

SITE DATA:

ZONING: EF (WX-7 & WX-5)
 MAX. HEIGHT LIMIT: WX-5 = 60 FT.; WX-7 = 90 FT.
 PROPOSED HEIGHTS: BUILDING 1 = 69.3 FT.; BUILDING 2 = 55.5 FT.
 REQUIRED SETBACKS: TYP. A FRONTAGE 0' MIN./10' MAX.
 PROPOSED SETBACKS: TYP. B FRONTAGE 0' MIN/85' MAX.

BUILD TO ZONE DISTANCES:
 FORDHAM BLVD. SERVICE RD.
 (536' OF R/W x .60=322' REQUIRED BUILDING FACADE IN THE BTZ; 400' PROVIDED)

PROPOSED COLLECTOR STREET
 (946.5 OF R/W x .80=758' REQUIRED BUILDING FACADE IN THE BTZ; 596' PROVIDED)

LEGION ROAD
 (250' OF R/W x .60=150' REQUIRED BUILDING FACADE IN THE BTZ; 227' PROVIDED)

AREA: NLA = 246,769 SF; GLA = 314,712 SF

PROPOSED DISTURBED AREA = 313,927 SF

IMPERVIOUS SURFACE AREA: 165,639 (EXISTING); 196,662 SF (PROPOSED)

OUTDOOR AMENITY SPACE: 14,830 SF REQUIRED; 18,304 SF PROVIDED

ACTIVE RECREATION AREA SPACE: 37,766 SF (REQUIRED); 19,099 SF (PROVIDED) + 50% AS FEE-IN LIEU

PROPOSED FLOOR AREA = 400,411 SF

PROPOSED TOTAL # UNITS = 328

PROPOSED VEHICLE PARKING: BUILDING 1 PARKING DECK (355 SPACES INCL. 12 H/C SPACES)
 BUILDING 2 PODIUM PARKING LEVEL (60 SPACES INCL. 3 H/C SPACES)
 BUILDING 2 SURFACE LOT (38 SPACES INCL. 6 H/C SPACES)
 453 TOTAL TENANT SPACES

* THERE ARE AN ADDITIONAL 18 PUBLIC PARALLEL SPACES LOCATED IN THE NEW STREET RIGHT-OF-WAY.

PROPOSED BICYCLE PARKING = 179 LONG-TERM + 40 SHORT-TERM = 219 TOTAL BIKE PARKING.

HILLSTONE CHAPEL HILL ZONING COMPLIANCE PERMIT SITE PLAN DRAWINGS

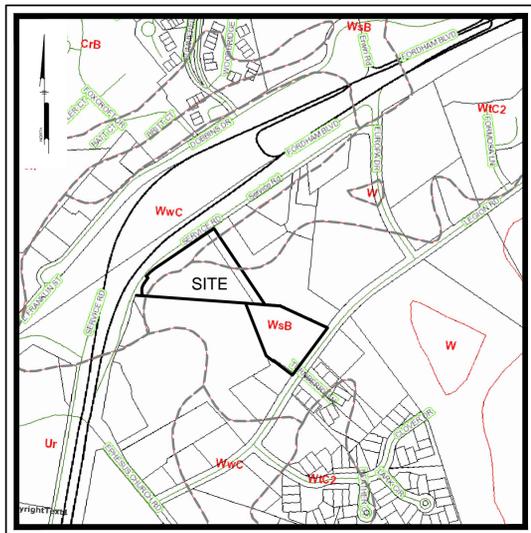
TOWN OF CHAPEL HILL, ORANGE COUNTY, NORTH CAROLINA
 2016-12-07

PREPARED FOR:
 OWNER/DEVELOPER
LEON CAPITAL GROUP
 5970 FAIRVIEW ROAD, SUITE 450
 CHARLOTTE, NORTH CAROLINA 28210

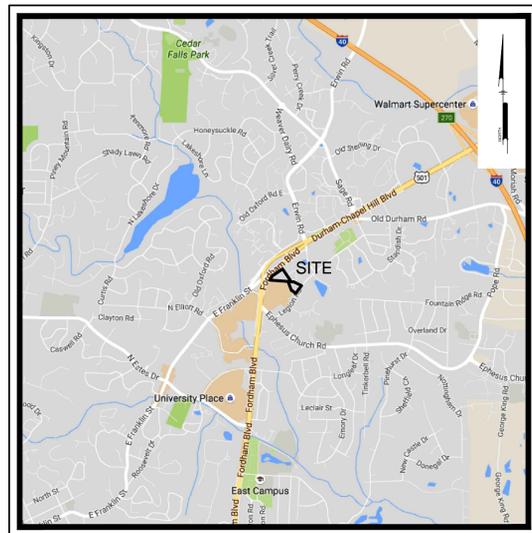
SHEET		PAGE		DESCRIPTION	DATE SUBMITTED	DATE REVISION
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CS0002	2	GENERAL NOTES AND LEGEND			12/7/2016	7/31/2017
CS0201	3	EXISTING CONDITIONS PLAN			12/7/2016	7/31/2017
CS0500	4	CONSTRUCTION MANAGEMENT PLAN			12/7/2016	7/31/2017
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CS3502	17	PROPOSED ROAD PLAN AND PROFILE			12/7/2016	7/31/2017
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LA5.04		PEDESTRIAN PLAZA LAYOUT PLAN				
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LA5.07		PEDESTRIAN CONNECTOR 2 LAYOUT PLAN				
LA5.09		PEDESTRIAN CONNECTOR 2 LANDSCAPE PLAN				
LA5.10		PEDESTRIAN GATEWAY 2, LEGION RD. & COLLECTOR STREET EAST LAYOUT PLAN				
LA5.12		LEGION RD. & COLLECTOR STREET EAST LANDSCAPE PLAN				
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GA2.01		BUILDING 1 - BUILDING PLAN - LEVEL 1				
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GA2.11		BUILDING 2 - BUILDING PLAN - LEVEL 1				
GA2.12		BUILDING 2 - BUILDING PLAN - LEVEL 2				
GA3.00		BUILDING 1 & 2 ELEVATIONS - TRANSPARENCY CALCULATIONS				
GA3.01a		BUILDING 1 ELEVATIONS				
GA3.01b		BUILDING 1 ELEVATIONS - ACCENT MATERIAL CALCULATIONS				
GA3.02a		BUILDING 2 ELEVATIONS				
GA3.02b		BUILDING 2 ELEVATIONS - ACCENT MATERIAL CALCULATIONS				
GA3.03		BUILDING 1 & 2 SECTION DIAGRAMS				



