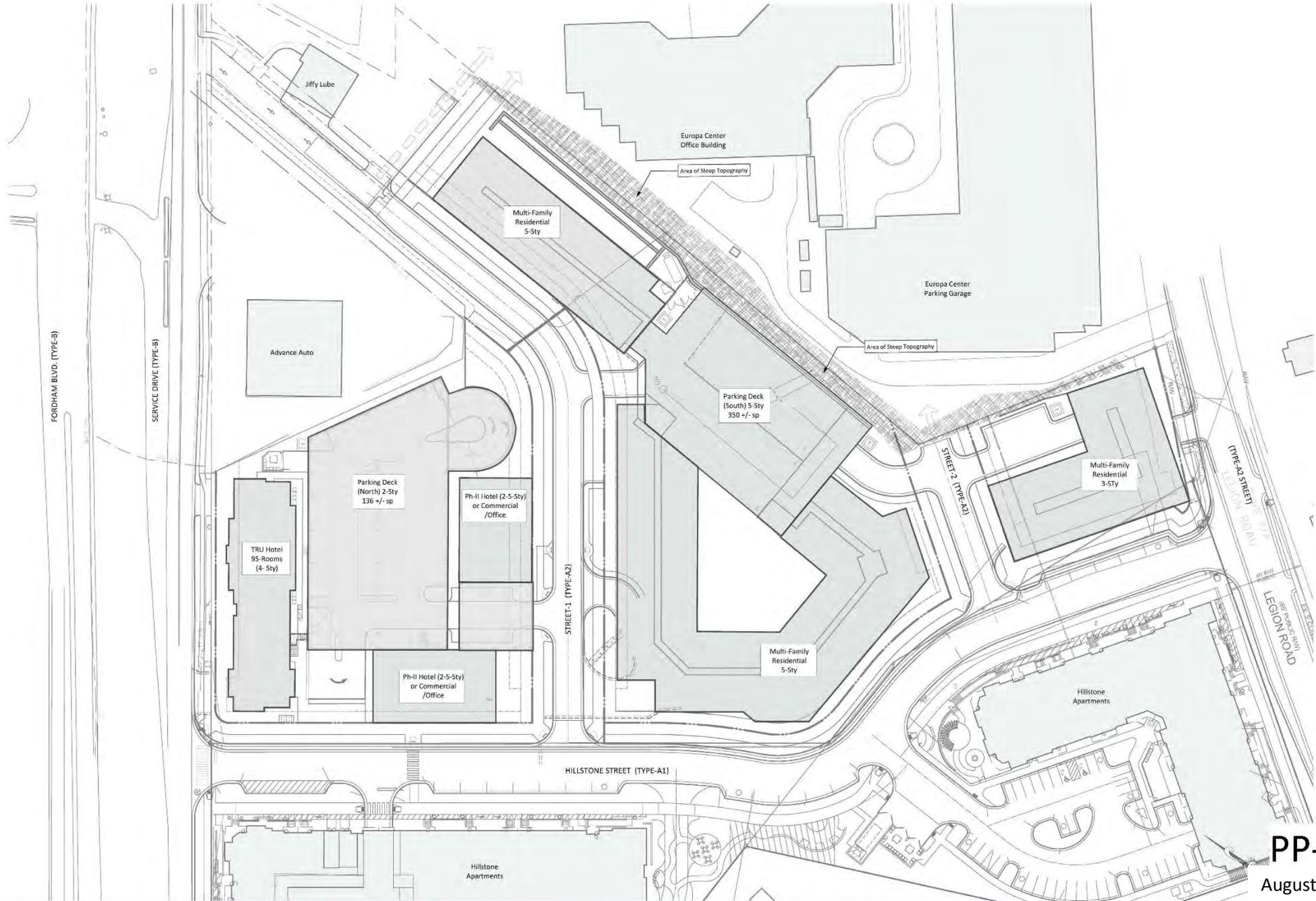
PP-1.0

August 13, 2018



PP-1.1

August 13, 2018

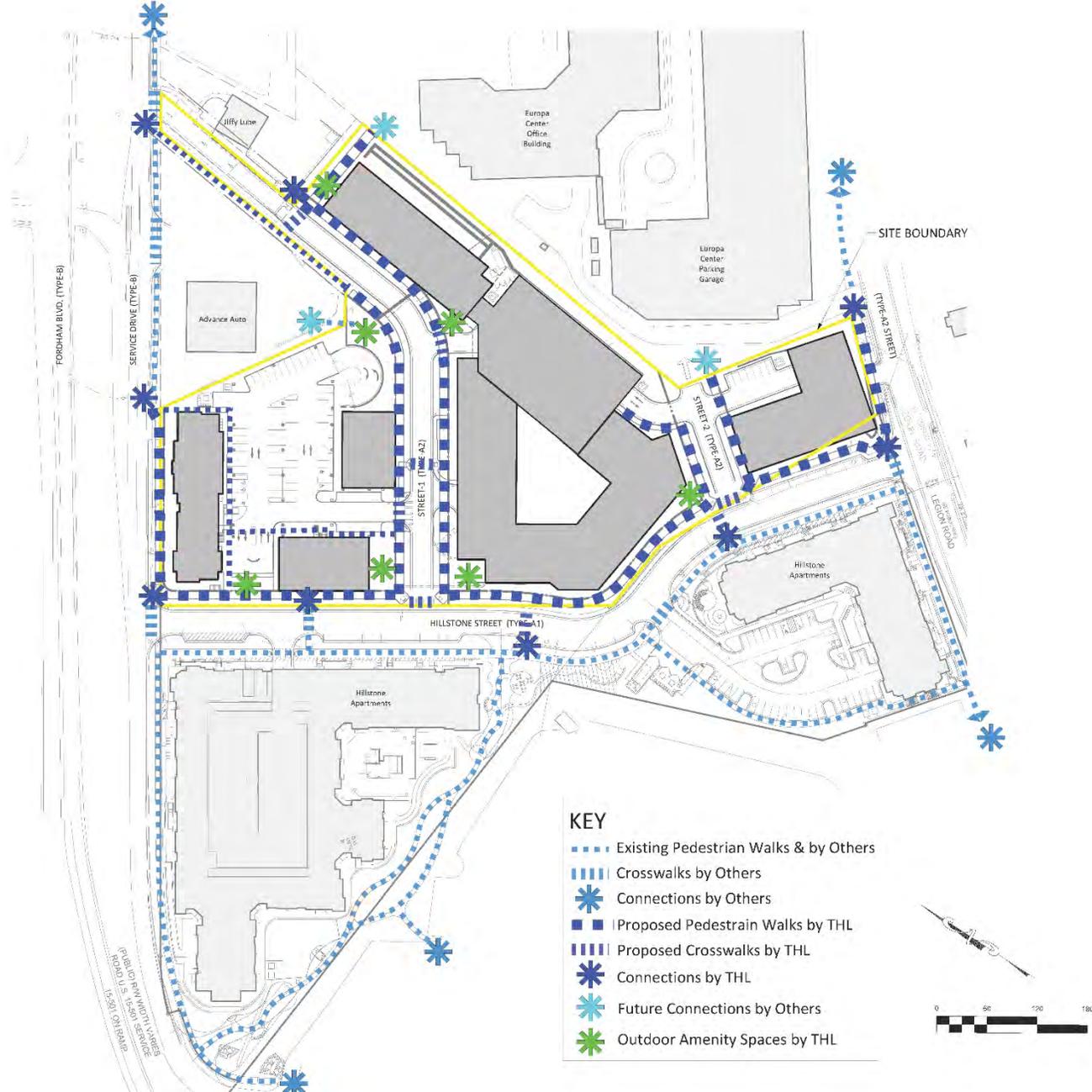


PP-1.3
August 13, 2018



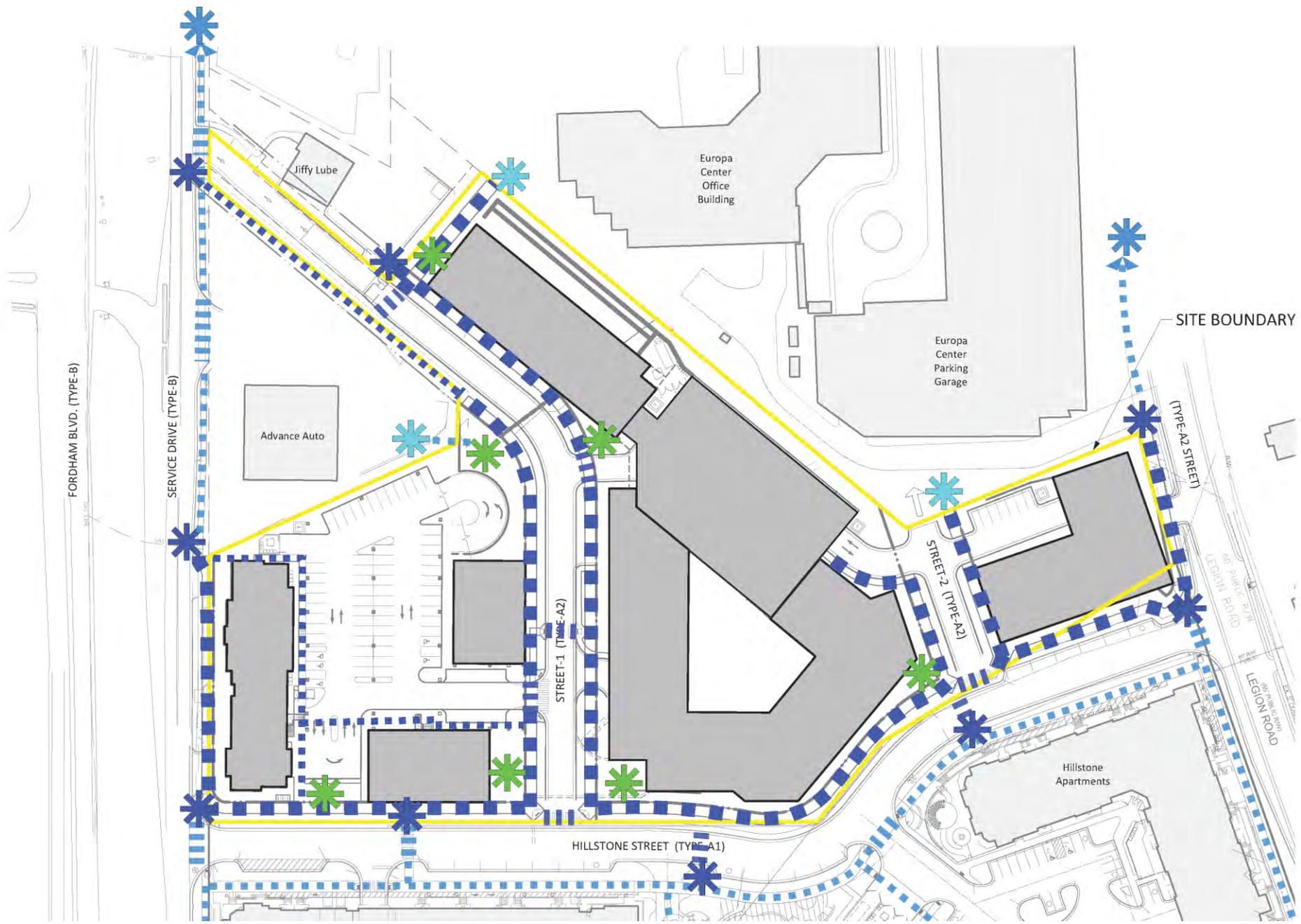
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August 13, 2018

