

	REQUIRED	PROPOSED
MIN. LOT AREA:	17,000 SF	126,176 SF
MIN. LOT FRONTAGE	64 FT	>64 FT
MIN. LOT WIDTH	80 FT	>80 FT
MAX. BUILDING HEIGHT	29 FT (PRIMARY) 40 FT (SECONDARY)	<29 FT (PRIMARY) <36 FT (EXISTING)
MAX. FLOOR AREA RATIO	EXISTING	EXISTING
MAX. LOT COVERAGE	(0.7)(138,794)=97,156 SF	28,234 SF (22.38% IMPERVIOUS)
BUILDING SETBACK		
MIN. FRONT STREET YARD SETBACK	28 FT	41.69 FT (MIN. EXIST.)
MIN. SIDE YARD SETBACK	14 FT	N/A
MIN. SOLAR (NORTHERN REAR) YARD SETBACK	17 FT	93.1 FT (EXIST.)
BUFFER YARD SETBACK		
MIN. FRONT YARD SETBACK	N/A	N/A
MIN. SIDE YARD SETBACK	20 FT	20 FT
MIN. REAR YARD SETBACK	N/A	N/A
VEHICLE PARKING		
VEHICLE PARKING	36 (EXISTING)	36 (EXISTING)
BICYCLE PARKING		
BICYCLE PARKING	8	8
TOTAL IMPERVIOUS AREA (OF GLA)		
IMPERVIOUS AREA INCREASE	97,156 SF MAX./25,850 SF (EXISTING)	28,234 SF (20.34%)
TOTAL LAND DISTURBANCE AREA		7,721 SF (6.61% PROPOSED) 20,144 SF (15.97% TOTAL)
SLOPE CATEGORY		
	DELINEATED AREAS	DISTURBED AREAS
0% TO 10%	66,800 SF (52.9%)	3,962 SF (61.31%)
10.01% TO 15%	38,014 SF (30.2%)	1,631 SF (21.12%)
15.01% TO 25%	12,403 SF (9.8%)	1,533 SF (19.86%)
25.01% & GREATER	8,959 SF (7.1%)	995 SF (7.71%)
GROSS LAND AREA (GLA)	126,176 sf x 1.10 = 138,794 sf	

ST. THOMAS MORE - SOUTH CAMPUS - PHASE I

ADMINISTRATIVE ZONING COMPLIANCE PERMIT PLANS

REDEVELOPMENT OF SOUTH CAMPUS

632 LAUREL HILL ROAD, CHAPEL HILL, N.C.
CHAPEL HILL, ORANGE COUNTY, NORTH CAROLINA

2018-07-31

REVISED: 2018-11-09

PREPARED FOR:

OWNER/DEVELOPER

THE CATHOLIC COMMUNITY OF ST. THOMAS MORE

940 CARMICHAEL STREET
CHAPEL HILL, NC 27514

SHEET LIST TABLE				
SHEET	PAGE	DESCRIPTION	DATE SUBMITTED	DATE REVISED
CS0001	1	COVER SHEET	7/31/2018	11/9/2018
CS0002	2	GENERAL NOTES AND LEGEND	7/31/2018	11/9/2018
CS0201	3	EXISTING CONDITIONS	7/31/2018	11/9/2018
CS0202	4	SLOPE ANALYSIS MAP	7/31/2018	11/9/2018
CS0501	5	DEMOLITION PLAN	7/31/2018	11/9/2018
CS1001	6	SITE PLAN	7/31/2018	11/9/2018
CS1501	7	GRADING & DRAINAGE PLAN	7/31/2018	11/9/2018
CS2001	8	LANDSCAPE PLAN	7/31/2018	11/9/2018
CS6002	9	SITE DETAILS	7/31/2018	11/9/2018
CS6061	10	LANDSCAPE DETAILS	11/9/2018	11/9/2018
CS8001	11	EROSION CONTROL PLAN	7/31/2018	11/9/2018
CS8501	12	EROSION & SEDIMENT CONTROL DETAILS	7/31/2018	11/9/2018

ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND OWNER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK



ST. THOMAS MORE - SOUTH CAMPUS - PHASE I
632 LAUREL HILL ROAD
CHAPEL HILL, NC 27514

COVER SHEET

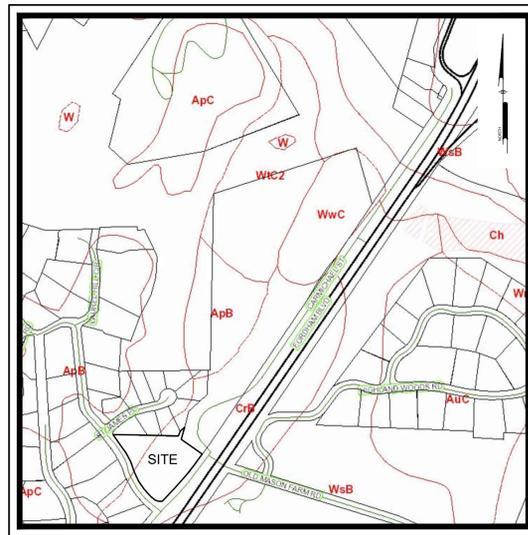
THE CATHOLIC COMMUNITY OF ST. THOMAS MORE
940 CARMICHAEL STREET
CHAPEL HILL, NC 27514

NO.	DATE	REVISIONS	BY
2	11/09/2018	Revised Per Chapel Hill Comments	CJJ
1	10/12/2018	Revised Per Chapel Hill Comments	CJJ

ALL DOCUMENTS PREPARED BY PENNONI ASSOCIATES ARE INSTRUMENTS OF SERVICE IN RESPECT OF THE PROJECT. THEY ARE NOT INTENDED OR REPRESENTED TO BE SUITABLE FOR REUSE BY OWNER OR OTHERS ON THE EXTENSIONS OF THE PROJECT OR ON ANY OTHER PROJECT. ANY REUSE WITHOUT WRITTEN VERIFICATION OR ADAPTATION BY PENNONI ASSOCIATES FOR THE SPECIFIC PURPOSE INTENDED WILL BE AT OWNERS SOLE RISK AND WITHOUT LIABILITY OR LEGAL EXPOSURE TO PENNONI ASSOCIATES. AND OWNER SHALL INDEMNIFY AND HOLD HARMLESS PENNONI ASSOCIATES FROM ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES ARISING OUT OF OR RESULTING THEREFROM.

PROJECT	TMCC1701
DATE	2018-07-31
DRAWING SCALE	AS SHOWN
DRAWN BY	CJJ
APPROVED BY	PCB

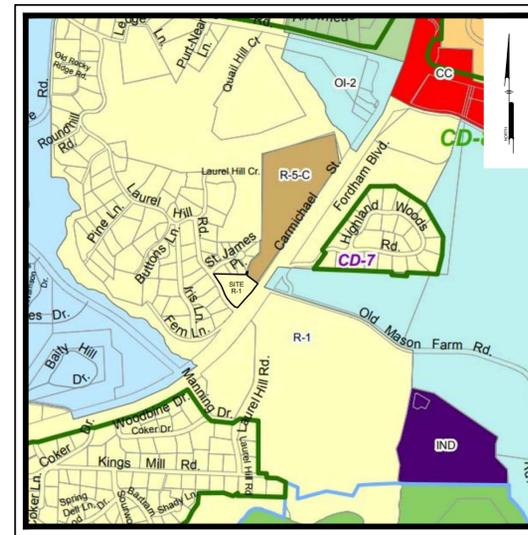
CS0001
SHEET 1 OF 12



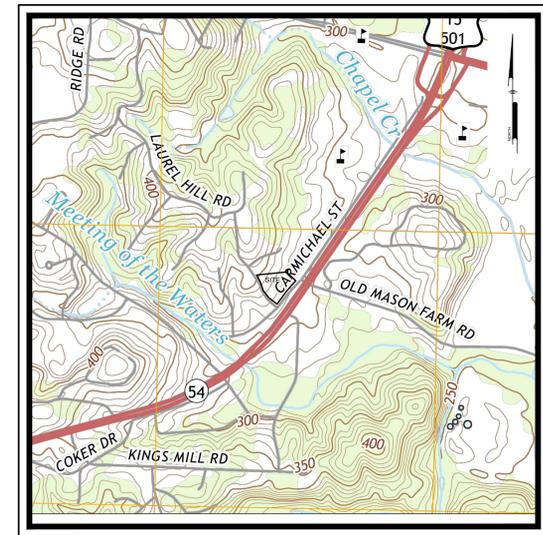
SOILS MAP
Scale: 1" = 500'



LOCATION MAP
Scale: 1" = 1000'



ZONING MAP
Scale: 1" = 1,000'



USGS MAP
Scale: 1" = 1,000'

PREPARED BY:
PENNONI ASSOCIATES INC.