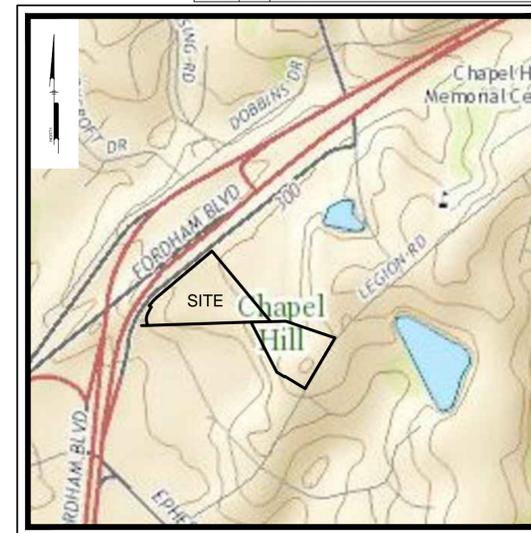
HILLSTONE CHAPEL HILL
 1730 FORDHAM BLVD.
 CHAPEL HILL, NORTH CAROLINA 27514
COVER SHEET
 LEON CAPITAL GROUP
 5970 FAIRVIEW ROAD, SUITE 450
 CHARLOTTE, NORTH CAROLINA 28210



SOILS MAP
 Scale: 1" = 500'



LOCATION MAP
 1" = 3000'



USGS MAP
 Scale: 1" = 500'

PREPARED BY:

PHILIP POST & ASSOCIATES
 A Division of **Pennoni** Firm License F-1267

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 Chapel Hill, NC 27514
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JDAVIS

NOT FOR CONSTRUCTION

NO.	DATE	REVISIONS	BY
4	7/31/2017	TOWN COMMENT REVISIONS REVIEW #4	WRA
3	6/15/2017	TOWN COMMENT REVISIONS REVIEW #3	WRA
2	4/7/2017	TOWN COMMENT REVISIONS #2	WRA
1	2/20/2017	REVISIONS PER TOWN'S REVIEW COMMENTS	WRA

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PROJECT: LCGR1602
 DATE: DECEMBER 7, 2016
 DRAWING SCALE: AS NOTED
 DRAWN BY: WRA
 APPROVED BY: TAS

CS0001
 SHEET 1 OF 28

P:\Projects\05202016\LCGR1602\Drawings\SitePlan\CS0001_PUB.DWG (2/20/2017) 1:500
 PROJECT STATUS: DESIGN DEVELOPMENT
 PLOT FILE: Pennoni\NC\Sub PLOT FILE: Pennoni\NC\Sub



LEGEND		
EXISTING	PROPOSED	DESCRIPTION
		CABLE TV, JUNCTION BOX
		CABLE TV, MANHOLE
		CABLE TV, OVERHEAD
		CABLE TV, PANEL BOX
		CABLE TV, PEDESTAL
		CABLE TV, STUB OUT
		CABLE TV, UNDERGROUND
		CABLE TV, WITNESS POST
		CHANNEL
		COMMUNICATION, HANDHOLE
		COMMUNICATION, JUNCTION BOX
		COMMUNICATION, MANHOLE
		COMMUNICATION, OVERHEAD
		COMMUNICATION, PANEL BOX
		COMMUNICATION, PEDESTAL
		COMMUNICATION, STUB OUT
		COMMUNICATION, UNDERGROUND
		COMMUNICATION, WITNESS POST
		CONTROL, BENCHMARK
		CONTROL, GPS
		CONTROL, MAPPING
		CONTROL, REFERENCE
		CONTROL, TRAVERSE
		CURB
		CURB DEPRESSION
		EDGE OF PAVEMENT
		EDGE OF GRAVEL
		EASEMENT
		FENCE
		FIBER OPTIC, HANDHOLE
		FIBER OPTIC, JUNCTION BOX
		FIBER OPTIC, MANHOLE
		FIBER OPTIC, OVERHEAD
		FIBER OPTIC, PANEL BOX
		FIBER OPTIC, PEDESTAL
		FIBER OPTIC, STUB OUT
		FIBER OPTIC, UNDERGROUND
		FIBER OPTIC, WITNESS POST
		FLOODPLAIN
		FUEL, MANHOLE
		FUEL, OVERHEAD
		FUEL, PLUG
		FUEL, PUMP
		FUEL, UNDERGROUND
		GUIDE RAIL
		LIMITS OF DISTURBANCE
		MARKING, HANDICAP PARKING
		NATURAL GAS, METER
		NATURAL GAS, MANHOLE
		NATURAL GAS, OVERHEAD
		NATURAL GAS, MANHOLE
		NATURAL GAS, OVERHEAD
		NATURAL GAS, STUB OUT
		NATURAL GAS, UNDERGROUND
		NATURAL GAS, WITNESS POST
		PHONE, HANDHOLE
		PHONE, JUNCTION BOX
		PHONE, MANHOLE
		PHONE, OVERHEAD
		PHONE, PEDESTAL
		PHONE, MANHOLE
		PHONE, OVERHEAD
		PHONE, PEDESTAL
		PHONE, STUB OUT
		PHONE, UNDERGROUND
		PHONE, WITNESS POST
		POWER, GUY POLE
		POWER, GUY WIRE
		POWER, HANDHOLE
		POWER, JUNCTION BOX
		POWER, MANHOLE
		POWER, OVERHEAD
		POWER, MANHOLE
		POWER, METER
		POWER, PANEL BOX
		POWER, PEDESTAL
		POWER, STUB OUT
		POWER, TRANSFORMER
		POWER, UNDERGROUND
		POWER, UTILITY POLE
		POWER, WITNESS POST
		POWER, YARD LIGHT
		PROPERTY, LINE
		PROPERTY, CORNER FOUND
		PROPERTY, CORNER FOUND (OTHERS)
		PROPERTY, CONCRETE MONUMENT
		PROPERTY, ADJOINING LINED
		PROPERTY, LINE RESERVED
		RAIL, MILE MARKER
		RAIL, PANEL BOX
		RAIL, TRACK
		SITE, AIR COMPRESSOR
		SITE, AIR CONDITIONER
		SITE, BOLLARD
		SITE, BORING LOCATION
		BUILDING
		SITE, FLAG POLE
		SITE, HEAD STONE
		SITE, MAIL BOX
		SITE, MONITOR WELL
		SITE, PARKING METER
		SITE, POST
		SITE, SIGN POST AND BOARD
		SITE, TRAFFIC SIGN
		SOIL BOUNDARY
		SOIL LABEL