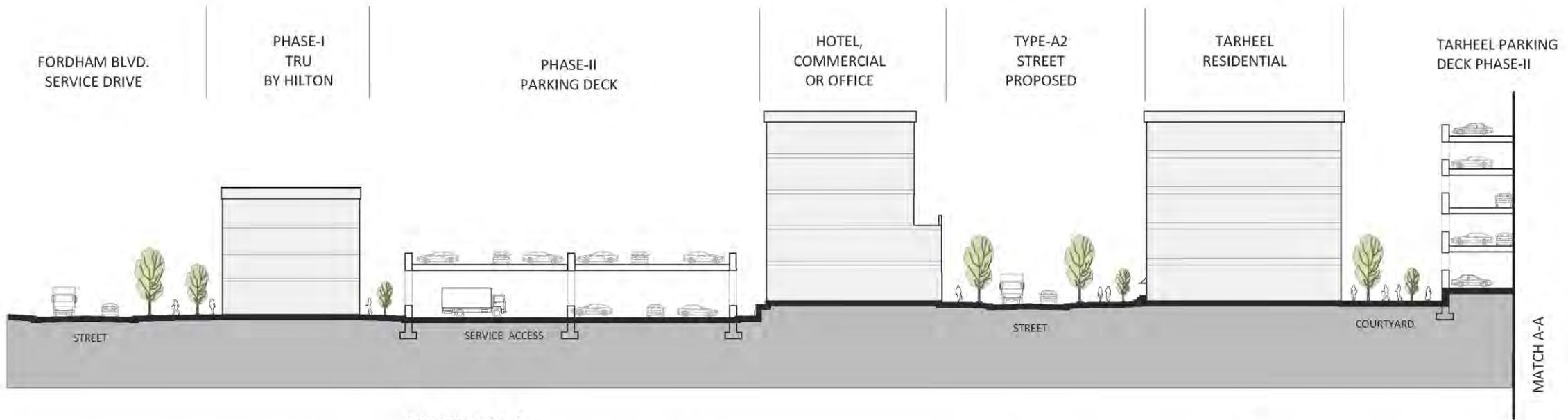


PP-1.5

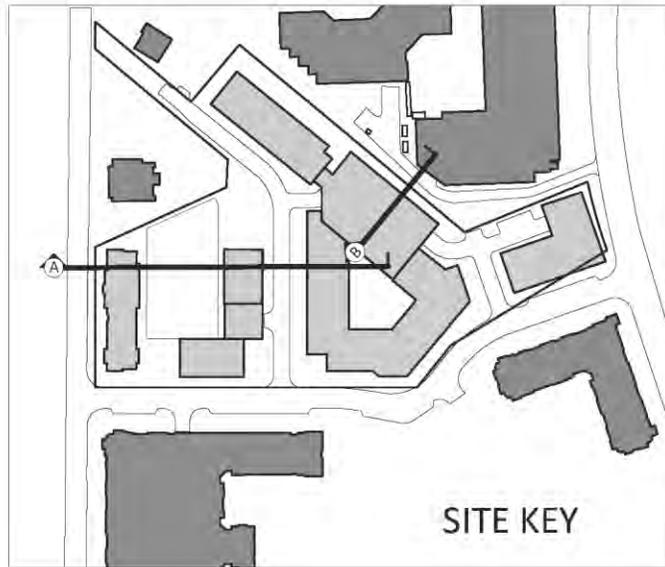
August 13, 2018



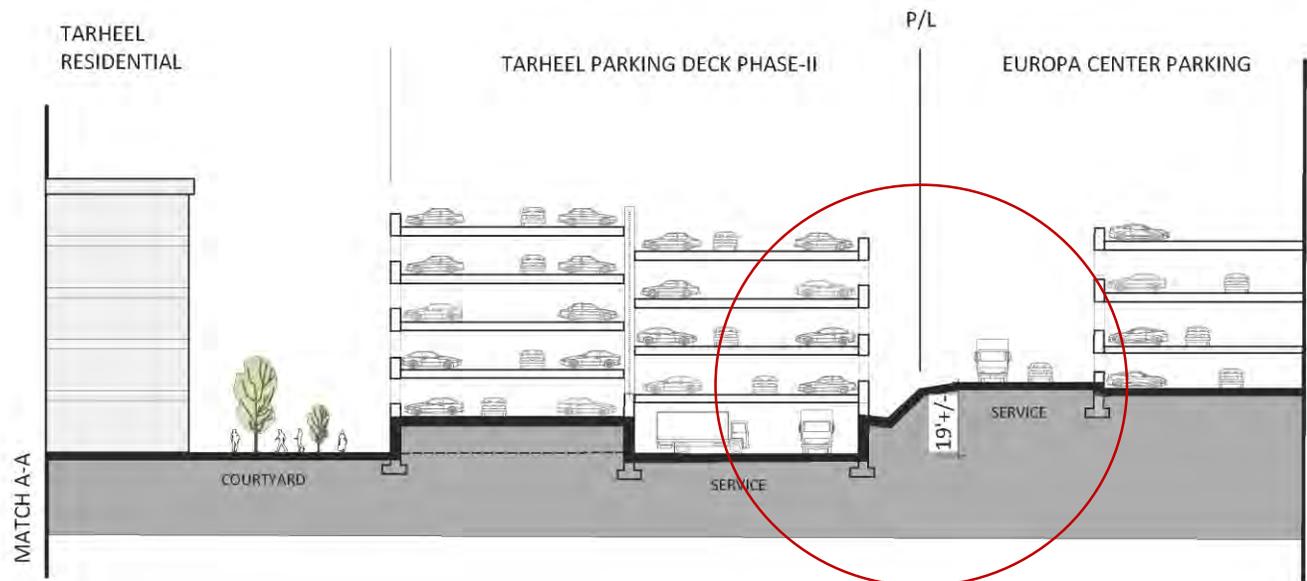
PP-1.6
 August 13, 2018



SECTION A



SITE KEY



SECTION B

PP-1.8

August 13, 2018

Site - Design Alternatives

DA-1: A request to approve a 550' Block Length,

DA-2: A request to approve a 517' Building Pass-Thru spacing + **5' pedestrian walkway to Europa**

DA-3a: A request to increase the Build-To-Zone Depth by 7' to 17' at the Fordham Wrap.

DA-3c: A request to increase the Build-To-Zone Depth by 5' to 15' along Novus Ln. Block-2

OR approve 4th & 5th floor encroachments of 260 SF +/- with 3'-6" building shift

DA-4a: A request to approve a reduction from 60% to 40% Build-to-Zone Frontage,

DA-4b: A request to approve a 2' +/- encroachment of the 4th and 5th floor facade within the 10'

Building-Stepback-Zone,

DA-5: A request to allow reduced setback (10') to parking deck from proposed R/W,

DA-9-14: see Architectural Plans for Building Design Alternatives



Requirement:

Sect. 3.11.2.4 Block Parameters

Maximum Block Length 450'
(495' with 10% Admin. Adjustment)

Site Constraints:

- i - Existing Vegetated Buffer
- ii - Steep Slopes
- iii - Unusual Site Configuration and Adjoining Parcel Use and Permanence/Intensity

Design Alternative-1:

Increase Block Length to 550' to Align with North Facade of Europa Center

- (1) Maximize Future Connection Opportunities,
- (2) Minimize Slope of Street for Future Connection,
- (3) Minimize Impact to Steep Slopes and Existing Tree Buffer



DA-1a

August 13, 2018



Steep Slopes and Existing Vegetated Buffer



Area of Proposed Street Alignment

DA-1b
August 13, 2018



Requirement:

Sect. 3.11.2.4 Lot Parameters-D

Maximum Pass-Through Spacing 330'
(346.5' with 5% Admin. Adjustment)

Site Constraints:

- i - Existing Vegetated Buffer
- ii - Steep Slopes
- iii - Unusual Site Configuration and Adjoining Parcel Use and Permanence/Intensity

Design Alternative-2:

Increase Pass-Through Spacing to 517' Align with Future Street

- (1) Maximize Future Connection Opportunities,
- (2) Avoid Uninviting/Hazardous Service Area, and
- (3) Minimize Impact to Steep Slopes and Existing Tree Buffer