Firm License
F-1267

5430 Wade Park Blvd. #106
Raleigh, NC 27607
T 919.929.1173
F 919.493.6548



PRELIMINARY
NOT FOR CONSTRUCTION

LEGEND		
EXISTING	PROPOSED	DESCRIPTION
		CABLE TV, JUNCTION BOX
		CABLE TV, MANHOLE
		CABLE TV, OVERHEAD
		CABLE TV, PANEL BOX
		CABLE TV, PEDESTAL
		CABLE TV, STUB OUT
		CABLE TV, UNDERGROUND
		CABLE TV, WITNESS POST
		CHANNEL
		COMMUNICATION, HANDHOLE
		COMMUNICATION, JUNCTION BOX
		COMMUNICATION, MANHOLE
		COMMUNICATION, OVERHEAD
		COMMUNICATION, PANEL BOX
		COMMUNICATION, PEDESTAL
		COMMUNICATION, STUB OUT
		COMMUNICATION, UNDERGROUND
		COMMUNICATION, WITNESS POST
		CONTROL, BENCHMARK
		CONTROL, GPS
		CONTROL, MAPPING
		CONTROL, REFERENCE
		CONTROL, TRAVERSE
		CURB
		CURB DEPRESSION
		EDGE OF PAVEMENT
		EDGE OF GRAVEL
		EASEMENT
		FENCE
		FIBER OPTIC, HANDHOLE
		FIBER OPTIC, JUNCTION BOX
		FIBER OPTIC, MANHOLE
		FIBER OPTIC, OVERHEAD
		FIBER OPTIC, PANEL BOX
		FIBER OPTIC, PEDESTAL
		FIBER OPTIC, STUB OUT
		FIBER OPTIC, UNDERGROUND
		FIBER OPTIC, WITNESS POST
		FLOODPLAIN
		FUEL, MANHOLE
		FUEL, OVERHEAD
		FUEL, PLUG
		FUEL, PUMP
		FUEL, UNDERGROUND
		GUIDE RAIL
		LIMITS OF DISTURBANCE
		MARKING, HANDICAP PARKING
		NATURAL GAS, METER
		NATURAL GAS, MANHOLE
		NATURAL GAS, OVERHEAD
		NATURAL GAS, STUB OUT
		NATURAL GAS, UNDERGROUND
		NATURAL GAS, WITNESS POST
		PHONE, HANDHOLE
		PHONE, JUNCTION BOX
		PHONE, MANHOLE
		PHONE, OVERHEAD
		PHONE, PANEL BOX
		PHONE, PEDESTAL
		PHONE, STUB OUT
		PHONE, UNDERGROUND
		PHONE, WITNESS POST
		POWER, GUY POLE
		POWER, GUY WIRE
		POWER, HANDHOLE
		POWER, JUNCTION BOX
		POWER, SINGLE HEAD LIGHT
		POWER, DOUBLE HEAD LIGHT
		POWER, THREE HEAD LIGHT
		POWER, FOUR HEAD LIGHT
		POWER, LIGHT
		POWER, SPOT LIGHT
		POWER, LIGHT POLE SINGLE
		POWER, LIGHT POLE DOUBLE
		POWER, MANHOLE
		POWER, OVERHEAD
		POWER, METER
		POWER, PANEL BOX
		POWER, PEDESTAL
		POWER, STUB OUT
		POWER, TRANSFORMER
		POWER, UNDERGROUND
		POWER, UTILITY POLE
		POWER, WITNESS POST
		POWER, YARD LIGHT
		PROPERTY, LINE
		LEGAL RIGHT-OF-WAY
		PROPERTY, CORNER FOUND
		PROPERTY, CORNER FOUND (OTHERS)
		PROPERTY, CONCRETE MONUMENT
		PROPERTY, ADJOINING LINED
		PROPERTY, LINE RESERVED
		RAIL, MILE MARKER
		RAIL, PANEL BOX
		RAIL, TRACK
		SITE, AIR COMPRESSOR
		SITE, AIR CONDITIONER
		SITE, BOLLARD
		SITE, BORING LOCATION
		BUILDING
		SITE, FLAG POLE
		SITE, HEAD STONE
		SITE, MAIL BOX
		SITE, MONITOR WELL
		SITE, PARKING METER
		SITE, POST
		SITE, SIGN POST AND BOARD
		SITE, TRAFFIC SIGN
		SOIL BOUNDARY
		SOIL LABEL

GENERAL NOTES:

- APPLICANT: THE CATHOLIC COMMUNITY OF ST. THOMAS MORE, 940 CARMICHAEL STREET, CHAPEL HILL, NC 27514. RESPONSIBLE OFFICER: CARLOS LIMA.
- BOUNDARY:
 - BOUNDARY INFORMATION TAKEN FROM A PLAN ENTITLED, "BOUNDARY SURVEY, ALDERSGATE METHODIST CHURCH, 652 LAUREL HILL RD., CHAPEL HILL, N.C." DATED JANUARY 2, 2018, AS PREPARED BY PENNONI ASSOCIATES.
 - EXISTING TOPOGRAPHICAL INFORMATION OBTAINED BY PENNONI ASSOCIATES BETWEEN SEPTEMBER 22, 2017 AND OCTOBER 3, 2017.
- UTILITY NOTES:
 - COMPLETENESS OR ACCURACY OF LOCATION AND DEPTH OF UNDERGROUND UTILITIES AND STRUCTURES IS NOT GUARANTEED.
 - LOCATION OF ALL EXISTING AND PROPOSED SERVICES ARE APPROXIMATE AND SHALL BE CONFIRMED INDEPENDENTLY WITH LOCAL UTILITY COMPANIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION. SANITARY SEWER AND ALL OTHER UTILITY SERVICE CONNECTION POINTS SHALL BE CONFIRMED INDEPENDENTLY BY THE CONTRACTOR IN THE FIELD PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. ALL DISCREPANCIES SHALL BE REPORTED IMMEDIATELY IN WRITING TO THE ENGINEER. CONSTRUCTION SHALL COMMENCE BEGINNING AT THE LOWEST INVERT (POINT OF CONNECTION) AND PROGRESS UP GRADIENT. PROPOSED INVERT POINTS (CROSSINGS) WITH EXISTING UNDERGROUND UTILITIES SHALL BE FIELD VERIFIED BY TEST PIT PRIOR TO COMMENCEMENT OF CONSTRUCTION.
 - ALL UTILITIES AND SERVICES INCLUDING BUT NOT LIMITED TO GAS, WATER, ELECTRIC, SANITARY AND STORM SEWER, TELEPHONE, CABLE, FIBER OPTIC, ETC. WITHIN THE LIMITS OF DISTURBANCE SHALL BE VERTICALLY AND HORIZONTALLY LOCATED. THE CONTRACTOR SHALL USE AND COMPLY WITH THE REQUIREMENTS OF THE APPLICABLE UTILITY NOTIFICATION SYSTEM TO LOCATE ALL THE UNDERGROUND UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRS OF DAMAGE TO ANY EXISTING UTILITIES DURING CONSTRUCTION AT NO COST TO THE OWNER.
- AS SHOWN ON THE FLOOD INSURANCE RATE MAP FOR ORANGE COUNTY, NC, MAP #4371097880K, EFFECTIVE DATE 11/11/2017 THE SITE AREA PROPOSED TO BE DEVELOPED LIES WITHIN "ZONE X" DEFINED AS AREAS DETERMINED TO BE OUTSIDE THE 100 YEAR FLOOD PLAN.
- FIRE WATCH: DURING CONSTRUCTION AND DEMOLITION WHERE HOT WORK, MATERIALS SUBJECT TO SPONTANEOUS COMBUSTION, OR OTHER HAZARDOUS CONSTRUCTION OR DEMOLITION IS OCCURRING THE OWNER OR THE DESIGNER SHALL BE RESPONSIBLE FOR MAINTAINING A FIRE WATCH. THE FIRE WATCH SHALL CONSIST OF AT LEAST ONE PERSON WITH A MEANS OF COMMUNICATING AN ALARM TO 911, SHALL A WRITTEN ADDRESS POSTED IN A CONSPICUOUS LOCATION AND SHALL MAINTAIN CONSTANT PATROLS. NO FPC 2012 SECTION 1404.
- CONSTRUCTION / DEMOLITION: ALL CONSTRUCTION AND DEMOLITION CONDUCTED SHALL BE IN COMPLIANCE OF THE CURRENT EDITION OF CHAPTER 14 OF THE NC FPC.
- PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY APPLICANT SHALL REPLACE ANY TREES SHOWN AS PRESERVED-PROTECTED ON THE LANDSCAPE PROTECTION PLAN THAT HAVE DIED OR ARE IN POOR HEALTH AS A RESULT OF LAND DISTURBING ACTIVITIES.
 - PREVIOUSLY APPROVED SITE DISTURBANCE: 12,393 SQ FT.
 - PROPOSED PHASE 1 SITE DISTURBANCE: 12,393 SQ FT.
 - BUFFER PLANTING DISTURBANCE: 648 SF (NOT INCLUDED IN 8B ABOVE)
 - TOTAL LAND DISTURBANCE: 20,114 SQ FT.
- ARCHITECTURAL INFORMATION PROVIDED TO PENNONI BY LITTLE DIVERSIFIED ARCHITECTURAL CONSULTING ON 09/17/2018.

LEGEND		
EXISTING	PROPOSED	DESCRIPTION
		SANITARY SEWER, CLEAN-OUT
		SANITARY SEWER, FORCE MAIN
		SANITARY SEWER, FORCE MAIN MANHOLE
		SANITARY SEWER, FORCE STUB OUT
		SANITARY SEWER, LATERAL
		SANITARY SEWER, MANHOLE
		SANITARY SEWER, UNDERGROUND (4\"/>
		SANITARY SEWER, SEPTIC TANK
		SANITARY SEWER, STUB OUT
		SANITARY SEWER, VALVE
		SANITARY SEWER, WITNESS POST
		STREAM
		STORM SEWER, INLET
		STORM SEWER, HEADWALL
		STORM SEWER, MANHOLE
		STORM SEWER, UNDERGROUND
		STORM SEWER, DOWNSPOUT LOCATION
		STORM SEWER, ROOF DRAIN LINE
		STORM SEWER, STAND PIPE
		STORM SEWER, CLEAN-OUT
		STORM SEWER, WITNESS POST
		MINOR CONTOUR
		MAJOR CONTOUR
		SPOT ELEVATION
		TO BE REMOVED
		TRAFFIC, PAVEMENT MARKING, BIKE LANE
		TRAFFIC, PAVEMENT MARKING, TURN ARROWS
		TRAFFIC, PAVEMENT MARKING, HOV LANE
		TRAFFIC, HAND HOLE
		TRAFFIC, JUNCTION BOX
		TRAFFIC, MANHOLE
		TRAFFIC, PANEL BOX
		TRAFFIC, PEDESTAL
		TRAFFIC, PEDESTRIAN SIGNAL
		TRAFFIC, SIGNAL POLE
		TRAFFIC, SIGNAL POLE & LIGHT ARM
		TRAFFIC, STUB OUT
		VEGETATION, SHRUB
		VEGETATION, GRASS LINE / LANDSCAPED AREA
		VEGETATION, DECIDUOUS SHOWING CANOPY
		VEGETATION, CONIFEROUS SHOWING CANOPY
		VEGETATION, TREE LINE
		WATER, HOSE BIB
		WATER, FIRE HYDRANT
		WATER, IRRIGATION HEAD
		WATER, IRRIGATION VALVE BOX
		WATER, MANHOLE
		WATER, METER
		WATER, POST INDICATOR VALVE
		WATER, SIAMESE CONNECTION
		WATER, STUB OUT
		WATER, UNDERGROUND
		WATER, UNDERGROUND FIRE
		WATER, VALVE
		WATER, WITNESS POST