GENERAL NOTES:

- APPLICANT: LEON CAPITAL GROUP, LLC 5970 FAIRVIEW ROAD, SUITE 200 CHARLOTTE, NORTH CAROLINA 28212 RESPONSIBLE OFFICER: BRIAN NICHOLSON
- EXISTING TOPOGRAPHIC FEATURES WERE TAKEN FROM A TOPOGRAPHIC SURVEY PLAN PROVIDED BY PHILIP POST & ASSOC. DATED: 6/03/2016.
- UTILITY NOTES:
 - COMPLETENESS OR ACCURACY OF LOCATION AND DEPTH OF UNDERGROUND UTILITIES AND STRUCTURES IS NOT GUARANTEED.
 - LOCATION OF ALL EXISTING AND PROPOSED SERVICES ARE APPROXIMATE AND SHALL BE CONFIRMED INDEPENDENTLY WITH LOCAL UTILITY COMPANIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION. SANITARY SEWER AND ALL OTHER UTILITY SERVICE CONNECTION POINTS SHALL BE CONFIRMED INDEPENDENTLY BY THE CONTRACTOR IN THE FIELD PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. ALL DISCREPANCIES SHALL BE REPORTED IMMEDIATELY IN WRITING TO THE ENGINEER. CONSTRUCTION SHALL COMMENCE BEGINNING AT THE LOWEST INVERT (POINT OF CONNECTION) AND PROGRESS UP GRADIENT. PROPOSED INTERFACE POINTS (CROSSINGS) WITH EXISTING UNDERGROUND UTILITIES SHALL BE FIELD VERIFIED BY TEST PIT PRIOR TO COMMENCEMENT OF CONSTRUCTION.
 - ALL UTILITIES AND SERVICES INCLUDING BUT NOT LIMITED TO GAS, WATER, ELECTRIC, SANITARY AND STORM SEWER, TELEPHONE, CABLE, FIBER OPTIC, ETC. WITHIN THE LIMITS OF DISTURBANCE SHALL BE VERTICALLY AND HORIZONTALLY LOCATED. THE CONTRACTOR SHALL USE AND COMPLY WITH THE REQUIREMENTS OF THE APPLICABLE UTILITY NOTIFICATION SYSTEM TO LOCATE ALL THE UNDERGROUND UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRS OF DAMAGE TO ANY EXISTING UTILITIES DURING CONSTRUCTION AT NO COST TO THE OWNER.
- AS SHOWN ON THE FLOOD INSURANCE RATE MAP FOR ORANGE COUNTY, NC, MAP #371097800K, EFFECTIVE DATE 2/20/2007 THE SITE AREA PROPOSED TO BE DEVELOPED LIES WITHIN "ZONE X" DEFINED AS AREAS DETERMINED TO BE OUTSIDE THE 100 YEAR FLOOD PLAIN.
- FIRE WATCH: DURING CONSTRUCTION AND DEMOLITION WHERE HOT WORK, MATERIALS SUBJECT TO SPONTANEOUS COMBUSTION, OR OTHER HAZARDOUS CONSTRUCTION OR DEMOLITION IS OCCURRING, THE OWNER OR THEIR DESIGNEE SHALL BE RESPONSIBLE FOR MAINTAINING A FIRE WATCH. THE FIRE WATCH SHALL CONSIST OF AT LEAST ONE PERSON WITH A MEANS OF COMMUNICATING AN ALARM TO 911, SHALL A WRITTEN ADDRESS POSTED IN A CONSPICUOUS LOCATION AND SHALL MAINTAIN CONSTANT PATROLS. NC FPC 2012 SECTION 1404.
- CONSTRUCTION/DEMOLITION: ALL CONSTRUCTION AND DEMOLITION CONDUCTED SHALL BE IN COMPLIANCE OF THE CURRENT EDITION OF CHAPTER 14 OF THE NC FPC.
- PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY APPLICANT SHALL REPLACE ANY TREES SHOWN AS PRESERVED-PROTECTED ON THE LANDSCAPE PROTECTION PLAN THAT HAVE DIED OR ARE IN POOR HEALTH AS A RESULT OF LAND DISTURBING ACTIVITIES.
- PRIOR TO ISSUANCE OF A ZONING COMPLIANCE PERMIT APPLICANT SHALL RECORD A RECOMBINATION PLAT AT THE TOWN OF CHAPEL HILL AND THE ORANGE COUNTY REGISTRY. AN EXEMPT PLAT APPLICATION TO BE REVIEWED AND APPROVED BY THE TOWN IS REQUIRED FOR THIS ACTION.
- A DEMOLITION PERMIT WILL BE REQUIRED FROM THE TOWN OF CHAPEL HILL PRIOR TO THE REMOVAL OF THE EXISTING BUILDING ON SITE.
- THE SWIMMING POOL WILL REQUIRE APPROVAL FROM ORANGE COUNTY HEALTH DEPARTMENT AT THE TIME OF PERMITTING.
- SITE DISTURBANCE 7.20 AC.

LEGEND		
EXISTING	PROPOSED	DESCRIPTION
		SANITARY SEWER, CLEAN-OUT
		SANITARY SEWER, FORCE MAIN
		SANITARY SEWER, FORCE MAIN MANHOLE
		SANITARY SEWER, LATERAL
		SANITARY SEWER, MANHOLE
		SANITARY SEWER, UNDERGROUND (4\"/>
		SANITARY SEWER, SEPTIC TANK
		SANITARY SEWER, STAND PIPE
		SANITARY SEWER, VALVE
		SANITARY SEWER, WITNESS POST
		STREAM
		STORM SEWER, INLET
		STORM SEWER, HEADWALL
		STORM SEWER, MANHOLE
		STORM SEWER, UNDERGROUND
		STORM SEWER, DOWNSPOUT LOCATION
		STORM SEWER, ROOF DRAIN LINE
		STORM SEWER, STAND PIPE
		STORM SEWER, CLEAN-OUT
		STORM SEWER, WITNESS POST
		MINOR CONTOUR
		MAJOR CONTOUR
		SPOT ELEVATION
		TO BE REMOVED
		TRAFFIC, PAVEMENT MARKING, BIKE LANE
		TRAFFIC, PAVEMENT MARKING, TURN ARROWS
		TRAFFIC, PAVEMENT MARKING, HOV LANE
		TRAFFIC, PAVEMENT MARKING, HOV LANE
		TRAFFIC, HAND HOLE
		TRAFFIC, JUNCTION BOX
		TRAFFIC, MANHOLE
		TRAFFIC, PANEL BOX
		TRAFFIC, PEDESTAL
		TRAFFIC, PEDESTAL SIGNAL
		TRAFFIC, PEDESTAL SIGNAL
		TRAFFIC, SIGNAL POLE
		TRAFFIC, SIGNAL POLE & LIGHT ARM
		TRAFFIC, STUB OUT
		VEGETATION, SHRUB
		VEGETATION, STUMP
		VEGETATION, DECIDUOUS SHOWING CANOPY
		VEGETATION, CONIFEROUS SHOWING CANOPY
		VEGETATION, TREE LINE
		WATER, HOSE BIB
		WATER, FIRE HYDRANT
		WATER, IRRIGATION HEAD
		WATER, IRRIGATION VALVE BOX
		WATER, MANHOLE
		WATER, METER
		WATER, POST INDICATOR VALVE
		WATER, SIAMESE CONNECTION
		WATER, STUB OUT
		WATER, UNDERGROUND
		WATER, UNDERGROUND FIRE