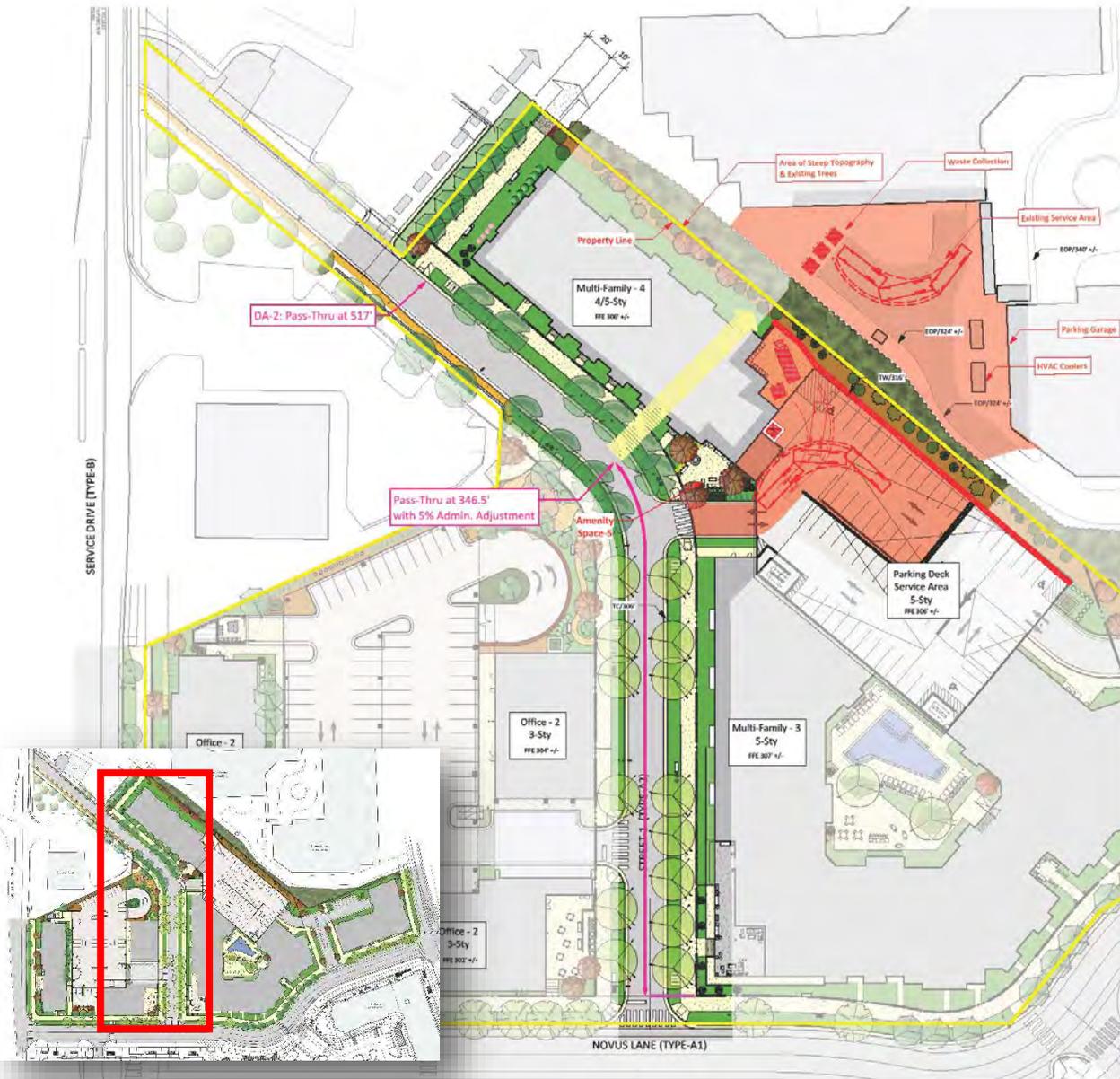


DA-2a
August 13, 2018



Alternate Solution – 5' Striped Utilitarian Pedestrian Connection to Europa

DA-2



Retaining Wall, Slope and Mature Pine Buffer



Existing Europa Service Area

DA-2b
August 13, 2018



Requirement:

Sect. 3.11.2.1.D.5 Districts and Frontages

Where a corner lot has two different assigned frontages, the more restrictive frontage requirement shall apply to the assigned frontage, and must be continued for a minimum of 75'

Site Constraints:

- i - Primary Building Facade is positioned 10'-17' from proposed ROW to accommodate vertical articulation of facade and maintain a diversity of room sizes.
- ii - Shifting towards ROW at corner creates conflicts with FBC Sect 3.11.2.4.3.C Building Stepback AND Duke Energy 3-Phase OHP.
- iii - Custom modification of building floorplan compromises affordability of lodging proposed.

Design Alternative-3a:

An increase in the Build-to-Zone depth by 7' (from 10' to 17' x 60') along Fordham Service Street-Novus Lane Type-A1 wrap. Overall Building Facade Frontage within the BTZ for is exceeded and is characteristic of a Type-A2 frontage.

Mitigating Factors:

1. Enhanced Vertical Architectural Articulation and Diversity of Room Sizes and Prices.
2. Overall Building Facade within 0'-20' for the Type-B frontage is 92%, greatly exceeding the typical requirement for even a Type-A2 frontage of 60%.

DA-3a
August 13, 2018



Design Alternative-3a:

An increase in the Build-to-Zone depth by 7' (from 10' to 17' x 60') along Fordham Service Street-Novus Lane Type-A1 wrap. Overall Building Facade Frontage within the BTZ for is exceeded and is characteristic of a Type-A2 frontage.

Mitigating Factors:

1. Enhanced Vertical Architectural Articulation and Diversity of Room Sizes and Prices.
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DA-3a
August 13, 2018

Requirement:

Sect. 3.11.2.4 Walkable Mixed-Use (WX-5 and WX-7) Building Setbacks A- Front - Type A-1 frontage (min/max) 0'/10'

Site Constraints:

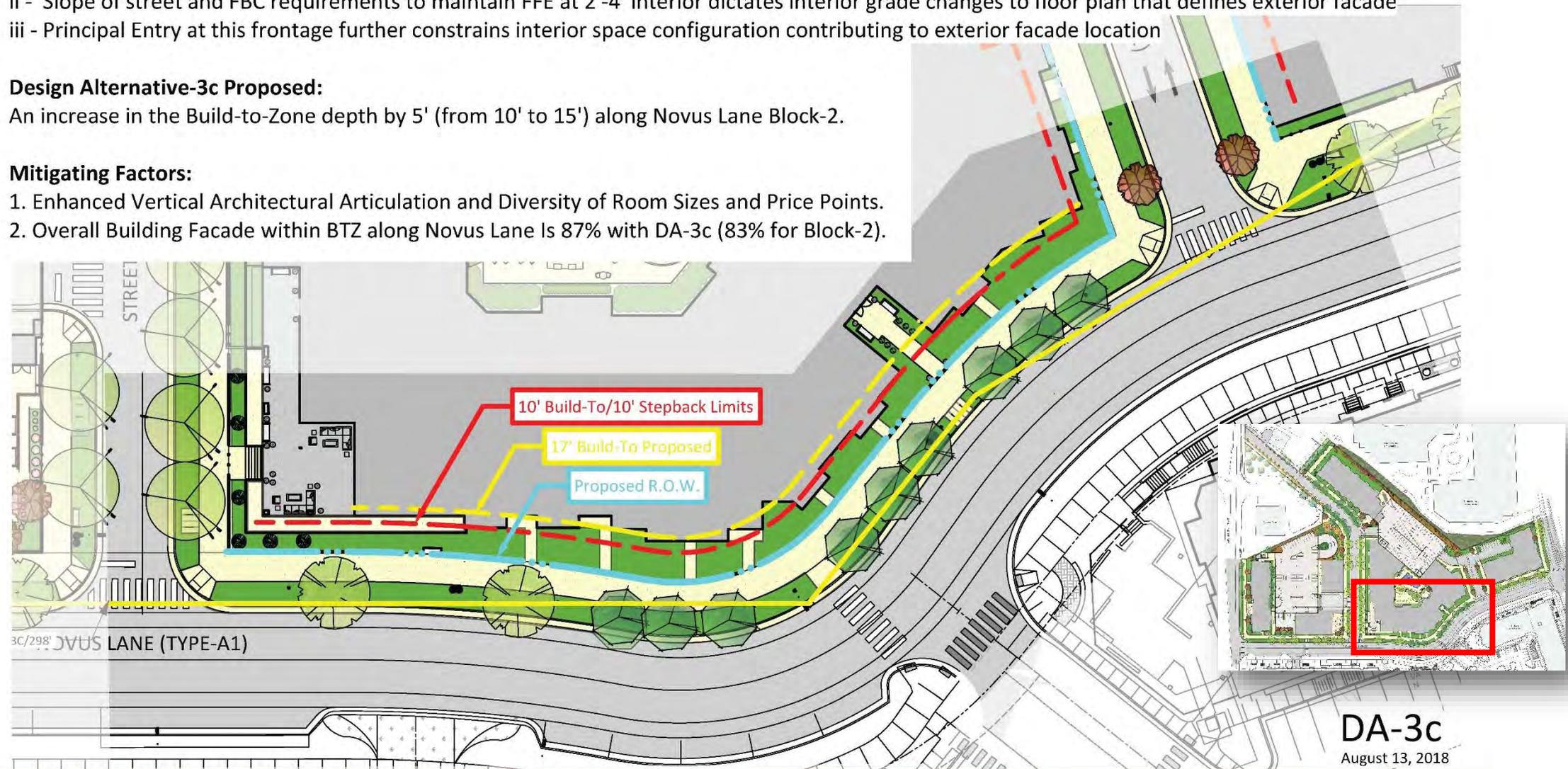
- i - Novus Lane designed and approved for Hillstone with tight radius to conform to awkward parcel configuration at narrowest point of property
- ii - Slope of street and FBC requirements to maintain FFE at 2'-4' interior dictates interior grade changes to floor plan that defines exterior facade
- iii - Principal Entry at this frontage further constrains interior space configuration contributing to exterior facade location

Design Alternative-3c Proposed:

An increase in the Build-to-Zone depth by 5' (from 10' to 15') along Novus Lane Block-2.

Mitigating Factors:

- 1. Enhanced Vertical Architectural Articulation and Diversity of Room Sizes and Price Points.
- 2. Overall Building Facade within BTZ along Novus Lane Is 87% with DA-3c (83% for Block-2).