GENERAL CONSTRUCTION AND GRADING NOTES:

- ALL WORK SHALL COMPLY WITH APPLICABLE STATE, FEDERAL AND LOCAL CODES AND OSHA STANDARDS. ALL NECESSARY LICENSES AND PERMITS SHALL BE OBTAINED BY THE CONTRACTOR AT HIS EXPENSE UNLESS PREVIOUSLY OBTAINED BY THE OWNER/DEVELOPER.
- THE CONTRACTOR SHALL BE REQUIRED TO REVIEW AND ABIDE BY SPECIFICATIONS OF THE PLAN AND ALL SUPPORTING DOCUMENTS, PERMITS, AND REPORTS FOR THIS SITE, INCLUDING BUT NOT LIMITED TO:
 - EROSION AND SEDIMENTATION CONTROL PLAN
 - STORMWATER MANAGEMENT PLAN
- THE CONTRACTOR SHALL IMMEDIATELY INFORM THE ENGINEER OF ANY DISCREPANCIES OR ERROR THEY DISCOVER IN THE PLANS.
- DEVIATION FROM THESE PLANS AND NOTES WITHOUT THE PRIOR CONSENT OF THE OWNER OR HIS REPRESENTATIVE OR THE ENGINEER MAY BE CAUSE OF THE WORK TO BE UNACCEPTABLE.
- UTILITY COORDINATION SHALL BE INCLUDED IN THE PROJECT SCHEDULE AND IT IS THE EXPLICIT RESPONSIBILITY OF THE CONTRACTOR TO ASSURE THAT THE PROJECT SCHEDULE INCLUDES THE NECESSARY RELOCATIONS. THE CONTRACTOR WILL NOT BE PAID ADDITIONALLY FOR THIS COORDINATION. THE CONTRACTOR SHOULD SEEK ASSISTANCE FROM ALL UTILITY COMPANIES TO LOCATE AND PROTECT THEIR FACILITIES. IF CONFLICTS ARE FOUND, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER AND DESIGN ENGINEER FOR INSTRUCTION BEFORE PROCEEDING WITH WORK.
- ALL MATERIALS SHALL BE NEW UNLESS USED OR SALVAGED MATERIALS ARE AUTHORIZED BY THE OWNER AND APPLICANT.
- TRAFFIC CONTROL METHODS, SUCH AS BARRICADES, SUFFICIENT LIGHTS, SIGNS, ETC., MAY BE NECESSARY FOR THE PROTECTION AND SAFETY OF THE PUBLIC SHALL BE PROVIDED AND MAINTAINED THROUGHOUT THE CONSTRUCTION IN ACCORDANCE WITH CURRENT AND NC DOT STANDARDS.
- CONTRACTOR SHALL FURNISH AND MAINTAIN ALL NECESSARY BARRICADES, FENCING AND OTHER APPROPRIATE SAFETY ITEMS/MEASURES NECESSARY TO PROTECT THE PUBLIC FROM THE WORK AREA CONSTRUCTION ACTIVITIES.
- HIGH INTENSITY LIGHTING FACILITIES SHALL BE SO ARRANGED THAT THE SOURCE OF ANY LIGHT IS CONCEALED FROM PUBLIC VIEW AND FROM ADJACENT RESIDENTIAL PROPERTY AND DOES NOT INTERFERE WITH TRAFFIC.
- THE CONTRACTOR SHALL MAINTAIN ACCESS FOR EMERGENCY VEHICLES AROUND AND ALL BUILDINGS NEAR CONSTRUCTION. IN TIME OF RAIN OR MUD, ROADS SHALL BE ABLE TO CARRY A FIRE TRUCK BY BEING PAVED OR HAVING A CRUSHED STONE BASE, ETC., WITH A MINIMUM WIDTH OF 20 FEET. ACCESS TO BUILDINGS THAT HAVE SPRINKLER OR STANDPIPE SYSTEMS SHALL BE WITHIN 40 FEET OF THE FIRE DEPARTMENT CONNECTOR. (NFPA 1141 3-1)
- BEDDING REQUIREMENTS SPECIFIED HEREIN ARE TO BE CONSIDERED AS MINIMUMS FOR RELATIVELY DRY, STABLE EARTH CONDITIONS. ADDITIONALLY BEDDING SHALL BE REQUIRED FOR ROCK TRENCHES AND WET AREAS. CONTRACTOR SHALL HAVE THE RESPONSIBILITY TO PROVIDE SUCH ADDITIONAL BEDDING AS MAY BE REQUIRED TO PROPERLY CONSTRUCT THE WORK.
- BACKFILL OF ALL TRENCHES SHALL BE COMPACTED TO THE DENSITY OF 95% OF THEORETICAL MAXIMUM DRY DENSITY (ASTM D698). BACKFILL MATERIAL SHALL BE FREE FROM ROCKS, STUMPS, OR OTHER FOREIGN DEBRIS AND SHALL BE PLACED IN LAYERS NOT TO EXCEED SIX (6) INCHES IN COMPACTED FILL THICKNESS. A REPORT FROM A GEOTECHNICAL ENGINEER MAY BE REQUIRED BY THE PUBLIC WORKS INSPECTOR. CORRECTION OF ANY TRENCH SETTLEMENT WITHIN A YEAR FROM THE DATE OF APPROVAL WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- THE CONTRACTOR WILL ENSURE THAT POSITIVE AND ADEQUATE DRAINAGE IS MAINTAINED AT ALL TIMES WITHIN THE PROJECT LIMITS. THIS MAY INCLUDE BUT NOT BE LIMITED TO: A) REPLACEMENT OR RECONSTRUCTION OF EXISTING DRAINAGE STRUCTURES THAT HAVE BEEN DAMAGED OR REMOVED, OR B) REGRADING AS REQUIRED BY THE ENGINEER, EXCEPT FOR THOSE DRAINAGE ITEMS SHOWN AT SPECIFIC LOCATIONS AND HAVING SPECIFIC NOTES IN THE DETAILED ESTIMATE. NO SEPARATE PAYMENT WILL BE MADE FOR ANY COSTS INCURRED TO COMPLY WITH THIS REQUIREMENT.
- THE CONTRACTOR SHALL PROVIDE ANY AND ALL EXCAVATION AND MATERIAL SAMPLES NECESSARY TO CONDUCT REQUIRED SOIL TESTS. ALL ARRANGEMENTS AND SCHEDULING FOR THE TESTING SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
- SOIL TESTING AND ON-SITE INSPECTION SHALL BE PERFORMED BY AN INDEPENDENT GEOTECHNICAL ENGINEER. A GEOTECHNICAL ENGINEER IS REQUIRED TO INSPECT, TEST AND CERTIFY TO THE COMPLETION OF ALL LOAD BEARING FILLS. THE GEOTECHNICAL ENGINEER SHALL PROVIDE COPIES OF TEST REPORTS TO THE CONTRACTOR, THE OWNER AND TO THE OWNER'S REPRESENTATIVE AND SHALL PROMPTLY NOTIFY THE OWNER, HIS REPRESENTATIVE AND THE CONTRACTOR, SHOULD WORK PERFORMED BY THE CONTRACTOR FAIL TO MEET THESE SPECIFICATIONS.
- ALL PERMITS MUST BE OBTAINED PRIOR TO THE START OF CONSTRUCTION.
- ALL PAVEMENT MARKINGS AND REGULATORY SIGNS ON PRIVATE PROPERTY SHALL CONFORM TO CURRENT MUTCD STANDARDS.