GENERAL CONSTRUCTION AND GRADING NOTES:

- ALL WORK SHALL COMPLY WITH APPLICABLE STATE, FEDERAL AND LOCAL CODES AND OSHA STANDARDS. ALL NECESSARY LICENSES AND PERMITS SHALL BE OBTAINED BY THE CONTRACTOR AT HIS EXPENSE UNLESS PREVIOUSLY OBTAINED BY THE OWNER/DEVELOPER.
- THE CONTRACTOR SHALL BE REQUIRED TO REVIEW AND ABIDE BY SPECIFICATIONS OF THE PLAN AND ALL SUPPORTING DOCUMENTS, PERMITS, AND REPORTS FOR THIS SITE, INCLUDING BUT NOT LIMITED TO:
 - EROSION AND SEDIMENTATION CONTROL PLAN
 - STORMWATER MANAGEMENT PLAN.
- THE CONTRACTOR SHALL IMMEDIATELY INFORM THE ENGINEER OF ANY DISCREPANCIES OR ERROR THEY DISCOVER IN THE PLANS.
- DEVIATION FROM THESE PLANS AND NOTES WITHOUT THE PRIOR CONSENT OF THE OWNER OR HIS REPRESENTATIVE OR THE ENGINEER MAY BE CAUSE OF THE WORK TO BE UNACCEPTABLE.
- UTILITY COORDINATION SHALL BE INCLUDED IN THE PROJECT SCHEDULE AND IT IS THE EXPLICIT RESPONSIBILITY OF THE CONTRACTOR TO ASSURE THAT THE PROJECT SCHEDULE INCLUDES THE NECESSARY RELOCATIONS. THE CONTRACTOR WILL NOT BE PAID ADDITIONALLY FOR THIS COORDINATION. THE CONTRACTOR SHOULD SEEK ASSISTANCE FROM ALL UTILITY COMPANIES TO LOCATE AND PROTECT THEIR FACILITIES. IF CONFLICTS ARE FOUND, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER AND DESIGN ENGINEER FOR INSTRUCTION BEFORE PROCEEDING WITH WORK.
- ALL MATERIALS SHALL BE NEW UNLESS USED OR SALVAGED MATERIALS ARE AUTHORIZED BY THE OWNER AND APPLICANT.
- TRAFFIC CONTROL METHODS, SUCH AS BARRICADES, SUFFICIENT LIGHTS, SIGNS, ETC., MAY BE NECESSARY FOR THE PROTECTION AND SAFETY OF THE PUBLIC SHALL BE PROVIDED AND MAINTAINED THROUGHOUT THE CONSTRUCTION IN ACCORDANCE WITH CURRENT AND NCDOT STANDARDS.
- CONTRACTOR SHALL FURNISH AND MAINTAIN ALL NECESSARY BARRICADES, FENCING AND OTHER APPROPRIATE SAFETY ITEMS/MEASURES NECESSARY TO PROTECT THE PUBLIC FROM THE WORK AREA CONSTRUCTION ACTIVITIES.
- HIGH INTENSITY LIGHTING FACILITIES SHALL BE SO ARRANGED THAT THE SOURCE OF ANY LIGHT IS CONCEALED FROM PUBLIC VIEW AND FROM ADJACENT RESIDENTIAL PROPERTY AND DOES NOT INTERFERE WITH TRAFFIC.
- THE CONTRACTOR SHALL MAINTAIN ACCESS FOR EMERGENCY VEHICLES AROUND AND TO ALL BUILDINGS NEAR CONSTRUCTION. IN TIME OF RAIN OR MUD, ROADS SHALL BE ABLE TO CARRY A FIRE TRUCK BY BEING PAVED OR HAVING A CRUSHED STONE BASE, ETC., WITH A MINIMUM WIDTH OF 20 FEET. ACCESS TO BUILDINGS THAT HAVE SPRINKLER OR STANDPIPE SYSTEMS SHALL BE WITHIN 40 FEET OF THE FIRE DEPARTMENT CONNECTOR. (NFPA 1141 3-1)
- BEDDING REQUIREMENTS SPECIFIED HEREIN ARE TO BE CONSIDERED AS MINIMUMS FOR RELATIVELY DRY, STABLE EARTH CONDITIONS. ADDITIONALLY BEDDING SHALL BE REQUIRED FOR ROCK TRENCHES AND WET AREAS. CONTRACTOR SHALL HAVE THE RESPONSIBILITY TO PROVIDE SUCH ADDITIONAL BEDDING AS MAY BE REQUIRED TO PROPERLY CONSTRUCT THE WORK.
- BACKFILL OF ALL TRENCHES SHALL BE COMPACTED TO THE DENSITY OF 95% OF THEORETICAL MAXIMUM DRY DENSITY (ASTM D698). BACKFILL MATERIAL SHALL BE FREE FROM ROOTS, STUMPS, OR OTHER FOREIGN DEBRIS AND STUMPS SHALL BE LAYERS NOT TO EXCEED SIX (6) INCHES IN COMPACTED FILL THICKNESS. A REPORT FROM A GEOTECHNICAL ENGINEER MAY BE REQUIRED BY THE PUBLIC WORKS INSPECTOR. CORRECTION OF ANY TRENCH SETTLEMENT WITHIN A YEAR FROM THE DATE OF APPROVAL WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- THE CONTRACTOR WILL ENSURE THAT POSITIVE AND ADEQUATE DRAINAGE IS MAINTAINED AT ALL TIMES WITHIN THE PROJECT LIMITS. THIS MAY INCLUDE BUT NOT BE LIMITED TO: A) REPLACEMENT OR RECONSTRUCTION OF EXISTING DRAINAGE STRUCTURES THAT HAVE BEEN DAMAGED OR REMOVED, OR B) REGRADING AS REQUIRED BY THE ENGINEER, EXCEPT FOR THOSE DRAINAGE ITEMS SHOWN AT SPECIFIC LOCATIONS AND HAVING SPECIFIC PAY ITEMS IN THE DETAILED ESTIMATE. NO SEPARATE PAYMENT WILL BE MADE FOR ANY COSTS INCURRED TO COMPLY WITH THIS REQUIREMENT.
- THE CONTRACTOR SHALL PROVIDE ANY AND ALL EXCAVATION AND MATERIAL SAMPLES NECESSARY TO CONDUCT REQUIRED SOIL TESTS. ALL ARRANGEMENTS AND SCHEDULING FOR THE TESTING SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
- SOIL TESTING AND ON-SITE INSPECTION SHALL BE PERFORMED BY AN INDEPENDENT GEOTECHNICAL ENGINEER. A GEOTECHNICAL ENGINEER IS REQUIRED TO INSPECT, TEST AND CERTIFY TO THE COMPLETION OF ALL LOAD BEARING FILLS. THE GEOTECHNICAL ENGINEER SHALL PROVIDE COPIES OF TEST REPORTS TO THE CONTRACTOR, THE OWNER AND TO THE OWNER'S REPRESENTATIVE AND SHALL PROMPTLY NOTIFY THE OWNER, HIS REPRESENTATIVE AND THE CONTRACTOR, SHOULD WORK PERFORMED BY THE CONTRACTOR FAIL TO MEET THESE SPECIFICATIONS.
- ALL PERMITS MUST BE OBTAINED PRIOR TO THE START OF CONSTRUCTION.
- ALL PAVEMENT MARKINGS AND REGULATORY SIGNS ON PRIVATE PROPERTY SHALL CONFORM TO CURRENT MUTCD STANDARDS.