DA-3c
August 13, 2018



Alternate Solution – Shift Building 3’-6” Towards Novus Ln.
Results in 130 sf +/- encroachments for both Floors 4 & 5

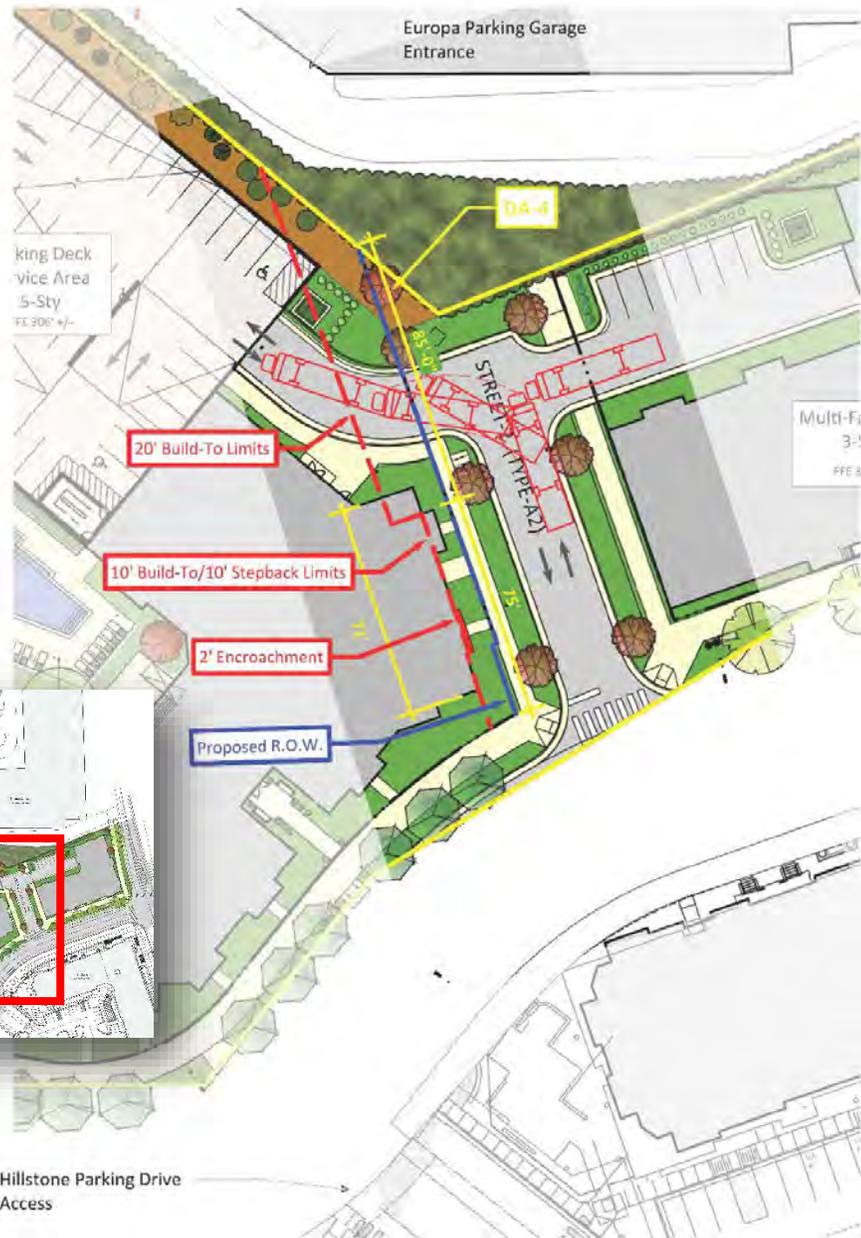
DA-3c



Alternate Solution – Shift Building 3’-6” Towards Novus Ln.
= 130 sf +/- encroachments Floors 4 & 5

FROM '13

DA-3c



Requirement:

Sect. 3.11.2.4 Build-to-Zone Type-A2 Street
 Build-to-Frontage on Type-A2 Streets = 60%

Site Constraints:

- i - Existing Vegetated Buffer
- ii - Steep Slopes
- iii - Unusual Site Configuration and Adjoining Intersection Spacing and Circulation - Street Alignment Restricted Due to Intersection Offset with Hillstone Dr.
- iv - No Other Means of Ingress/Egress to Garage for Fire

Design Alternative-4:

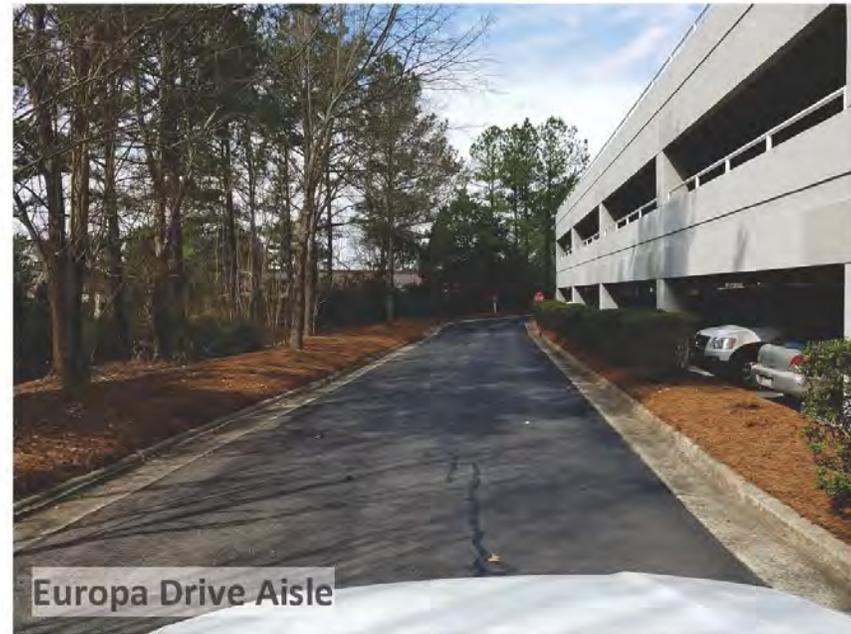
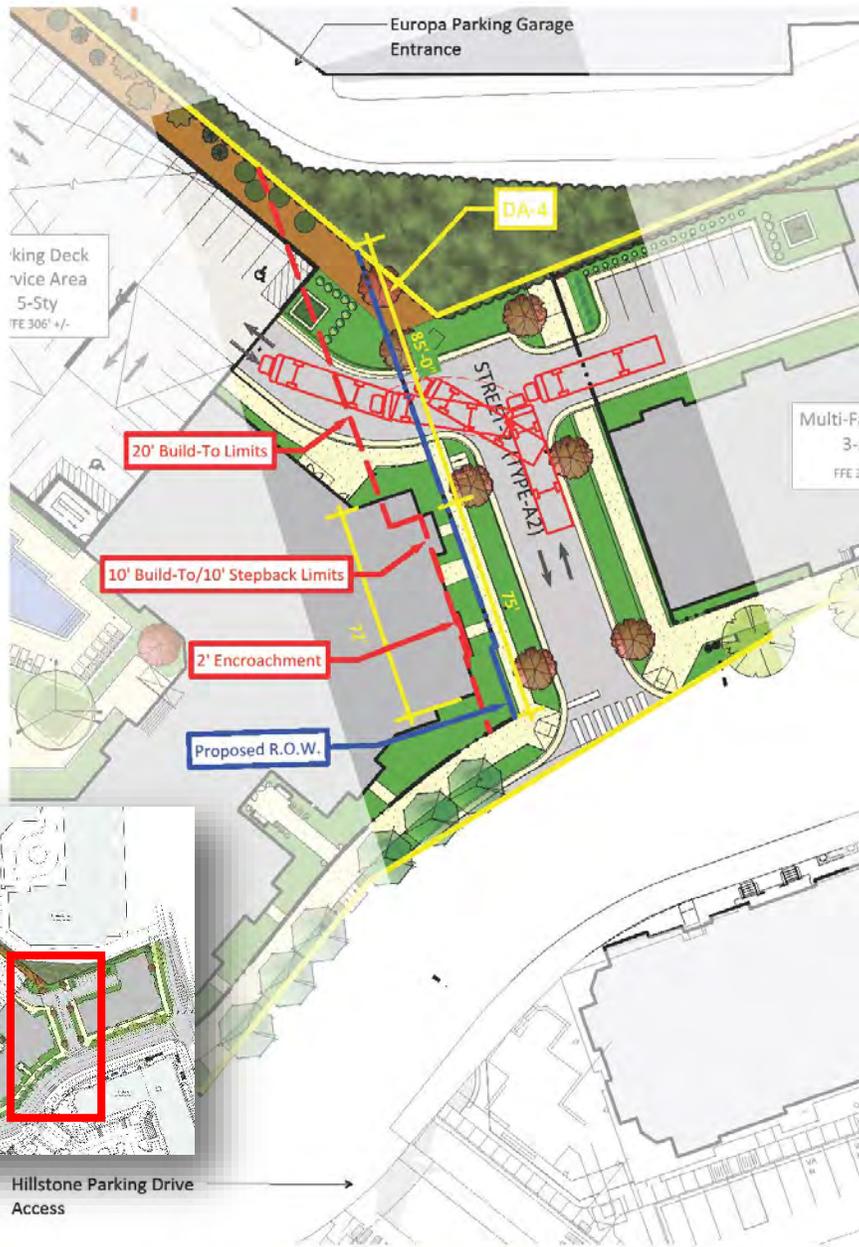
- (1) Align Street to Accommodate Hillstone Intersection Offset,
- (2) Maximize Opportunity for Future Connection to Europa Drive and Offset Parking Garage Entrance,
- (3) Minimize Impact to Existing Vegetated Buffer and Steep Slopes,
- (4) Provide Essential Fire Access to Garage Parking and Turnaround Requirements

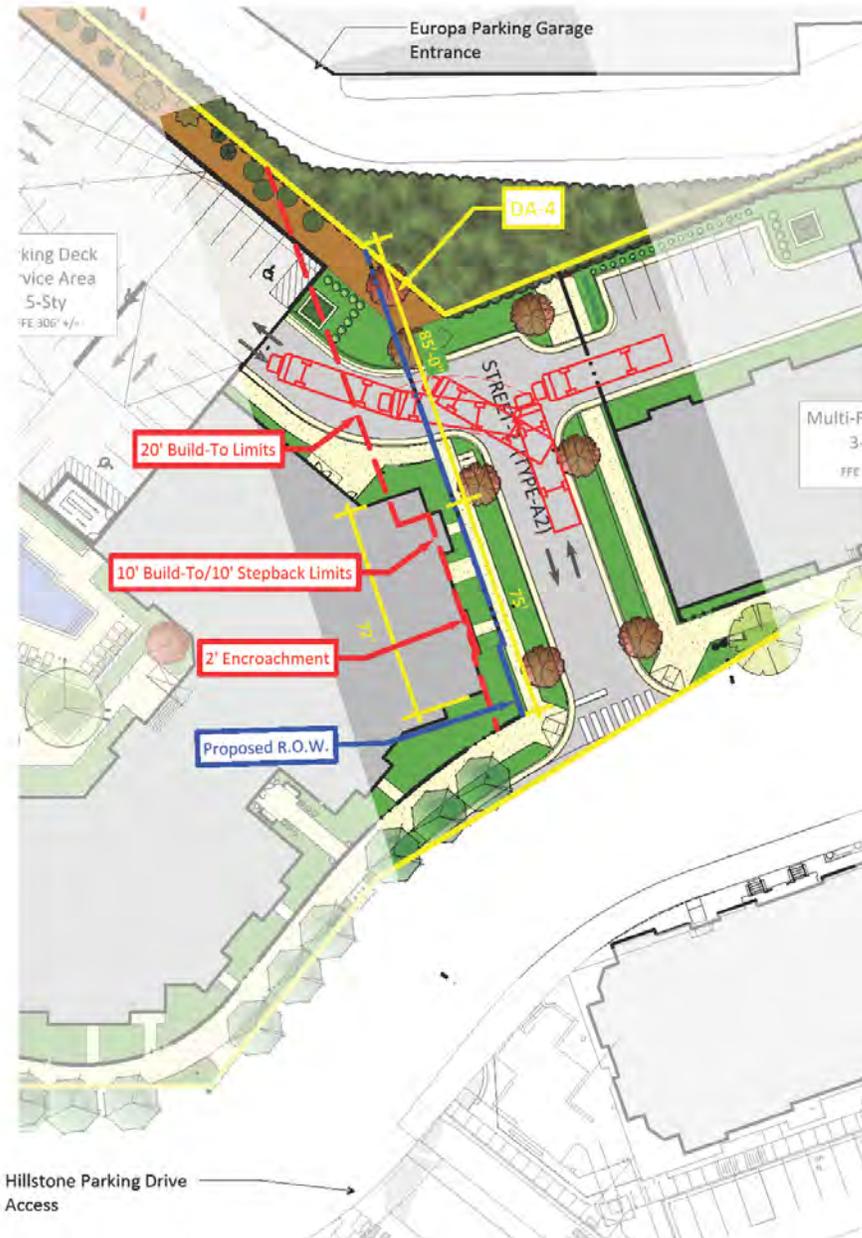
Calculations:

75' (Type-A1 Frontage) x 80% +
 85' (Type-A2 Frontage) x 60% = 111' Frontage Required
 72'/160' = 45% Build-to-Frontage Provided

DA-4a1

September 12 2018





Requirement:

Sect. 3.11.2.4.3.c Walkable Mixed-Use | Mass | Building Height | Stepback

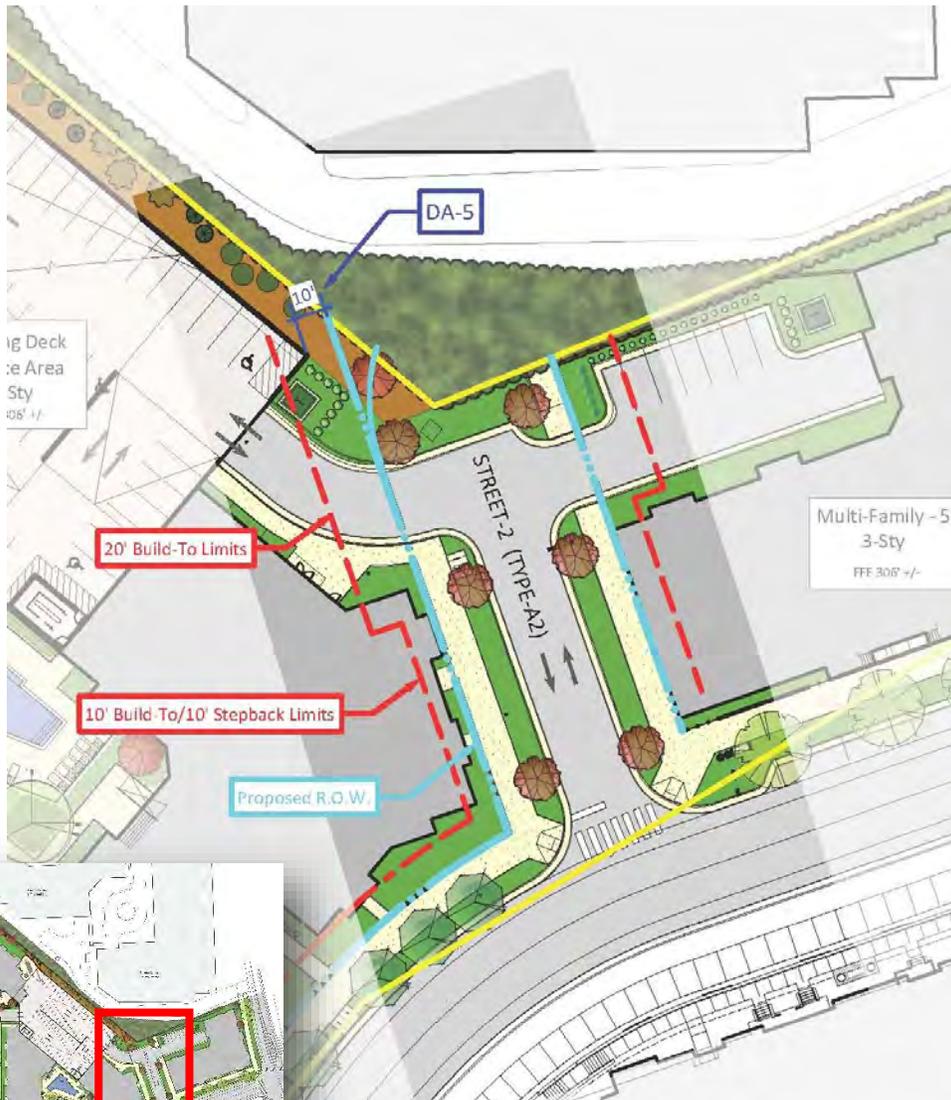
Design Alternative-4b:

Allow 2' 4th and 5th floor encroachment into Building Setback to achieve greater vertical facade articulation and a more functional living space dimension.



DA-4b

September 12 2018



Requirement:

Sect. 3.11.2.5 Frontages - Parking Location

Structured parking: 30' minimum behind front building facade for all floors

Site Constraints:

- i - Steep Slopes
- ii - Unusual Site Configuration and Circulation Limits Structured Parking Deck Placement and Ramping Opportunities
- iii - Adjacent Parcel Use and Circulation Dictate Future Connection Alignment

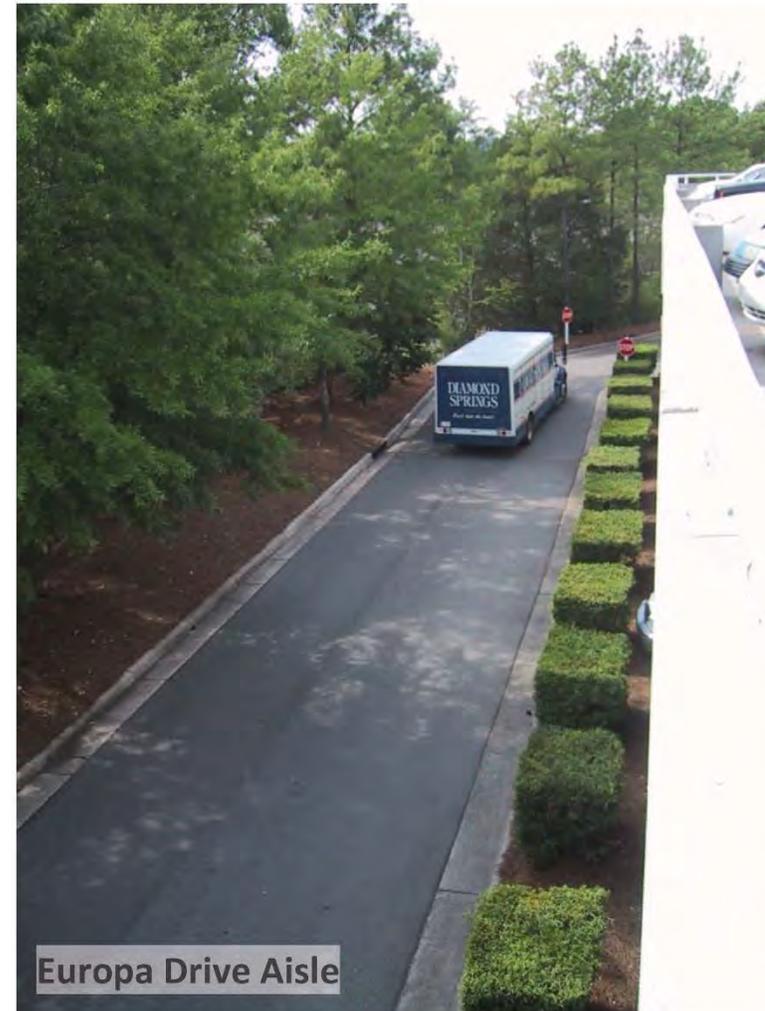
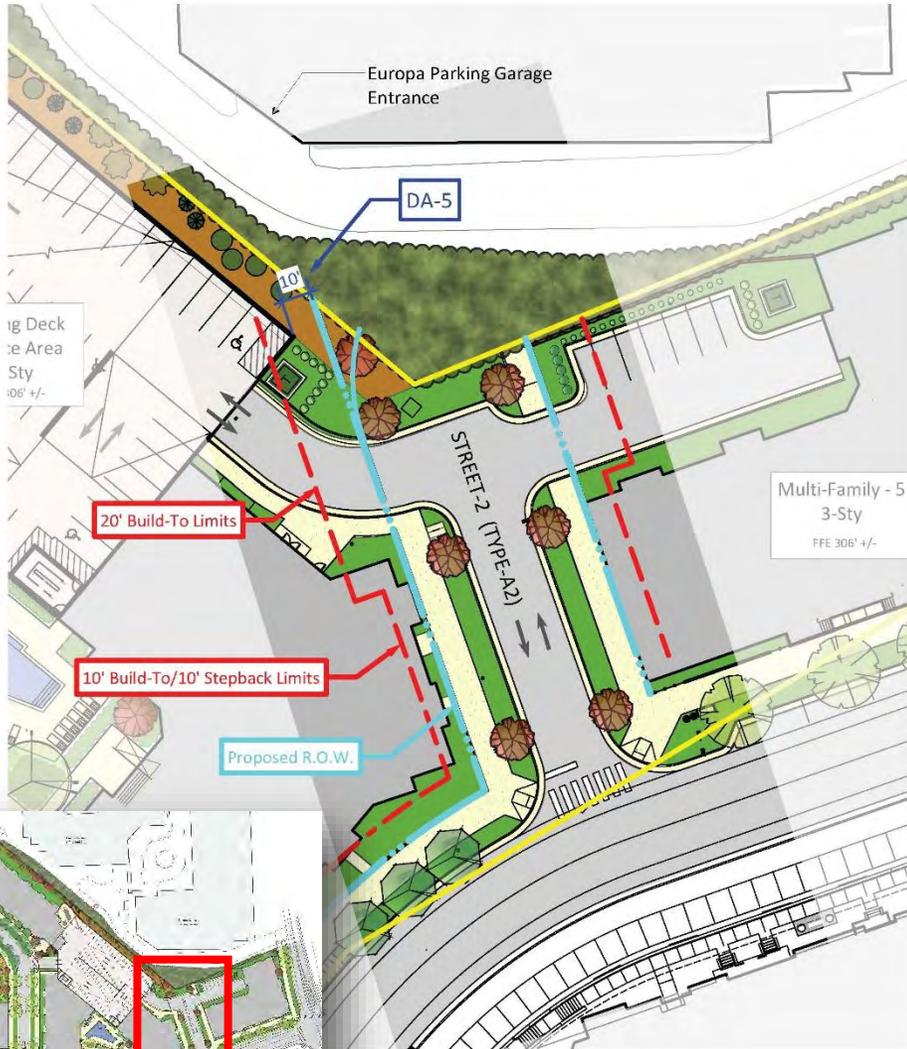
Design Alternative-5:

- (1) Align Street to Maximize Opportunity for Future Connection to Europa Drive, Provide Best Visibility and Minimize Slope of Future Connection
- (2) Minimize Impact to Steep Slopes,
- (3) Provide Optimum Fire Access to Garage Parking and Turnaround Requirements
- (4) Position Parking Facilities and Circulation in Close Juxtaposition to Other Parking Structures

Calculations:

Parking Deck Setback to R/W = 10' Min.