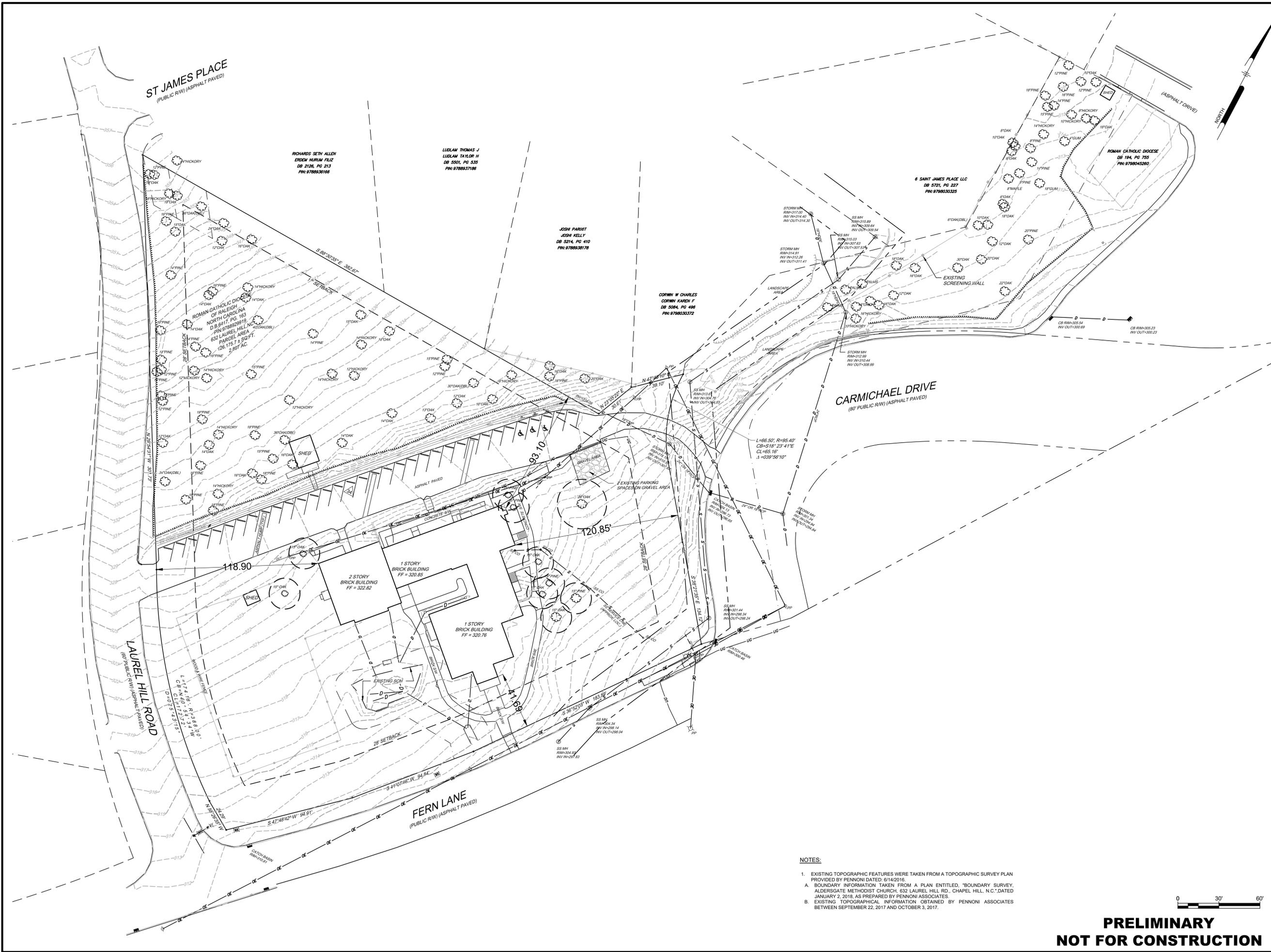
WATER AND SEWER SERVICE NOTES:

- HORIZONTAL AND VERTICAL SEPARATION**
 - SANITARY SEWERS SHALL BE LAID AT LEAST 10-FOOT HORIZONTALLY FROM ANY EXISTING OR PROPOSED WATER MAIN. THE DISTANCE SHALL BE MEASURED EDGE TO EDGE. IN CASES WHERE IT IS NOT PRACTICAL TO MAINTAIN A 10-FOOT SEPARATION, THE PUBLIC WORKS SUPPLY MAY ALLOW DEVIATION A CASE-BY-CASE BASIS, IF SUPPORTED BY DATA FROM THE DESIGN ENGINEER. SUCH DEVIATION MAY ALLOW THE INSTALLATION OF THE SANITARY SEWER CLOSER TO A WATER MAIN, PROVIDED THAT THE WATER MAIN IS IN A SEPARATE TRENCH OR ON AN UNDISTURBED EARTH SHELF LOCATED ON ONE SIDE OF THE SANITARY SEWER AND AT AN ELEVATION 50 THE BOTTOM OF THE WATER MAIN IS AT LEAST 18-INCHES ABOVE THE TOP OF THE SEWER.
 - IF IT IS IMPOSSIBLE TO OBTAIN PROPER HORIZONTAL AND VERTICAL SEPARATION AS DESCRIBED ABOVE OR ANYTIME THE SANITARY SEWER IS OVER THE WATER MAIN, BOTH THE WATER MAIN AND SANITARY SEWER MUST BE CONSTRUCTED OF FERROUS PIPE COMPLYING WITH THE PUBLIC WATER SUPPLY DESIGN STANDARDS AND BE PRESSURE TESTED TO 150PSI TO ASSURE WATER TIGHTNESS BEFORE BACKFILLING.
 - A 24-INCH VERTICAL SEPARATION SHALL BE PROVIDED BETWEEN STORM SEWER AND SANITARY SEWER LINES OR FERROUS PIPE SPECIFIED. A 12-INCH VERTICAL SEPARATION SHALL BE PROVIDED BETWEEN STORM SEWER AND WATER MAIN.
 - IF A 12-INCH VERTICAL SEPARATION IS NOT MAINTAINED AT A CROSSING BETWEEN STORM SEWER AND WATER MAINS (OR PRESSURE SEWERS), THE WATER MAIN SHALL BE CONSTRUCTED OF FERROUS PIPE AND A CONCRETE COLLAR SHALL BE FOULED AROUND WATER MAINS AND STORM SEWER TO IMMOBILIZE THE CROSSING.
- CROSSINGS**
 - SANITARY SEWER CROSSING WATER MAINS SHALL BE LAID TO PROVIDE A MINIMUM VERTICAL DISTANCE OF 18-INCHES BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF THE SANITARY SEWER. THE CROSSING SHALL BE ARRANGED SO THAT THE SANITARY SEWER JOINTS WILL BE EQUIDISTANT AND AS FAR AS POSSIBLE FROM THE WATER MAIN JOINTS.
 - WHEN IT IS IMPOSSIBLE TO OBTAIN PROPER HORIZONTAL AND VERTICAL SEPARATION AS STIPULATED ABOVE, ONE OF THE FOLLOWING METHODS MUST BE SPECIFIED:
 - THE SANITARY SEWER SHALL BE DESIGNED AND CONSTRUCTED OF FERROUS PIPE AND SHALL BE PRESSURE TESTED AT 150-PSI TO ASSURE WATER TIGHTNESS PRIOR TO BACKFILLING, OR
 - EITHER THE WATER MAIN OR THE SANITARY SEWER LINE MAY BE ENCASED IN A WATERTIGHT CARRIER PIPE, WHICH EXTENDS 10-FEET ON BOTH SIDES OF THE CROSSING, MEASURED PERPENDICULAR TO THE WATER MAIN. THE CARRIER PIPE SHALL BE OF MATERIALS APPROVED BY THE PUBLIC WATER SUPPLY FOR USE IN WATER MAIN CONSTRUCTION.

GENERAL UTILITY NOTES:

- ALL UTILITIES AND SERVICES INCLUDING BUT NOT LIMITED TO GAS, WATER, ELECTRIC, SANITARY AND STORM SEWER, TELEPHONE, CABLE, FIBER OPTIC, ETC. WITHIN THE LIMITS OF DISTURBANCE SHALL BE VERTICALLY AND HORIZONTALLY LOCATED. THE CONTRACTOR SHALL USE AND COMPLY WITH THE REQUIREMENTS OF THE APPLICABLE UTILITY NOTIFICATION SYSTEM TO LOCATE ALL THE UNDERGROUND UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRS OF DAMAGE TO ANY EXISTING UTILITIES DURING CONSTRUCTION AT NO COST TO THE OWNER.
- UTILITY COORDINATION SHALL BE INCLUDED IN THE PROJECT SCHEDULE AND IT IS THE EXPLICIT RESPONSIBILITY OF THE CONTRACTOR TO ASSURE THAT THE PROJECT SCHEDULE INCLUDES THE NECESSARY RELOCATIONS. THE CONTRACTOR WILL NOT BE PAID ADDITIONALLY FOR THIS COORDINATION.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE LOCATIONS AND DEPTHS OF ALL EXISTING UNDERGROUND UTILITIES AND STRUCTURES BEFORE THE START OF WORK AND TO TAKE THE NECESSARY STEPS NECESSARY TO PROVIDE FOR THEIR PROTECTION. THE ENGINEER HAS DILIGENTLY ATTENDED TO LOCATIONS INDICATE ALL EXISTING FACILITIES ON THESE PLANS; HOWEVER, THIS INFORMATION IS SHOWN FOR THE CONTRACTOR'S CONVENIENCE ONLY. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE LOCATIONS OF UTILITIES SHOWN OR NOT SHOWN. COMPLETENESS OR ACCURACY OF LOCATION AND DEPTH OF UNDERGROUND UTILITIES AND STRUCTURES IS NOT GUARANTEED.
- THE CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES FOR EXACT LOCATION AND PROTECTION OF THEIR UTILITIES PRIOR TO STARTING CONSTRUCTION. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO REPAIR AND REPLACE ANY AND ALL DAMAGE MADE TO UTILITIES BY THE CONTRACTOR.
- CONTRACTOR MUST APPLY FOR ALL UTILITY CONNECTION APPLICATIONS. CONTRACTOR IS RESPONSIBLE FOR ALL UTILITY CONNECTION FEES FOR CONSTRUCTION. REFER TO COVER SHEET FOR AVAILABLE UTILITY COMPANY LISTS.
- CONTRACTOR MUST OBTAIN ANY REQUIRED UTILITY DETAILS FOR RECONNECTION OF EXISTING SERVICES OR FOR NEW SERVICES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR EACH NEW SERVICE PER THE APPROPRIATE UTILITY COMPANY'S SPECIFICATIONS.
- THE CONTRACTOR SHALL COORDINATE LOCATION AND INSTALLATION OF ALL UNDERGROUND UTILITIES AND APPURTENANCES TO MINIMIZE DISTURBANCE TO CURBING, PAVING, AND COMPACTED SUB-GRADE.
- IF CONFLICTS ARE FOUND, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER AND ENGINEER FOR INSTRUCTION BEFORE PROCEEDING WITH WORK.
- ALL PIPE LENGTHS AND DISTANCES BETWEEN STRUCTURES ARE MEASURED FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE ALONG A HORIZONTAL PLANE.
- THE CONTRACTOR SHALL PROVIDE ANY AND ALL EXCAVATION AND MATERIAL SAMPLES NECESSARY TO CONDUCT REQUIRED SOIL TESTS. ALL ARRANGEMENTS AND SCHEDULING FOR THE TESTING SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
- SOILS TESTING AND ON-SITE INSPECTION SHALL BE PER