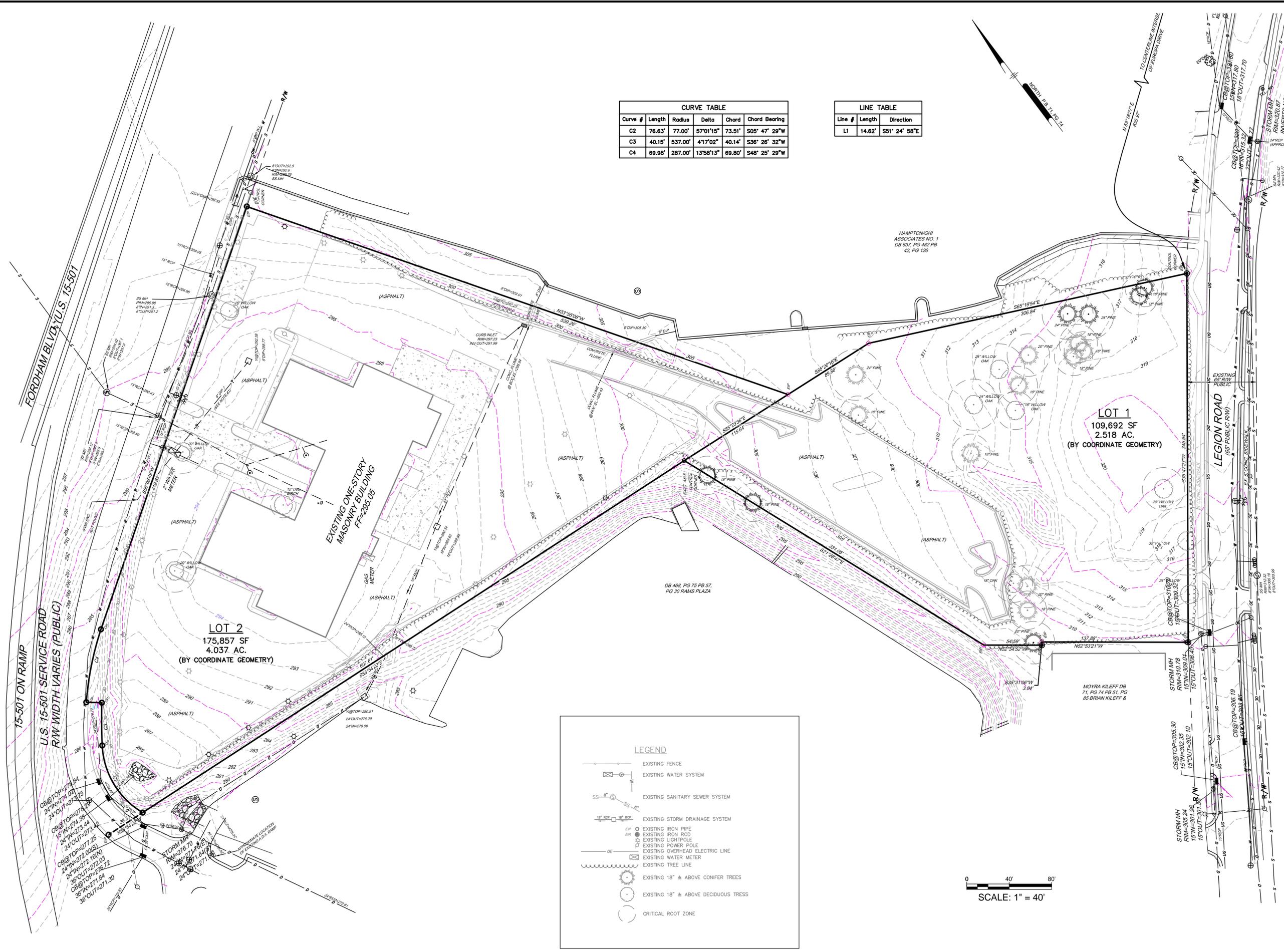
WATER AND SEWER SERVICE NOTES:

- HORIZONTAL AND VERTICAL SEPARATION
 - SANITARY SEWERS SHALL BE LAID AT LEAST 10- FEET HORIZONTALLY FROM ANY EXISTING OR PROPOSED WATER MAIN. THE DISTANCE SHALL BE MEASURED EDGE TO EDGE. IN CASES WHERE IT IS NOT PRACTICAL TO MAINTAIN A 10-FOOT SEPARATION, THE PUBLIC WORKS SUPPLY MAY ALLOW DEVIATION A CASE-BY-CASE BASIS, IF SUPPORTED BY DATA FROM THE DESIGN ENGINEER. SUCH DEVIATION MAY ALLOW THE INSTALLATION OF THE SANITARY SEWER CLOSER TO A WATER MAIN, PROVIDED THAT THE WATER MAIN IS IN A SEPARATE TRENCH OR ON AN UNDISTURBED EARTH SHELF LOCATED ON ONE SIDE OF THE SANITARY SEWER AND AT AN ELEVATION SO THE BOTTOM OF THE WATER MAIN IS AT LEAST 18-INCHES ABOVE THE TOP OF THE SEWER.
 - IF IT IS IMPOSSIBLE TO OBTAIN PROPER HORIZONTAL AND VERTICAL SEPARATION AS DESCRIBED ABOVE OR ANYTIME THE SANITARY SEWER IS OVER THE WATER MAIN, BOTH THE WATER MAIN AND SANITARY SEWER MUST BE CONSTRUCTED OF FERROUS PIPE COMPLYING WITH THE PUBLIC WATER SUPPLY DESIGN STANDARDS AND BE PRESSURE TESTED TO 150PSI TO ASSURE WATER TIGHTNESS BEFORE BACKFILLING.
 - A 18-INCH VERTICAL AND 10-FOOT HORIZONTAL SEPARATION SHALL BE PROVIDED BETWEEN STORM SEWER AND SANITARY SEWER LINES OR FERROUS PIPE SPECIFIED. A 12-INCH VERTICAL SEPARATION SHALL BE PROVIDED BETWEEN STORM SEWER AND WATER MAIN.
 - IF A 12-INCH VERTICAL SEPARATION IS NOT MAINTAINED AT A CROSSING BETWEEN STORM SEWER AND WATER MAINS (OR PRESSURE SEWERS), THE WATER MAIN SHALL BE CONSTRUCTED OF FERROUS PIPE AND A CONCRETE COLLAR SHALL BE POURED AROUND WATER MAINS AND STORM SEWER TO IMMOBILIZE THE CROSSING.
- CROSSINGS
 - SANITARY SEWER CROSSING WATER MAINS SHALL BE LAID TO PROVIDE A MINIMUM VERTICAL DISTANCE OF 18-INCHES BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF THE SANITARY SEWER. THE CROSSING SHALL BE ARRANGED SO THAT THE SANITARY SEWER JOINTS WILL BE EQUIDISTANT AND AS FAR AS POSSIBLE FROM THE WATER MAIN JOINTS.
 - WHEN IT IS IMPOSSIBLE TO OBTAIN PROPER HORIZONTAL AND VERTICAL SEPARATION AS STIPULATED ABOVE, ONE OF THE FOLLOWING METHODS MUST BE SPECIFIED:
 - THE SANITARY SEWER SHALL BE DESIGNED AND CONSTRUCTED OF FERROUS PIPE AND SHALL BE PRESSURE TESTED AT 150-PSI TO ASSURE WATER TIGHTNESS PRIOR TO BACKFILLING, OR
 - EITHER THE WATER MAIN OR THE SANITARY SEWER LINE MAY BE ENCASED IN A WATER TIGHT CHARRIER PIPE, WHICH EXTENDS 10- FEET ON BOTH SIDES OF THE CROSSING, MEASURED PERPENDICULAR TO THE WATER MAIN. THE CARRIER PIPE SHALL BE OF MATERIALS APPROVED BY THE PUBLIC WATER SUPPLY FOR USE IN WATER MAIN CONSTRUCTION.

GENERAL UTILITY NOTES:

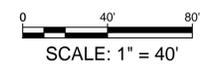
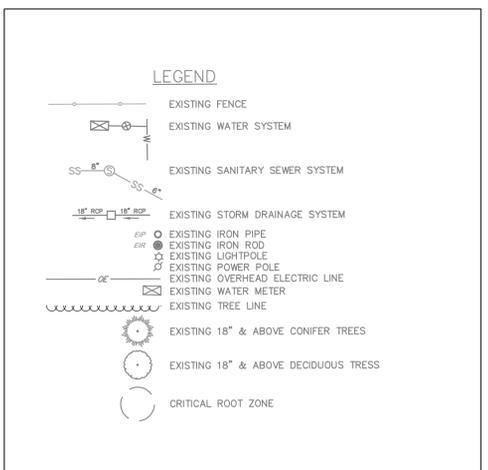
- ALL UTILITIES AND SERVICES INCLUDING BUT NOT LIMITED TO GAS, WATER, ELECTRIC, SANITARY AND STORM SEWER, TELEPHONE, CABLE, FIBER OPTIC, ETC. WITHIN THE LIMITS OF DISTURBANCE SHALL BE VERTICALLY AND HORIZONTALLY LOCATED. THE CONTRACTOR SHALL USE AND COMPLY WITH THE REQUIREMENTS OF THE APPLICABLE UTILITY NOTIFICATION SYSTEM TO LOCATE ALL THE UNDERGROUND UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRS OF DAMAGE TO ANY EXISTING UTILITIES DURING CONSTRUCTION AT NO COST TO THE OWNER.
- UTILITY COORDINATION SHALL BE INCLUDED IN THE PROJECT SCHEDULE AND IT IS THE EXPLICIT RESPONSIBILITY OF THE CONTRACTOR TO ASSURE THAT THE PROJECT SCHEDULE INCLUDES THE NECESSARY RELOCATIONS. THE CONTRACTOR WILL NOT BE PAID ADDITIONALLY FOR THIS COORDINATION.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE LOCATIONS AND DEPTHS OF ALL EXISTING UNDERGROUND UTILITIES AND STRUCTURES BEFORE THE START OF WORK AND BEFORE ANY WHATEVER STEPS NECESSARY TO PROVIDE FOR THEIR PROTECTION. THE ENGINEER HAS DILIGENTLY ATTENDED TO LOCATE AND INDICATE ALL EXISTING FACILITIES ON THESE PLANS; HOWEVER, THIS INFORMATION IS SHOWN FOR THE CONTRACTOR'S CONVENIENCE ONLY. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE LOCATIONS OF UTILITIES SHOWN OR NOT SHOWN. COMPLETENESS OR ACCURACY OF LOCATION AND DEPTH OF UNDERGROUND UTILITIES AND STRUCTURES IS NOT GUARANTEED.
- THE CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES FOR EXACT LOCATION AND PROTECTION OF THEIR UTILITIES PRIOR TO STARTING CONSTRUCTION. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO REPAIR AND REPLACE ANY AND ALL DAMAGE MADE TO UTILITIES BY THE CONTRACTOR.
- CONTRACTOR MUST APPLY FOR ALL UTILITY CONNECTION APPLICATIONS. CONTRACTOR IS RESPONSIBLE FOR ALL UTILITY CONNECTION FEES FOR CONSTRUCTION. REFER TO COVER SHEET FOR AVAILABLE UTILITY COMPANY LIST.
- CONTRACTOR MUST OBTAIN ANY REQUIRED UTILITY DETAILS FOR RECONNECTION OF EXISTING SERVICES AND IS RESPONSIBLE FOR THE CONSTRUCTION OF EACH NEW SERVICE PER THE APPROPRIATE UTILITY COMPANY'S SPECIFICATIONS.
- THE CONTRACTOR SHALL COORDINATE LOCATION AND INSTALLATION OF ALL UNDERGROUND UTILITIES AND APPURTENANCES TO MINIMIZE DISTURBANCE TO CURBING, PAVING, AND COMPACTED SUB-GRADE.
- IF CONFLICTS ARE FOUND, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER AND ENGINEER FOR INSTRUCTION BEFORE PROCEEDING WITH WORK.
- ALL PIPE LENGTHS AND DISTANCES BETWEEN STRUCTURES ARE MEASURED FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE ALONG A HORIZONTAL PLANE.
- THE CONTRACTOR SHALL PROVIDE ANY AND ALL EXCAVATION AND MATERIAL SAMPLES NECESSARY TO CONDUCT REQUIRED SOIL TESTS. ALL ARRANGEMENTS AND SCHEDULING FOR THE TESTING SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
- SOILS TESTING AND ON-SITE INSPECTION SHALL BE PERFORMED BY AN INDEPENDENT GEOTECHNICAL ENGINEER. A GEOTECHNICAL ENGINEER IS REQUIRED TO INSPECT, TEST AND CERTIFY TO THE COMPLETION OF ALL LOAD BEARING FILLS. THE GEOTECHNICAL ENGINEER SHALL PROVIDE COPIES OF TEST REPORTS TO THE CONTRACTOR, THE OWNER AND TO THE OWNER'S REPRESENTATIVE AND SHALL PROMPTLY NOTIFY THE OWNER, HIS REPRESENTATIVE AND THE CONTRACTOR, SHOULD WORK PERFORMED BY THE CONTRACTOR FAIL TO MEET THESE SPECIFICATIONS.
- CONTRACTOR SHALL EXCAVATE ONLY ENOUGH TRENCH FOR WHICH PIPE CAN BE INSTALLED AND TRENCH BACKFILLED BY THE END OF EACH WORK DAY.
- BEDDING REQUIREMENTS SPECIFIED HEREIN ARE TO BE CONSIDERED AS MINIMUMS FOR RELATIVELY DRY, STABLE EARTH CONDITIONS. ADDITIONAL BEDDING SHALL BE REQUIRED FOR ROCK TRENCHES AND WET AREAS. CONTRACTOR SHALL HAVE THE RESPONSIBILITY TO PROVIDE SUCH ADDITIONAL BEDDING AS MAY BE REQUIRED TO PROPERLY CONSTRUCT THE WORK.
- COMPACTION OF THE BACKFILL OF ALL TRENCHES SHALL BE PROVIDED TO THE DENSITY OF 95% OF THEORETICAL MAXIMUM DRY DENSITY (ASTM D698). BACKF

P:\Projects\CS0201\CONTRACTOR\Sheet\CS0201.dwg PROJECT STATUS: DESIGN DEVELOPMENT



CURVE TABLE					
Curve #	Length	Radius	Delta	Chord	Chord Bearing
C2	76.63'	77.00'	57°01'15"	73.51'	S05° 47' 29"W
C3	40.15'	537.00'	4°17'02"	40.14'	S36° 26' 32"W
C4	69.98'	287.00'	13°58'13"	69.80'	S48° 25' 29"W

LINE TABLE		
Line #	Length	Direction
L1	14.62'	S51° 24' 58"E



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NOT FOR CONSTRUCTION

HILLSTONE CHAPEL HILL
 1730 FORDHAM BLVD.
 CHAPEL HILL, NORTH CAROLINA 27514

EXISTING CONDITIONS PLAN

LEON CAPITAL GROUP
 5970 FAIRVIEW ROAD, SUITE 450
 CHARLOTTE, NORTH CAROLINA 28210

NO.	DATE	REVISIONS	BY
4	7/3/2017	TOWN COMMENT REVISIONS REVIEW #4	WRA
3	6/15/2017	TOWN COMMENT REVISIONS REVIEW #3	WRA
2	4/7/2017	TOWN COMMENT REVISIONS REVIEW #2	WRA
1	2/20/2017	REVISIONS PER TOWN'S REVIEW COMMENTS	WRA