DA-5a
August 13, 2018



DA-5b
August 13, 2018

TRU by Hilton – Phase I

Elevations, Materials and Design Alternatives 7-13



August 13, 2018

Building Design Alternatives Summary

~~DA-7:~~ A request to approve alternate building step back requirements along the Fordham Street (North) façade.

~~DA-8:~~ A request to approve alternate building step back requirements along the Novus Lane (West) façade.

DA-9: A request to approve a 7% ground story transparency along the West building elevation.

DA-10: A request to approve a 4% upper story transparency along the West building elevation.

DA-11: A request to approve an alternate to the principal entrance location requirement.

DA-13: A request to approve E.I.F.S as a primary material.



TARHEEL LODGING REDEVELOPMENT

Typical Prototype

Atma Hotel Group

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① FRONT "SOUTH" ELEVATION (ENTRANCE/PARKING/DROP-OFF FACADE)
A1 1/4" = 1'-0"

MATERIALS:

- ① DARK GREY E.I.F.S
- ② LIGHT GREY ALUMINUM HVAC LOUVER SCREENING PTAC
- ③ SIMULATED WOOD PANEL
- ④ GREY ALUMINUM WINDOW WITHOUT LOUVER
- ⑤ LIGHT GREY ALUMINUM STOREFRONT WINDOW
- ⑥ GREY ALUMINUM WINDOW WITH INTEGRAL HVAC LOUVER SCREENING PTAC
- ⑦ LIGHT GREY ALUMINUM COPING
- ⑧ MEDIUM LIGHT GREY E.I.F.S
- ⑨ MEDIUM DARK GREY E.I.F.S
- ⑩ MODULAR RED / BROWN BRICK VENEER
- ⑪ DARK GREY ALUMINUM COPING
- ⑫ OFF WHITE E.I.F.S
- ⑬ DARK GREY ALUMINUM CANOPY

MATERIAL CALCULATIONS:

- GLAZING / OPENINGS - 34%
- DARK GREY E.I.F.S - 15%
- MEDIUM LIGHT GREY E.I.F.S - 14%
- MEDIUM DARK GREY E.I.F.S - 6%
- MODULAR BRICK VENEER - 16%
- OFF WHITE E.I.F.S - 15%



PRELIMINARY
SCHEMATIC DESIGN

OWNER SET #0
FRANCHISE SET #0
BID SET #0
BUILDING DEPT #0
FIRE MARSHAL #0
HEALTH DEPT #0

ISSUE DATE: 09.29.17

Fordham Blvd,
Chapel Hill, North Carolina

REVISION	NO.	DATE	COMMENTS	DATE
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1 SIDE "EAST" ELEVATION
A2 1/4" = 1'-0"

MATERIALS:

- ① DARK GREY E.I.F.S
- ② LIGHT GREY ALUMINUM HVAC LOUVER SCREENING PTAC
- ③ SIMULATED WOOD PANEL
- ④ GREY ALUMINUM WINDOW WITHOUT LOUVER
- ⑤ LIGHT GREY ALUMINUM STOREFRONT WINDOW
- ⑥ GREY ALUMINUM WINDOW WITH INTEGRAL HVAC LOUVER SCREENING PTAC
- ⑦ LIGHT GREY ALUMINUM COPING
- ⑧ MEDIUM LIGHT GREY E.I.F.S
- ⑨ MEDIUM DARK GREY E.I.F.S
- ⑩ MODULAR RED / BROWN BRICK VENEER
- ⑪ DARK GREY ALUMINUM COPING
- ⑫ OFF WHITE E.I.F.S
- ⑬ DARK GREY ALUMINUM CANOPY

MATERIAL CALCULATIONS:

- GLAZING / OPENINGS - 7%
- DARK GREY E.I.F.S - 20%
- MEDIUM LIGHT GREY E.I.F.S - 14%
- MEDIUM DARK GREY E.I.F.S - 0%
- MODULAR BRICK VENEER - 27%
- OFF WHITE E.I.F.S - 32%



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SCHEMATIC DESIGN

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FRANCHISE SET	#0
BID SET	#0
BUILDING DEPT	#0
FIRE MARSHAL	#0
HEALTH DEPT	#0

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1 REAR "NORTH" ELEVATION (FORDHAM BLVD. FACADE)
A3 1/4" = 1'-0"

MATERIALS:

- ① DARK GREY E.I.F.S
- ② LIGHT GREY ALUMINUM HVAC LOUVER SCREENING PTAC
- ③ SIMULATED WOOD PANEL
- ④ GREY ALUMINUM WINDOW WITHOUT LOUVER
- ⑤ LIGHT GREY ALUMINUM STOREFRONT WINDOW
- ⑥ GREY ALUMINUM WINDOW WITH INTEGRAL HVAC LOUVER SCREENING PTAC
- ⑦ LIGHT GREY ALUMINUM COPING
- ⑧ MEDIUM LIGHT GREY E.I.F.S
- ⑨ MEDIUM DARK GREY E.I.F.S
- ⑩ MODULAR RED / BROWN BRICK VENEER
- ⑪ DARK GREY ALUMINUM COPING
- ⑫ OFF WHITE E.I.F.S
- ⑬ DARK GREY ALUMINUM CANOPY

MATERIAL CALCULATIONS:

- GLAZING / OPENINGS - 37%
- DARK GREY E.I.F.S - 5%
- MEDIUM LIGHT GREY E.I.F.S - 16%
- MEDIUM DARK GREY E.I.F.S - 4%
- MODULAR BRICK VENEER - 23%
- OFF WHITE E.I.F.S - 15%



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SCHEMATIC DESIGN

OWNER SET #0
FRANCHISE SET #0
BID SET #0
BUILDING DEPT #0
FIRE MARSHAL #0
HEALTH DEPT #0

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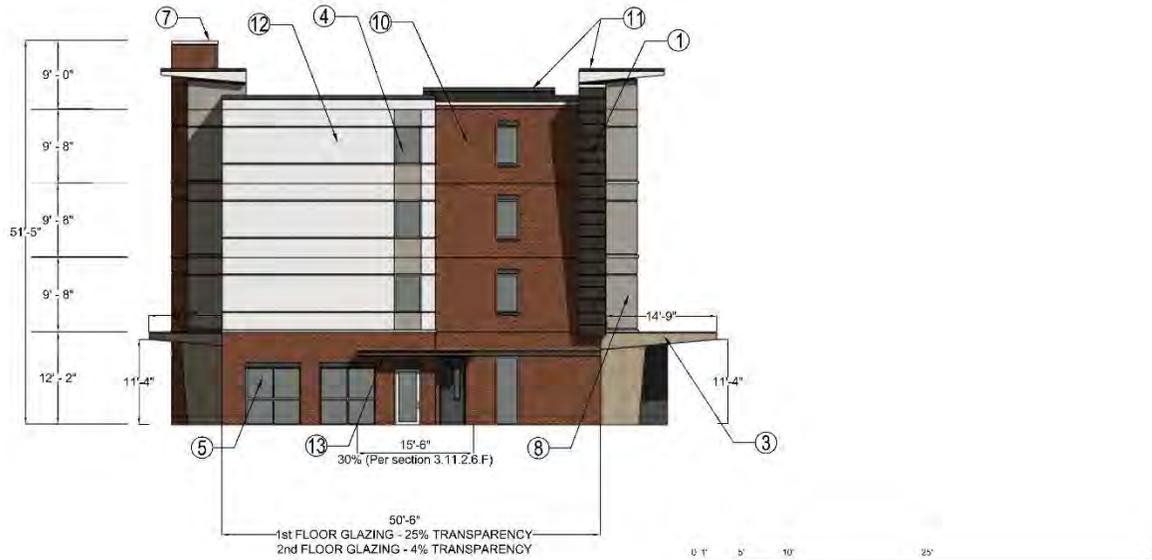
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1 SIDE "WEST" ELEVATION (HILLSTONE STREET FACADE)
1/4" = 1'-0"

MATERIALS:

- ① DARK GREY E.I.F.S
- ② LIGHT GREY ALUMINUM HVAC LOUVER SCREENING PTAC
- ③ SIMULATED WOOD PANEL
- ④ GREY ALUMINUM WINDOW WITHOUT LOUVER
- ⑤ LIGHT GREY ALUMINUM STOREFRONT WINDOW
- ⑥ GREY ALUMINUM WINDOW WITH INTEGRAL HVAC LOUVER SCREENING PTAC
- ⑦ LIGHT GREY ALUMINUM COPING
- ⑧ MEDIUM LIGHT GREY E.I.F.S
- ⑨ MEDIUM DARK GREY E.I.F.S
- ⑩ MODULAR RED / BROWN BRICK VENEER
- ⑪ DARK GREY ALUMINUM COPING
- ⑫ OFF WHITE E.I.F.S
- ⑬ DARK GREY ALUMINUM CANOPY

MATERIAL CALCULATIONS:

- GLAZING / OPENINGS - 11%
- DARK GREY E.I.F.S - 5%
- MEDIUM LIGHT GREY E.I.F.S - 14%
- MEDIUM DARK GREY E.I.F.S - 0%
- MODULAR BRICK VENEER - 41%
- OFF WHITE E.I.F.S - 29%