L:\Projects\TMCC\TMCC1701\05_Thomas More - Aldersgate\05\CS0201\CS0201.dwg PLOTTED: 11/20/2018 4:07 PM BY: Carl J. Jankus PLOT STYLE: Pennoni.rvt



NOTES:

- EXISTING TOPOGRAPHIC FEATURES WERE TAKEN FROM A TOPOGRAPHIC SURVEY PLAN PROVIDED BY PENNONI DATED: 6/14/2016.
- BOUNDARY INFORMATION TAKEN FROM A PLAN ENTITLED, "BOUNDARY SURVEY, ALDERSGATE METHODIST CHURCH, 632 LAUREL HILL RD., CHAPEL HILL, N.C.", DATED JANUARY 2, 2016, AS PREPARED BY PENNONI ASSOCIATES.
- EXISTING TOPOGRAPHICAL INFORMATION OBTAINED BY PENNONI ASSOCIATES BETWEEN SEPTEMBER 22, 2017 AND OCTOBER 3, 2017.



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PENNONI ASSOCIATES, INC.
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ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND OWNER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK

ST. THOMAS MORE - SOUTH CAMPUS - PHASE I
632 LAUREL HILL ROAD
CHAPEL HILL, NC 27514

EXISTING CONDITIONS PLAN

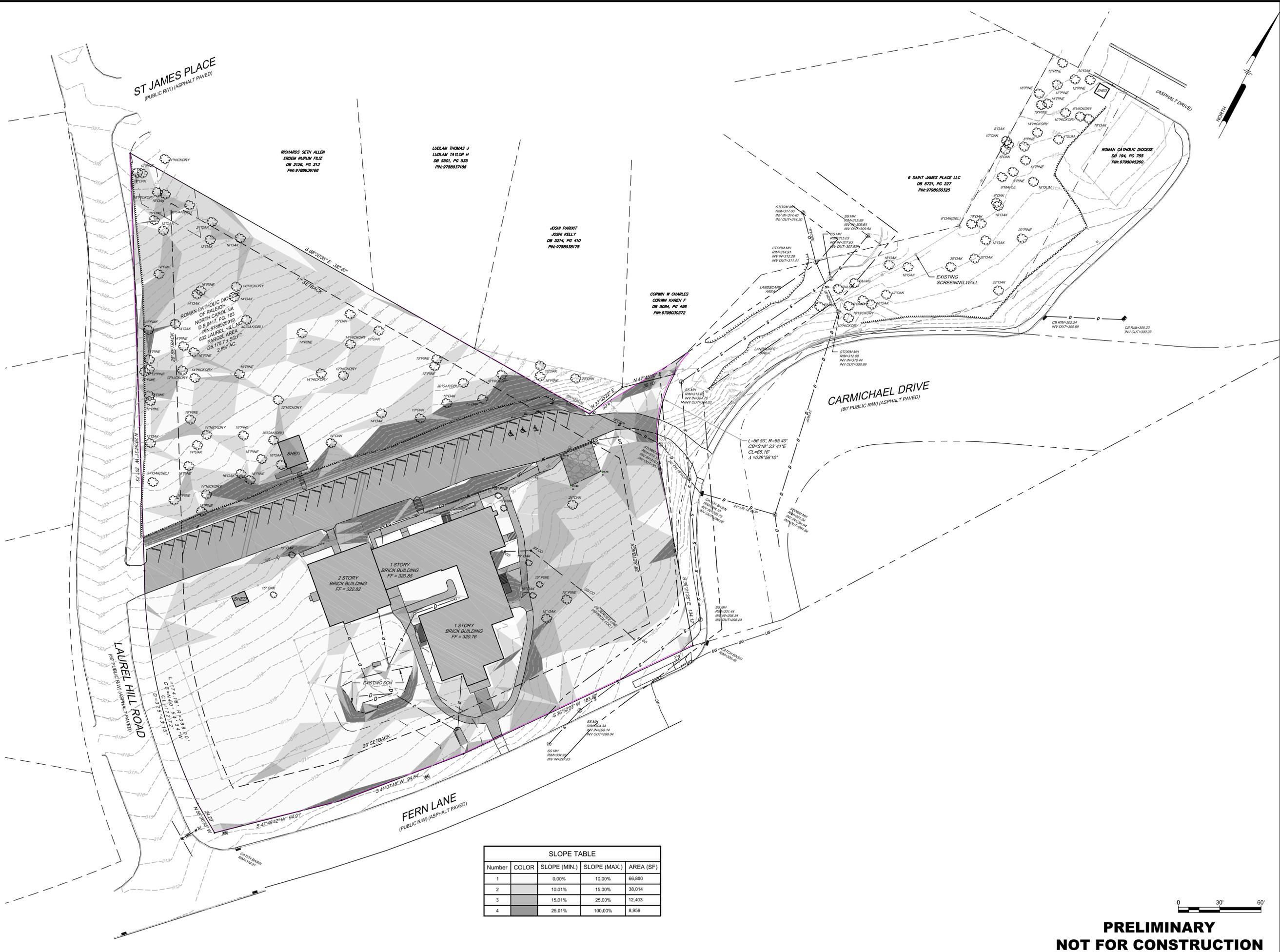
THE CATHOLIC COMMUNITY OF ST. THOMAS MORE
940 CARMICHAEL STREET
CHAPEL HILL, NC 27514

NO.	DATE	REVISIONS	BY
2	11/20/2018	Revised Per Chapel Hill Comments	CJJ
1	10/12/2018	Revised Per Chapel Hill Comments	CJJ

PROJECT	TMCC1701
DATE	2018-07-31
DRAWING SCALE	1"=30'
DRAWN BY	CJJ
APPROVED BY	PCB
CS0201	
SHEET	3 OF 12

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L:\Projects\TMCC\TMCC1701\05 Thomas More - Main\penn\CS0202.dwg PLOTFILE: Pennon\TMCC1701\05 Thomas More - Main\penn\CS0202.dwg PLOTTED: 11/20/2018 4:07 PM BY: Carl Jenkins PROJECT STATUS: REDEVELOPMENT OF UNITED METHODIST CHURCH SITE



SLOPE TABLE				
Number	COLOR	SLOPE (MIN.)	SLOPE (MAX.)	AREA (SF)
1		0.00%	10.00%	66,800
2		10.01%	15.00%	38,014
3		15.01%	25.00%	12,403
4		25.01%	100.00%	8,959



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ST. THOMAS MORE - SOUTH CAMPUS - PHASE I
632 LAUREL HILL ROAD
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SLOPE ANALYSIS PLAN

THE CATHOLIC COMMUNITY OF ST. THOMAS MORE
940 CARMICHAEL STREET
CHAPEL HILL, NC 27514

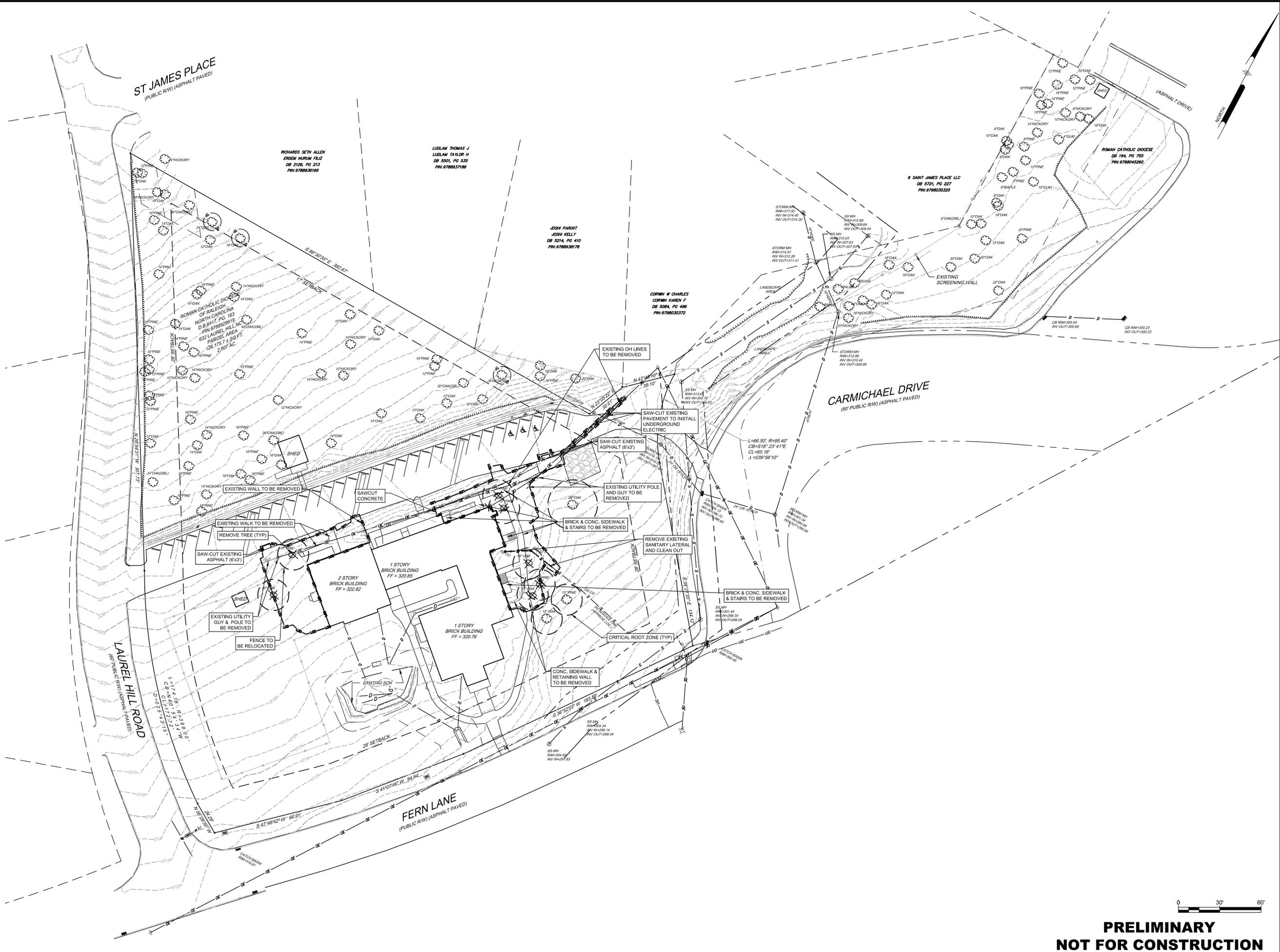
DATE	NO.	REVISIONS	BY
10/1/2018	1	Revised Per Chapel Hill Comments	CJJ
11/20/2018	2	Revised Per Chapel Hill Comments	CJJ

PROJECT: **TMCC1701**
DATE: 2018-07-31
DRAWING SCALE: 1"=30'
DRAWN BY: DMC
APPROVED BY: PCB

CS0202
SHEET 4 OF 12

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ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND OWNER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK

ST. THOMAS MORE - SOUTH CAMPUS - PHASE I
632 LAUREL HILL ROAD
CHAPEL HILL, NC 27514

DEMOLITION PLAN

THE CATHOLIC COMMUNITY OF ST. THOMAS MORE
940 CARMICHAEL STREET
CHAPEL HILL, NC 27514

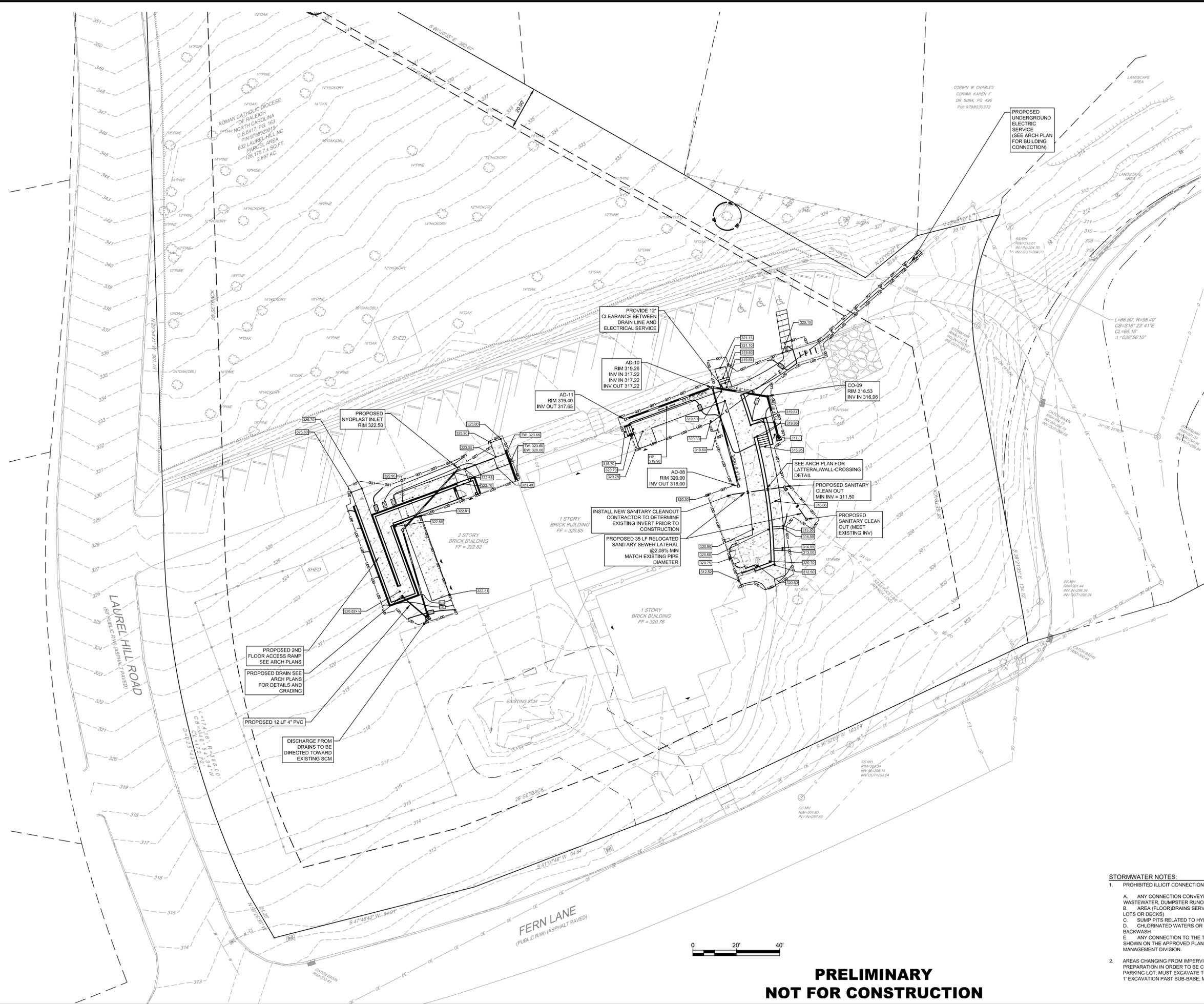
NO.	DATE	REVISIONS	BY
2	11/20/2018	Revised Per Chapel Hill Comments	CJJ
1	10/12/2018	Revised Per Chapel Hill Comments	CJJ

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PROJECT: **TMCC1701**
DATE: 2018-07-31
DRAWING SCALE: 1"=30'
DRAWN BY: CJJ
APPROVED BY: PCB

CS0501
SHEET 5 OF 12

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 PLOTTED: 11/20/2018 4:08 PM BY: Celia Jankovsk
 PLOT STYLE: Pennoni.rvt
 PROJECT STATUS: REDEVELOPMENT OF UNITED METHODIST CHURCH SITE



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- STORMWATER NOTES:**
- PROHIBITED ILLICIT CONNECTIONS INCLUDE, BUT ARE NOT LIMITED TO:
 - ANY CONNECTION CONVEYING DISCHARGES OF SANITARY SEWERAGE, PROCESS WASTEWATER, DUMPSTER RUNOFF, COOLING OR BOILING WATER
 - AREA (FLOOR) DRAINS SERVING INTERIOR COVERED SPACES (SUCH AS PARKING LOTS OR DECKS)
 - SUMP PITS RELATED TO HYDRAULIC OR MECHANICAL EQUIPMENT (ELEVATORS)
 - CHLORINATED WATERS OR SALTWATER FROM POOL DISCHARGE; POOL FILTER BACKWASH
 - ANY CONNECTION TO THE TOWN'S STORM DRAINAGE NETWORK THAT IS NOT SHOWN ON THE APPROVED PLAN SET IS NOT APPROVED BY THE STORMWATER MANAGEMENT DIVISION.
 - AREAS CHANGING FROM IMPERVIOUS TO PERVIOUS MUST UNDERGO THE PROPER PREPARATION IN ORDER TO BE COUNTED AS PERVIOUS (MUST REMOVE SUB-BASE) OF PARKING LOT. MUST EXCAVATE TO NATIVE SOIL CONDITIONS IF POSSIBLE, TYPICALLY > 1' EXCAVATION PAST SUB-BASE. MUST INCLUDE SOIL RIPPING PRIOR TO FILL, ETC.

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ST. THOMAS MORE - SOUTH CAMPUS - PHASE I
632 LAUREL HILL ROAD
CHAPEL HILL, NC 27514

GRADING & DRAINAGE PLAN

THE CATHOLIC COMMUNITY OF ST. THOMAS MORE
940 CARMICHAEL STREET
CHAPEL HILL, NC 27514

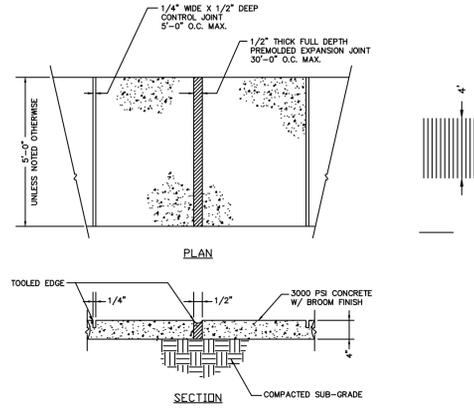
NO.	DATE	REVISIONS	BY
2	11/20/2018	Revised Per Chapel Hill Comments	CJJ
1	10/12/2018	Revised Per Chapel Hill Comments	CJJ

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PROJECT	TMCC1701
DATE	2018-07-31
DRAWING SCALE	1"=20'
DRAWN BY	CJJ
APPROVED BY	PCB

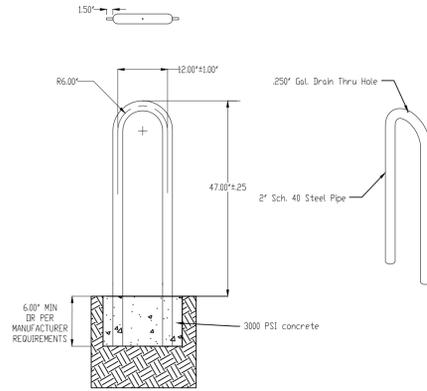
CS1501

SHEET 7 OF 12

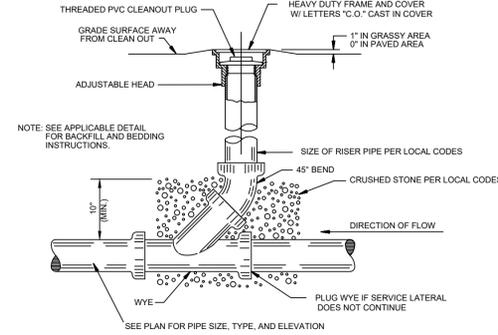


NOTE: SIDEWALKS SHALL INCREASE TO 6" THROUGH DRIVEWAYS. SEAL EXPANSION JOINTS PER NDOT SPECS.