PRELIMINARY
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OWNER SET #0
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1 FORDHAM BLVD. FACADE RENDERED VIEW
A5 1/4" = 1'-0"

PRELIMINARY
SCHEMATIC DESIGN

OWNER SET #0
FRANCHISE SET #0
BID SET #0
BUILDING DEPT #0
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1 STREET PLAZA RENDERED VIEW
A6 1/4" = 1'-0"



122 - B W. BLAND ST
CHARLOTTE, NC 28203
TEL : 704 . 344 . 9098

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SCHEMATIC DESIGN

OWNER SET #0
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FIRE MARSHAL #0
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ALL DESIGN, DRAWINGS AND SPECIFICATIONS

1 FRONT ELEVATION RENDERED VIEW
A7 1/4" = 1'-0"

PRELIMINARY
SCHEMATIC DESIGN

- OWNER SET #0
- FRANCHISE SET #0
- BID SET #0
- BUILDING DEPT #0
- FIRE MARSHAL #0
- HEALTH DEPT #0

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1 AMENITY RENDERED VIEW
A8 1/4" = 1'-0"

PRELIMINARY
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OWNER SET #0
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BUILDING DEPT #0
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DARK GREY EIFS



MEDIUM DARK GREY EIFS



MEDIUM LIGHT GREY EIFS



SIMULATED WOOD PANEL



GREY ALUMINUM WINDOW W/O LOUVER



DARK GREY ALUMINUM CANOPY

1 MATERIAL STUDY
A9 1/4" = 1'-0"

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PRELIMINARY
SCHEMATIC DESIGN

- OWNER SET #0
- FRANCHISE SET #0
- BID SET #0
- BUILDING DEPT #0
- FIRE MARSHAL #0
- HEALTH DEPT #0

ISSUE DATE: 09.29.17

Fordham Blvd,
Chapel hill, North Carolina

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TRU by Hilton
Design Alternate - 8



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OFF WHITE EFIS



DARK GREY ALUMINUM COPING



LIGHT GREY ALUMINUM COPING



GREY ALUMINUM WINDOW W/ INTEGRAL HVAC LOUVER



MODULAR RED/BROWN BRICK VENEER



LIGHT GREY ALUMINUM HVAC LOUVER



LIGHT GREY ALUMINUM STOREFRONT WINDOW

1 MATERIAL STUDY
A10 1/4" = 1'-0"

PRELIMINARY
SCHEMATIC DESIGN

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Chapel Hill, North Carolina

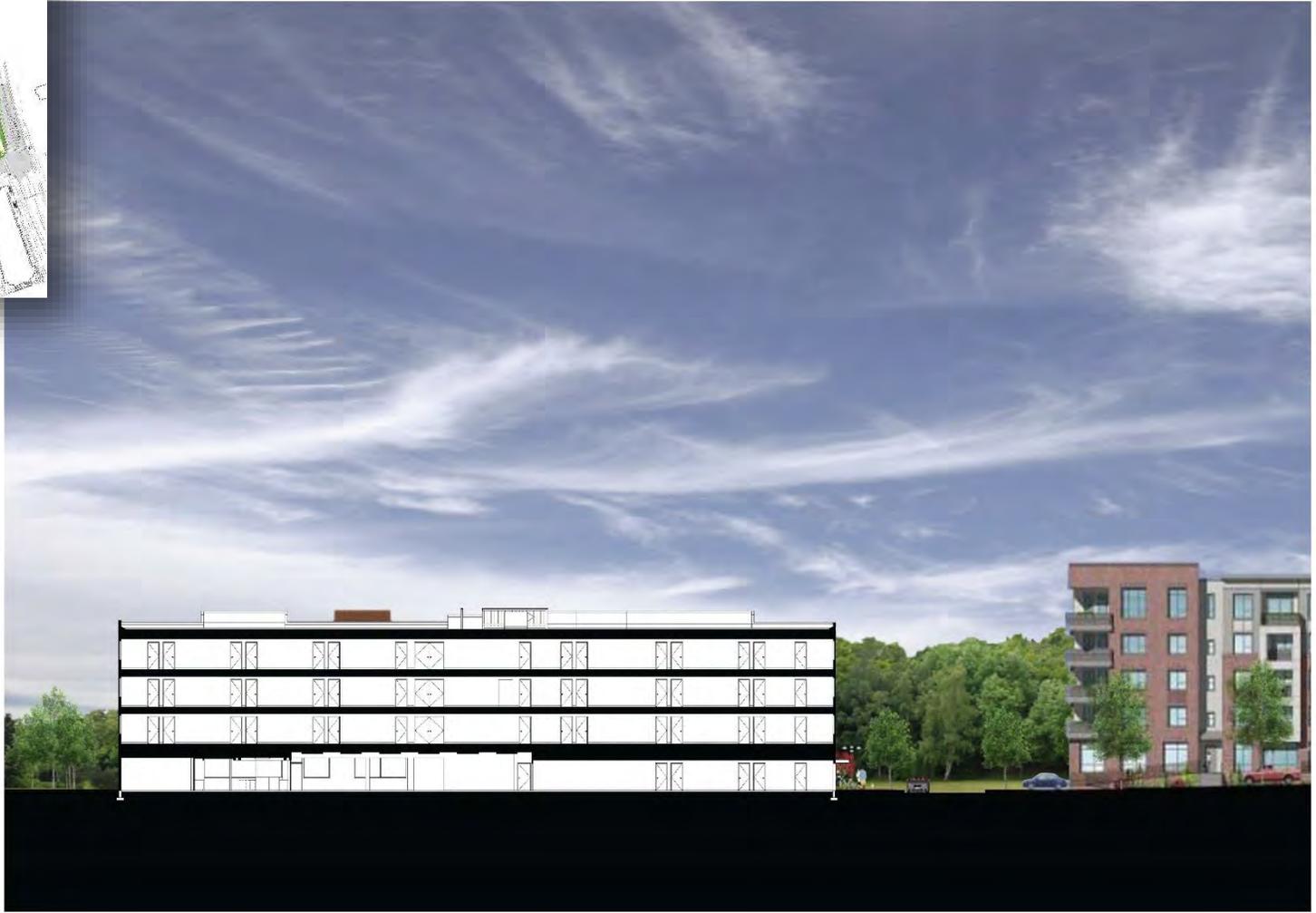
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1 CROSS SITE SECTION
A11



PRELIMINARY
SCHEMATIC DESIGN

OWNER SET #0
FRANCHISE SET #0
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BUILDING DEPT #0
FIRE MARSHAL #0
HEALTH DEPT #0

ISSUE DATE: 09.29.17

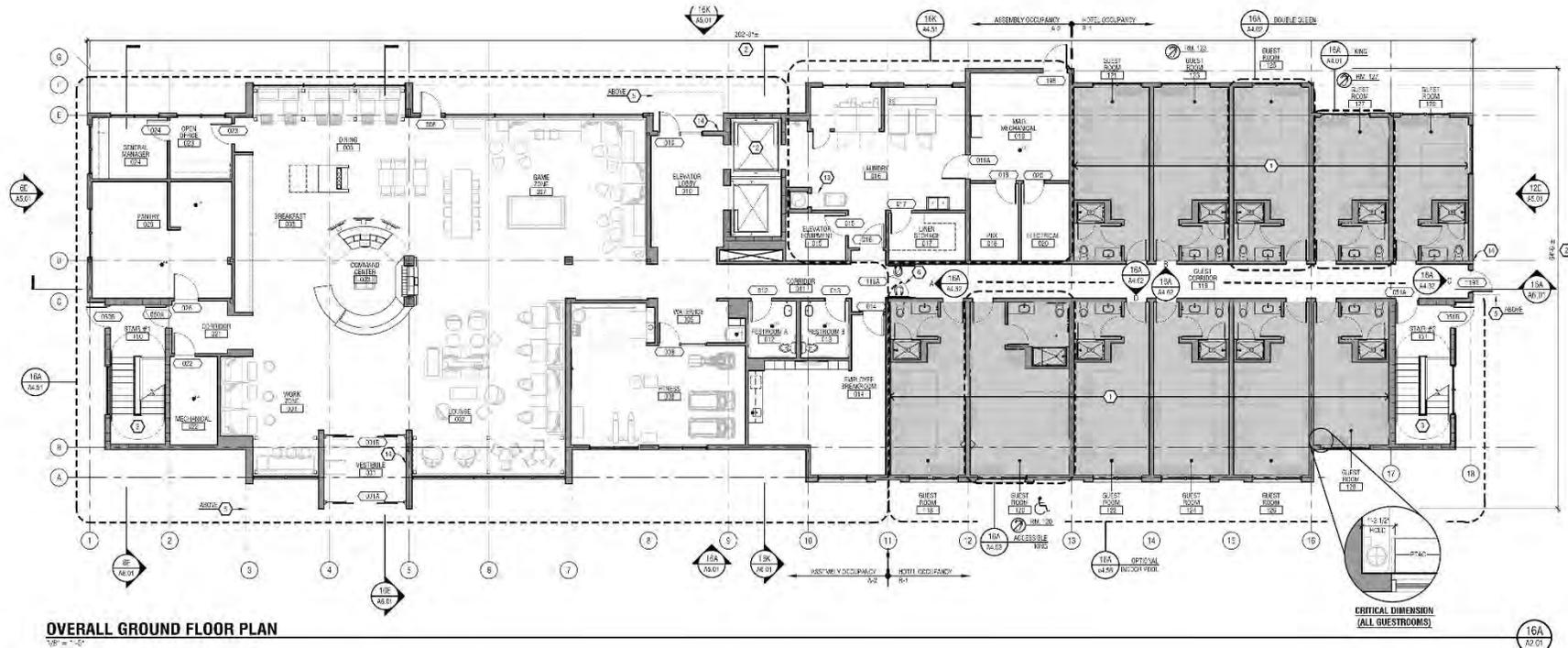
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OVERALL GROUND FLOOR PLAN
1/8" = 1'-0"

1 PROTOTYPICAL FLOOR PLANS
A12 1/4" = 1'-0"

PRELIMINARY
SCHEMATIC DESIGN

OWNER SET #0
FRANCHISE SET #0
BID SET #0
BUILDING DEPT #0
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HEALTH DEPT #0