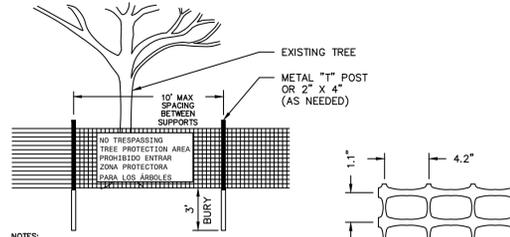
SIDEWALK DETAIL



INVERTED 'U' BIKE RACK



SANITARY SEWER CLEANOUT DETAIL
 N.T.S.

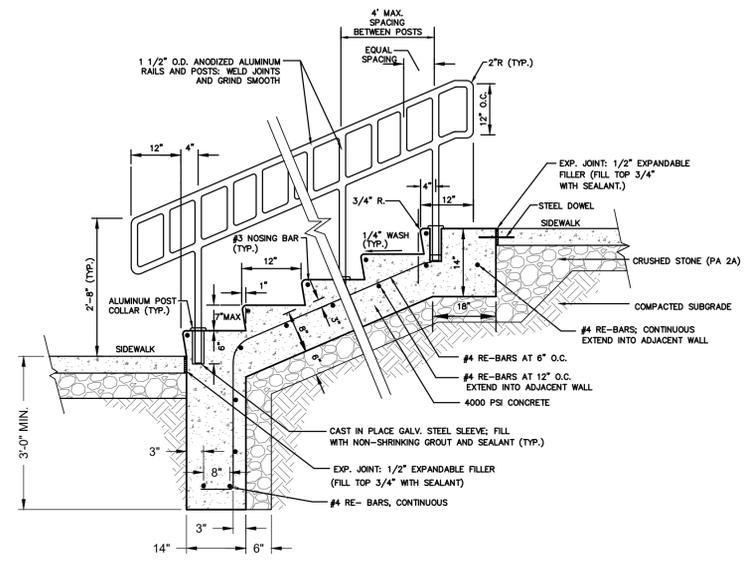


- NOTES:**
- PLACE CONTINUOUS RUN OF FENCE MATERIAL AS SHOWN ON PLANS.
 - ATTACH AT 10' MAXIMUM INTERVALS TO 2x4 POSTS. DO NOT STAPLE TO TREES.
 - FENCE MATERIAL SHALL BE "TENSAR" HIGH STRENGTH POLYMER GEOTEXTILE FABRIC BY TENSAR CORPORATION, MORROW, GEORGIA, OR EQUAL, BRIGHT ORANGE COLOR.
 - AT 100' O.C. PLACE SIGNS IN ENGLISH AND SPANISH: "NO TRESPASSING - TREE PROTECTION AREA" and "PROHIBIDO ENTRAR - ZONA PROTECTORA PARA LOS ARBOLES"
 - A PRE-CONSTRUCTION CONFERENCE SHALL BE HELD WITH THE PROJECT MANAGER AND THE TOWN'S LANDSCAPE ARCHITECT BEFORE ANY SITE WORK BEGINS.
 - ANY TREE ROOTS EXPOSED BY CONSTRUCTION SHALL BE SEVERED CLEANLY WITH A PRUNING TOOL.
 - THE SOIL WITHIN THE PROTECTED AREA AROUND EXISTING TREES SHALL NOT BE DRIVEN UPON AFTER FENCE REMOVAL FOR THE PURPOSE OF INSTALLING LANDSCAPING.

TYPICAL FENCING FABRIC
 SEE NOTE #3.

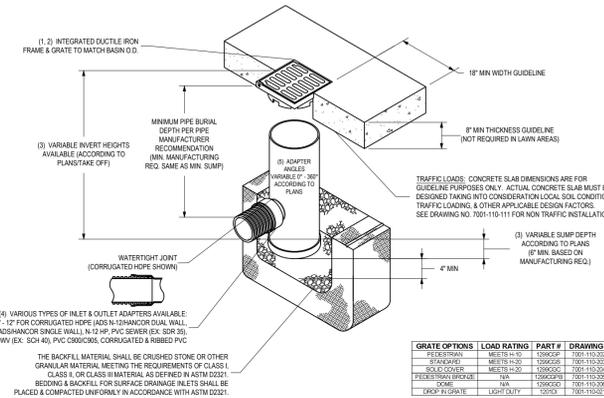
TREE PROTECTION FENCE

NOT TO SCALE



NOTE: SUBMIT SHOP DRAWINGS FOR STEPS AND RAILING

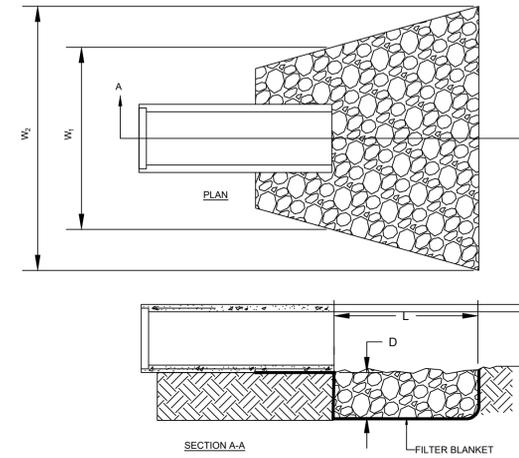
CONCRETE STEPS WITH RAILING
 N.T.S.



NYLOPLAST BASIN INSTALLATION DETAIL
 Not to Scale

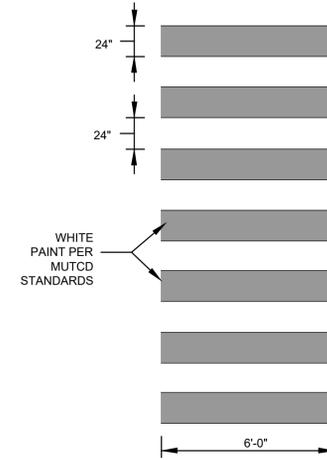
GRATE OPTIONS	LOAD RATING	PART #	DRAWING #
FELERPLAN	WEIGHT H-20	13865SP	7001-10-100
STANDARD	WEIGHT H-20	13865S	7001-10-100
SOLID COVER	WEIGHT H-20	13865C	7001-10-100
PERFORATED BRIDGE	N/A	13865FB	7001-10-100
ISOMET	N/A	13865D	7001-10-100
DROP IN GRATE	LIGHT DUTY	13865D2	7001-10-100

- GRATES/SOLID COVER SHALL BE DUCTILE IRON PER ASTM A818 GRADE F48030, WITH THE EXCEPTION OF THE BRONZE GRATE.
- FRAMES SHALL BE DUCTILE IRON PER ASTM A818 GRADE F48030.
- DRAIN BASIN TO BE CUSTOM MANUFACTURED ACCORDING TO PLAN DETAILS. HEIGHTS ARE NEEDED FOR BASIN COVER OR DUE TO SUPPORT RESTRICTIONS. SEE DRAWING NO. 7001-10-100.
- DRAINAGE CONNECTOR SHALL JOIN TO 100% THICKNESS SHALL CONFORM TO ASTM D3212 FOR CORRUGATED HDPE (AS IN 13-INCH OR DUAL WALL) OR PER 4" PVC DRAIN.
- ADAPTERS CAN BE MOUNTED ON AN ANGLE UP TO 30°. TO DETERMINE MINIMUM ANGLE BETWEEN ADAPTERS SEE DRAWING NO. 7001-10-100.



OUTLET NO.	OUTLET PIPE		RIP-RAP		APRON		LENGTH L (FT)
	PIPE DIA Pd (IN)	PIPE SLOPE (F/FT)	STONE DIAMETER (IN)	THICK. d (IN)	INITIAL WIDTH W ₁ (FT)	TERMINAL WIDTH W ₂ (FT)	
FES 1	8	0.005	4	8	2	2	2

RIP RAP OUTLET DETAIL



CROSSWALK DETAIL
 N.T.S.



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ST. THOMAS MORE - SOUTH CAMPUS - PHASE I
 632 LAUREL HILL ROAD
 CHAPEL HILL, NC 27514

SITE DETAILS

THE CATHOLIC COMMUNITY OF ST. THOMAS MORE
 940 CARMICHAEL STREET
 CHAPEL HILL, NC 27514

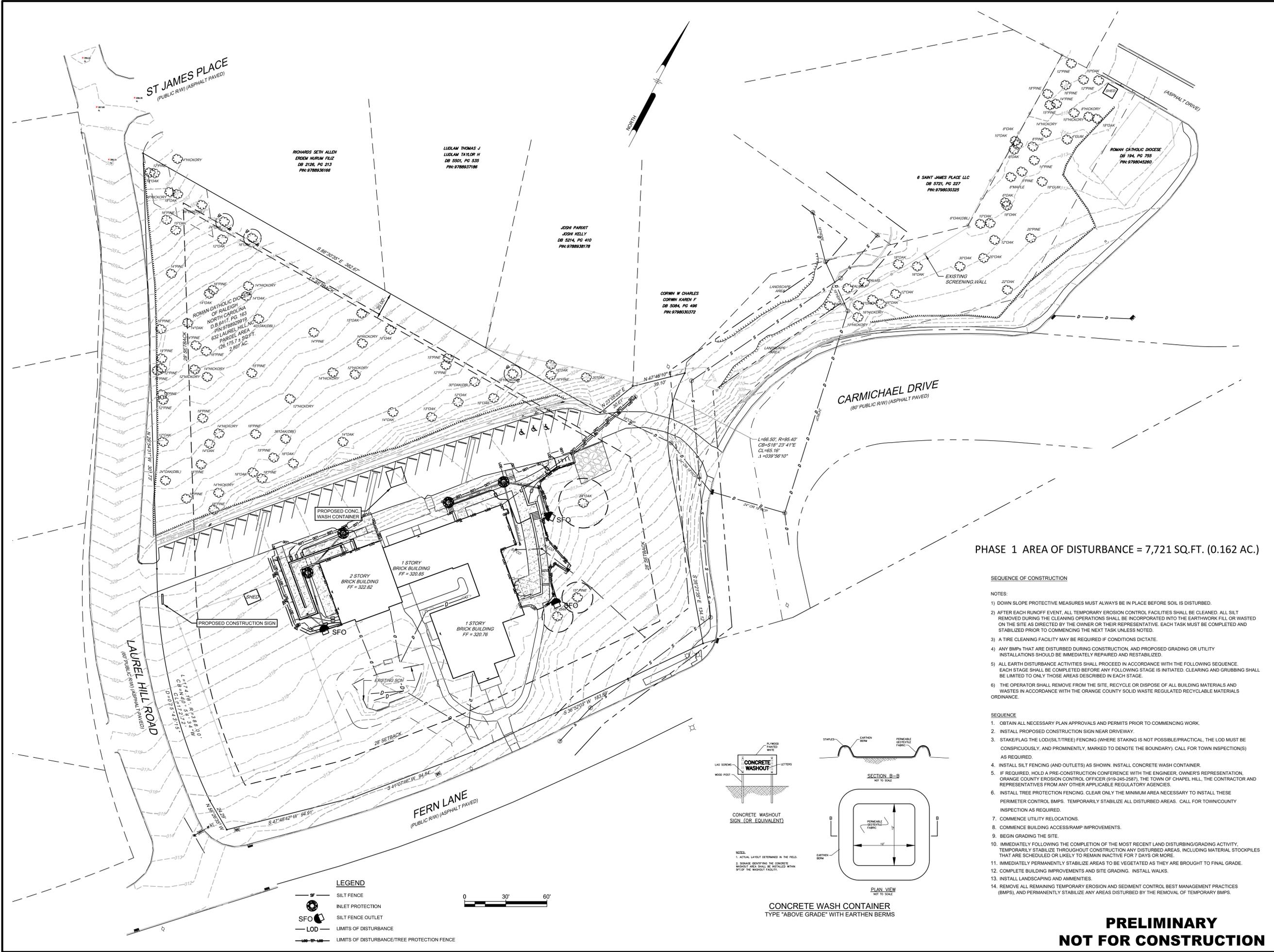
NO.	DATE	REVISIONS	BY
1	10/1/2018	Revised Per Chapel Hill Comments	CJJ
2	11/02/2018	Revised Per Chapel Hill Comments	CJJ

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PROJECT	TMCC1701
DATE	2018-07-31
DRAWING SCALE	NTS
DRAWN BY	CJJ
APPROVED BY	PCB

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 PLOTTED: 11/20/2018 4:09 PM BY: Carl Jankus
 PLOTTED: Pennoni\HCS.dwg
 PROJECT STATUS: REDEVELOPMENT OF UNITED METHODIST CHURCH SITE



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 Raleigh, NC 27607
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REGISTERED PROFESSIONAL ENGINEER
 PETER C. BEEBE
 035040
 11/20/18

ST. THOMAS MORE - SOUTH CAMPUS - PHASE I
 632 LAUREL HILL ROAD
 CHAPEL HILL, NC 27514

EROSION AND SEDIMENTATION CONTROL PLAN

THE CATHOLIC COMMUNITY OF ST. THOMAS MORE
 940 CARMICHAEL STREET
 CHAPEL HILL, NC 27514

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PROJECT: **TMCC1701**
 DATE: 2018-07-31
 DRAWING SCALE: 1"=30'
 DRAWN BY: CJJ
 APPROVED BY: PCB

CS8001
 SHEET 11 OF 12

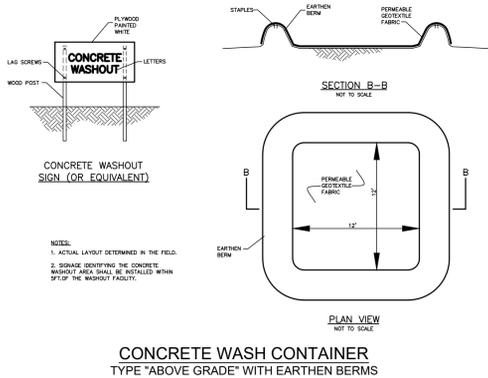
PHASE 1 AREA OF DISTURBANCE = 7,721 SQ. FT. (0.162 AC.)

SEQUENCE OF CONSTRUCTION

- NOTES:
- DOWN SLOPE PROTECTIVE MEASURES MUST ALWAYS BE IN PLACE BEFORE SOIL IS DISTURBED.
 - AFTER EACH RUNOFF EVENT, ALL TEMPORARY EROSION CONTROL FACILITIES SHALL BE CLEANED. ALL SILT REMOVED DURING THE CLEANING OPERATIONS SHALL BE INCORPORATED INTO THE EARTHWORK FILL OR WASTED ON THE SITE AS DIRECTED BY THE OWNER OR THEIR REPRESENTATIVE. EACH TASK MUST BE COMPLETED AND STABILIZED PRIOR TO COMMENCING THE NEXT TASK UNLESS NOTED.
 - A TIRE CLEANING FACILITY MAY BE REQUIRED IF CONDITIONS DICTATE.
 - ANY BMPs THAT ARE DISTURBED DURING CONSTRUCTION, AND PROPOSED GRADING OR UTILITY INSTALLATIONS SHOULD BE IMMEDIATELY REPAIRED AND RESTABILIZED.
 - ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE FOLLOWING SEQUENCE. EACH STAGE SHALL BE COMPLETED BEFORE ANY FOLLOWING STAGE IS INITIATED. CLEARING AND GRUBBING SHALL BE LIMITED TO ONLY THOSE AREAS DESCRIBED IN EACH STAGE.
 - THE OPERATOR SHALL REMOVE FROM THE SITE, RECYCLE OR DISPOSE OF ALL BUILDING MATERIALS AND WASTES IN ACCORDANCE WITH THE ORANGE COUNTY SOLID WASTE REGULATED RECYCLABLE MATERIALS ORDINANCE.

SEQUENCE

- OBTAIN ALL NECESSARY PLAN APPROVALS AND PERMITS PRIOR TO COMMENCING WORK.
- INSTALL PROPOSED CONSTRUCTION SIGN NEAR DRIVEWAY.
- STAKE/FLAG THE LOD(SILT/TREE) FENCING (WHERE STAKING IS NOT POSSIBLE/PRACTICAL, THE LOD MUST BE CONSPICUOUSLY, AND PROMINENTLY, MARKED TO DENOTE THE BOUNDARY). CALL FOR TOWN INSPECTION(S) AS REQUIRED.
- INSTALL SILT FENCING (AND OUTLETS) AS SHOWN. INSTALL CONCRETE WASH CONTAINER.
- IF REQUIRED, HOLD A PRE-CONSTRUCTION CONFERENCE WITH THE ENGINEER, OWNERS REPRESENTATION, ORANGE COUNTY EROSION CONTROL OFFICER (919-345-2857), THE TOWN OF CHAPEL HILL, THE CONTRACTOR AND REPRESENTATIVES FROM ANY OTHER APPLICABLE REGULATORY AGENCIES.
- INSTALL TREE PROTECTION FENCING. CLEAR ONLY THE MINIMUM AREA NECESSARY TO INSTALL THESE PERIMETER CONTROL BMPs. TEMPORARILY STABILIZE ALL DISTURBED AREAS. CALL FOR TOWN/COUNTY INSPECTION AS REQUIRED.
- COMMENCE UTILITY RELOCATIONS.
- COMMENCE BUILDING ACCESS/RAMP IMPROVEMENTS.
- BEGIN GRADING THE SITE.
- IMMEDIATELY FOLLOWING THE COMPLETION OF THE MOST RECENT LAND DISTURBING/GRADING ACTIVITY, TEMPORARILY STABILIZE THROUGHOUT CONSTRUCTION ANY DISTURBED AREAS, INCLUDING MATERIAL STOCKPILES THAT ARE SCHEDULED OR LIKELY TO REMAIN INACTIVE FOR 7 DAYS OR MORE.
- IMMEDIATELY PERMANENTLY STABILIZE AREAS TO BE VEGETATED AS THEY ARE BROUGHT TO FINAL GRADE.
- COMPLETE BUILDING IMPROVEMENTS AND SITE GRADING. INSTALL WALKS.
- INSTALL LANDSCAPING AND AMMENITIES.
- REMOVE ALL REMAINING TEMPORARY EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES (BMPs), AND PERMANENTLY STABILIZE ANY AREAS DISTURBED BY THE REMOVAL OF TEMPORARY BMPs.



LEGEND

- SILT FENCE
- INLET PROTECTION
- SFO SILT FENCE OUTLET
- LOD LIMITS OF DISTURBANCE
- LIMITS OF DISTURBANCE/TREE PROTECTION FENCE

Scale: 0 30' 60'

PRELIMINARY
NOT FOR CONSTRUCTION