ISSUE DATE: 09.29.17

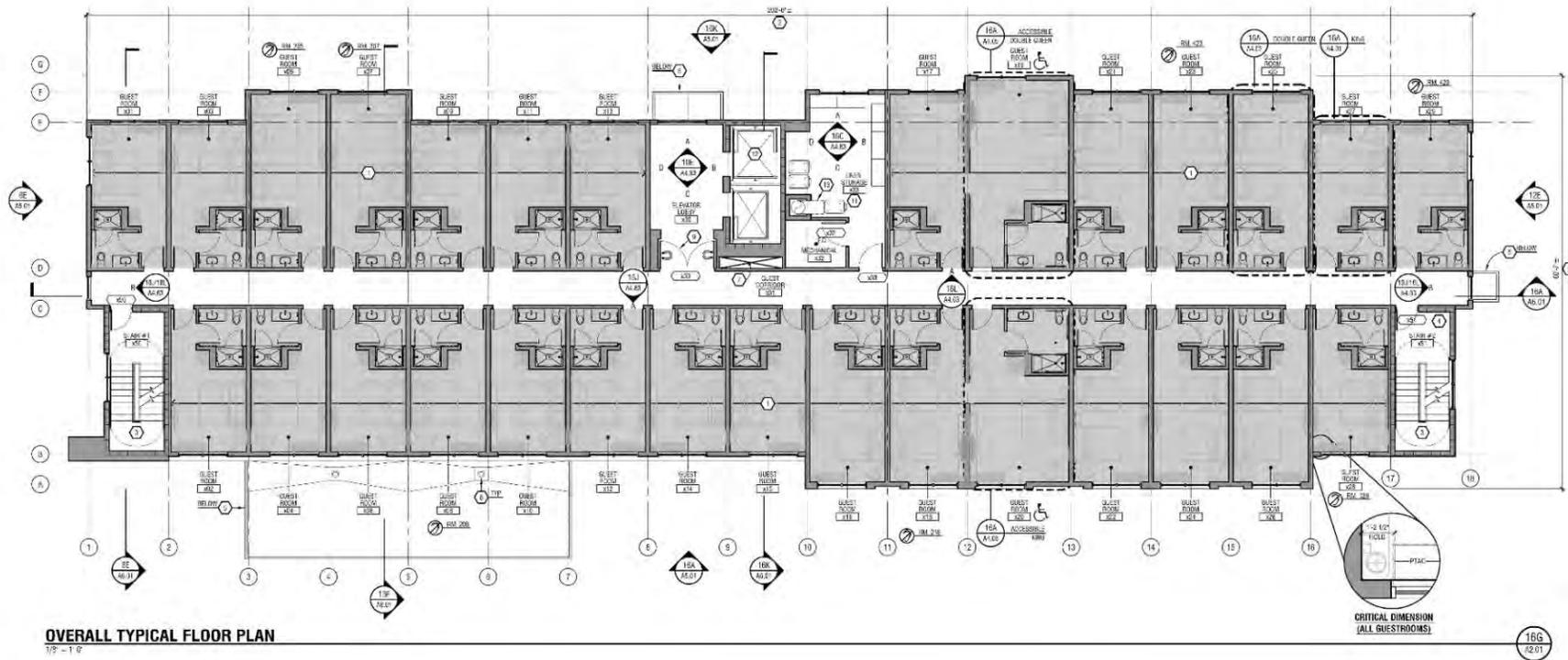
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1
A13
1/4" = 1'-0"

PRELIMINARY
SCHEMATIC DESIGN

OWNER SET #0
FRANCHISE SET #0
BID SET #0
BUILDING DEPT #0
FIRE MARSHAL #0
HEALTH DEPT #0

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1 CROSS SITE ELEVATION
A14

TARHEEL LODGING REDEVELOPMENT

Atma Hotel Group

PRELIMINARY
SCHEMATIC DESIGN

OWNER SET #0
FRANCHISE SET #0
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BUILDING DEPT #0
FIRE MARSHAL #0
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SOUTH

EXAMPLE CONCRETE PARKING GARAGE; PLACED ON NOVUS LANE NEXT TO HOTEL.
SIMPLE CABLE BARRIER ON HOTEL FACING SIDE ONLY.



EAST



NORTH



WEST

1
A15 BUILDING, DUMPSTER ENCLOSURE, AND PARKING GARAGE ELEVATIONS



DUMPSTER ROOM ENCLOSURE COLORED TO MATCH DARK GREY EFIS AND BLACK BRICK.
GATE MATERIAL - DARK GREY METAL;
ENCLOSURE WALLS - BLACK BRICK.



NOTE: 2-STORY PARKING DECK IS PROPOSED AS AN ALTERNATE. OWNER MAY OPT TO ELIMINATE THE SECOND STORY DECK (74 SPACES) SUBJECT TO THE APPROVAL OF THE TOWN MANAGER FOR A PARKING REDUCTION FOR SHARED PARKING WITH THE MULTI-FAMILY PARKING DECK.

0' 1' 5' 10' 25' 50' 100'

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Phase-II



Office – Phase-II

Elevations & Materials



Building 2 – Elevation 1 – Novus Lane



Building 2 – Elevation 2 – Street 2





FROM '13

Multi-Family – Phase-II

Elevations & Materials



Building 3 Elevation 1 – Street 1





Building 3 Elevation 2 – Novus Lane



Building 3 Elevation 3 – Novus Lane



Building 3 Elevation 4 – Street 2





Building 4 Elevation 1 – Street 1



Building 4 Elevation 2 – Street 1





Building 5 Elevation 1 – Street 2



Building 5 Elevation 2 – Novus Lane



Building 5 Elevation 3 - Legion Road



Building Design Alternatives Summary

DA-14: Exception to Ground Floor Elevation Requirement

DESIGN ALTERNATIVE – 14 / Exception to Ground Floor Elevation Requirement

FBC Requirement:

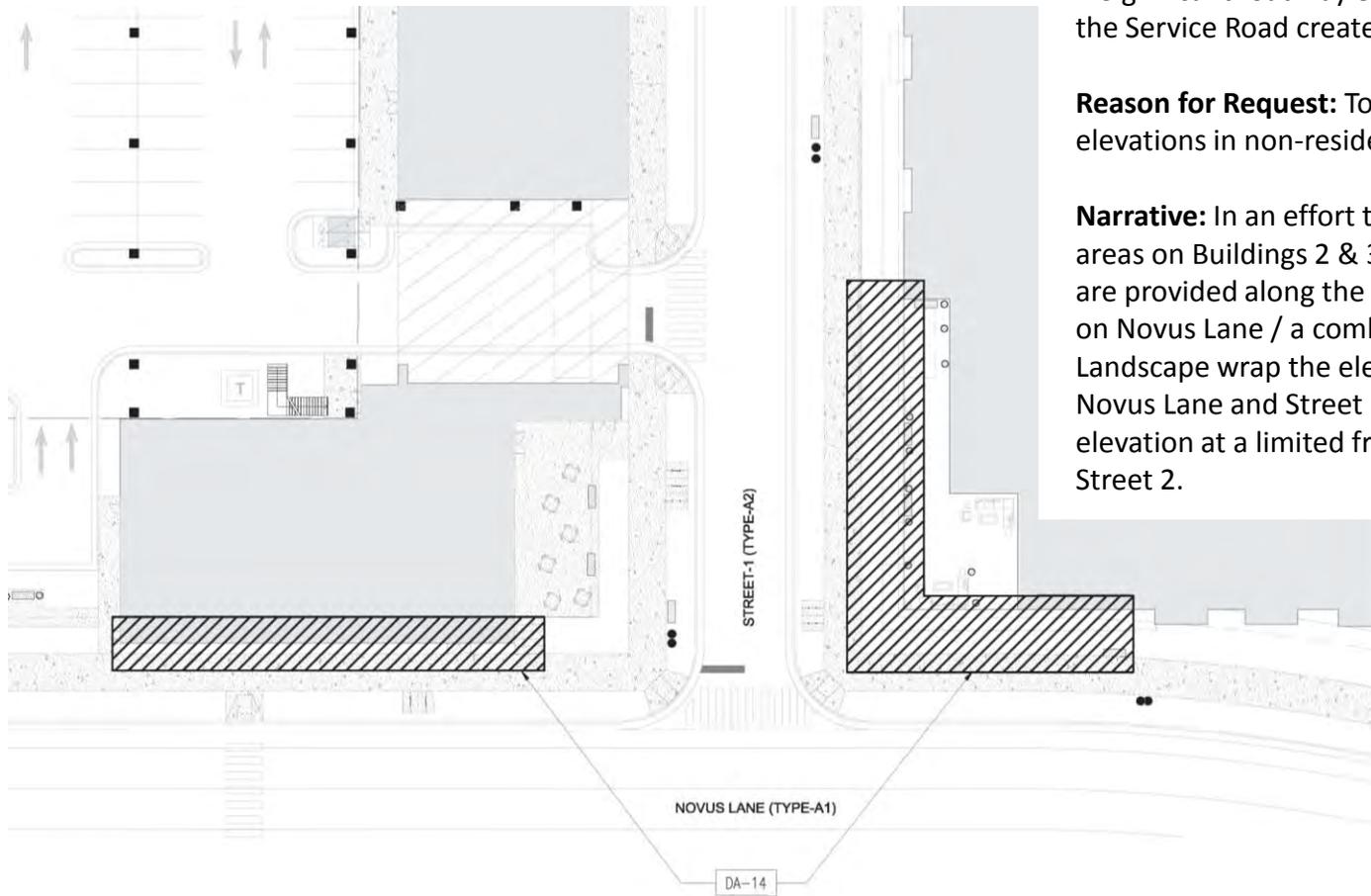
Sect. 3.11.2.4.3.H Ground Floor Elevation for non-residential uses shall be a minimum of 0 ft and a maximum of 2 ft above the sidewalk elevation.

Site Constraints:

- i-Grade elevations vary substantially across the site – Twenty feet (20 ft) in both north/south and east/west site sections.
- ii-Significant roadway elevation changes at Novus Lane between Legion Road and the Service Road create sloped roadway elevations on Street 1 and Street 2.

Reason for Request: To maintain uniformity consistent and functional ground floor elevations in non-residential spaces in Buildings 2 & 3.

Narrative: In an effort to mitigate the disparity in floor and sidewalk elevations in areas on Buildings 2 & 3, pedestrian friendly Brick Landscape Planters, seat walls are provided along the full length of the elevated foundation of Building 2 frontage on Novus Lane / a combination of Brick Landscape Planters and Enhanced Landscape wrap the elevation foundation wrapping the corner of building 3 at Novus Lane and Street 1. Enhanced Landscape is provided at the depressed floor elevation at a limited frontage of Building 3 at the entrance to the parking deck at Street 2.





FROMM '18



Fromm '18



FROMM '13