PROJECT: **LCGR1602**

DATE: **DECEMBER 7, 2016**

DRAWING SCALE: **1"=40'**

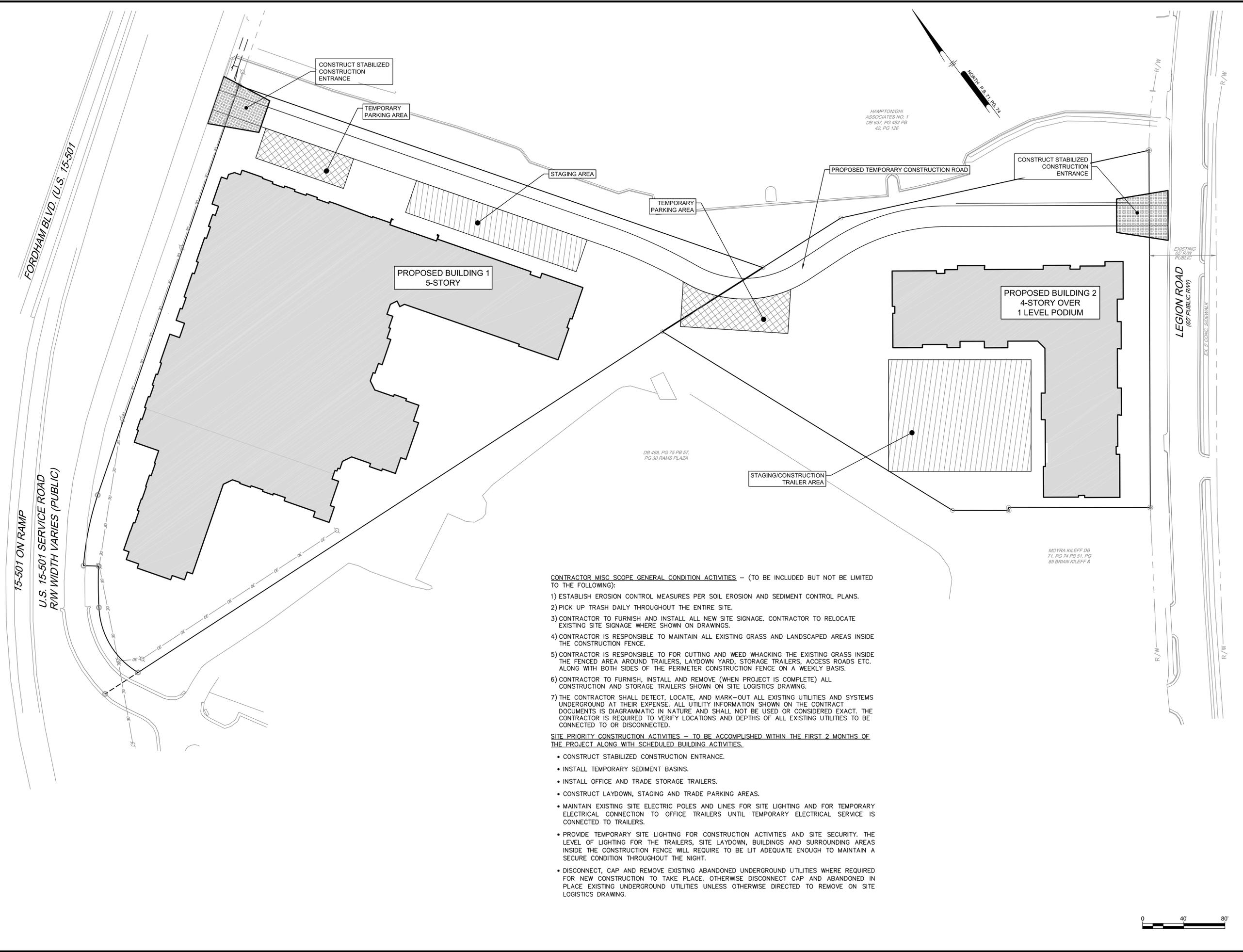
DRAWN BY: **WRA**

APPROVED BY: **TAS**

CS0201

SHEET **3** OF **28**

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 PLOTFILE:PenningtonCS0500.dwg
 PROJECT STATUS: DESIGN DEVELOPMENT



CONTRACTOR MISC SCOPE GENERAL CONDITION ACTIVITIES - (TO BE INCLUDED BUT NOT BE LIMITED TO THE FOLLOWING):

- 1) ESTABLISH EROSION CONTROL MEASURES PER SOIL EROSION AND SEDIMENT CONTROL PLANS.
- 2) PICK UP TRASH DAILY THROUGHOUT THE ENTIRE SITE.
- 3) CONTRACTOR TO FURNISH AND INSTALL ALL NEW SITE SIGNAGE. CONTRACTOR TO RELOCATE EXISTING SITE SIGNAGE WHERE SHOWN ON DRAWINGS.
- 4) CONTRACTOR IS RESPONSIBLE TO MAINTAIN ALL EXISTING GRASS AND LANDSCAPED AREAS INSIDE THE CONSTRUCTION FENCE.
- 5) CONTRACTOR IS RESPONSIBLE TO FOR CUTTING AND WEED WHACKING THE EXISTING GRASS INSIDE THE FENCED AREA AROUND TRAILERS, LAYDOWN YARD, STORAGE TRAILERS, ACCESS ROADS ETC. ALONG WITH BOTH SIDES OF THE PERIMETER CONSTRUCTION FENCE ON A WEEKLY BASIS.
- 6) CONTRACTOR TO FURNISH, INSTALL AND REMOVE (WHEN PROJECT IS COMPLETE) ALL CONSTRUCTION AND STORAGE TRAILERS SHOWN ON SITE LOGISTICS DRAWING.
- 7) THE CONTRACTOR SHALL DETECT, LOCATE, AND MARK-OUT ALL EXISTING UTILITIES AND SYSTEMS UNDERGROUND AT THEIR EXPENSE. ALL UTILITY INFORMATION SHOWN ON THE CONTRACT DOCUMENTS IS DIAGRAMMATIC IN NATURE AND SHALL NOT BE USED OR CONSIDERED EXACT. THE CONTRACTOR IS REQUIRED TO VERIFY LOCATIONS AND DEPTHS OF ALL EXISTING UTILITIES TO BE CONNECTED TO OR DISCONNECTED.

SITE PRIORITY CONSTRUCTION ACTIVITIES - TO BE ACCOMPLISHED WITHIN THE FIRST 2 MONTHS OF THE PROJECT ALONG WITH SCHEDULED BUILDING ACTIVITIES.

- CONSTRUCT STABILIZED CONSTRUCTION ENTRANCE.
- INSTALL TEMPORARY SEDIMENT BASINS.
- INSTALL OFFICE AND TRADE STORAGE TRAILERS.
- CONSTRUCT LAYDOWN, STAGING AND TRADE PARKING AREAS.
- MAINTAIN EXISTING SITE ELECTRIC POLES AND LINES FOR SITE LIGHTING AND FOR TEMPORARY ELECTRICAL CONNECTION TO OFFICE TRAILERS UNTIL TEMPORARY ELECTRICAL SERVICE IS CONNECTED TO TRAILERS.
- PROVIDE TEMPORARY SITE LIGHTING FOR CONSTRUCTION ACTIVITIES AND SITE SECURITY. THE LEVEL OF LIGHTING FOR THE TRAILERS, SITE LAYDOWN, BUILDINGS AND SURROUNDING AREAS INSIDE THE CONSTRUCTION FENCE WILL REQUIRE TO BE LIT ADEQUATE ENOUGH TO MAINTAIN A SECURE CONDITION THROUGHOUT THE NIGHT.
- DISCONNECT, CAP AND REMOVE EXISTING ABANDONED UNDERGROUND UTILITIES WHERE REQUIRED FOR NEW CONSTRUCTION TO TAKE PLACE. OTHERWISE DISCONNECT CAP AND ABANDONED IN PLACE EXISTING UNDERGROUND UTILITIES UNLESS OTHERWISE DIRECTED TO REMOVE ON SITE LOGISTICS DRAWING.

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Professional Engineer Seal: TIMOTHY A. STALLION, No. 03057, State of North Carolina

HILLSTONE CHAPEL HILL
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 CHAPEL HILL, NORTH CAROLINA 27514

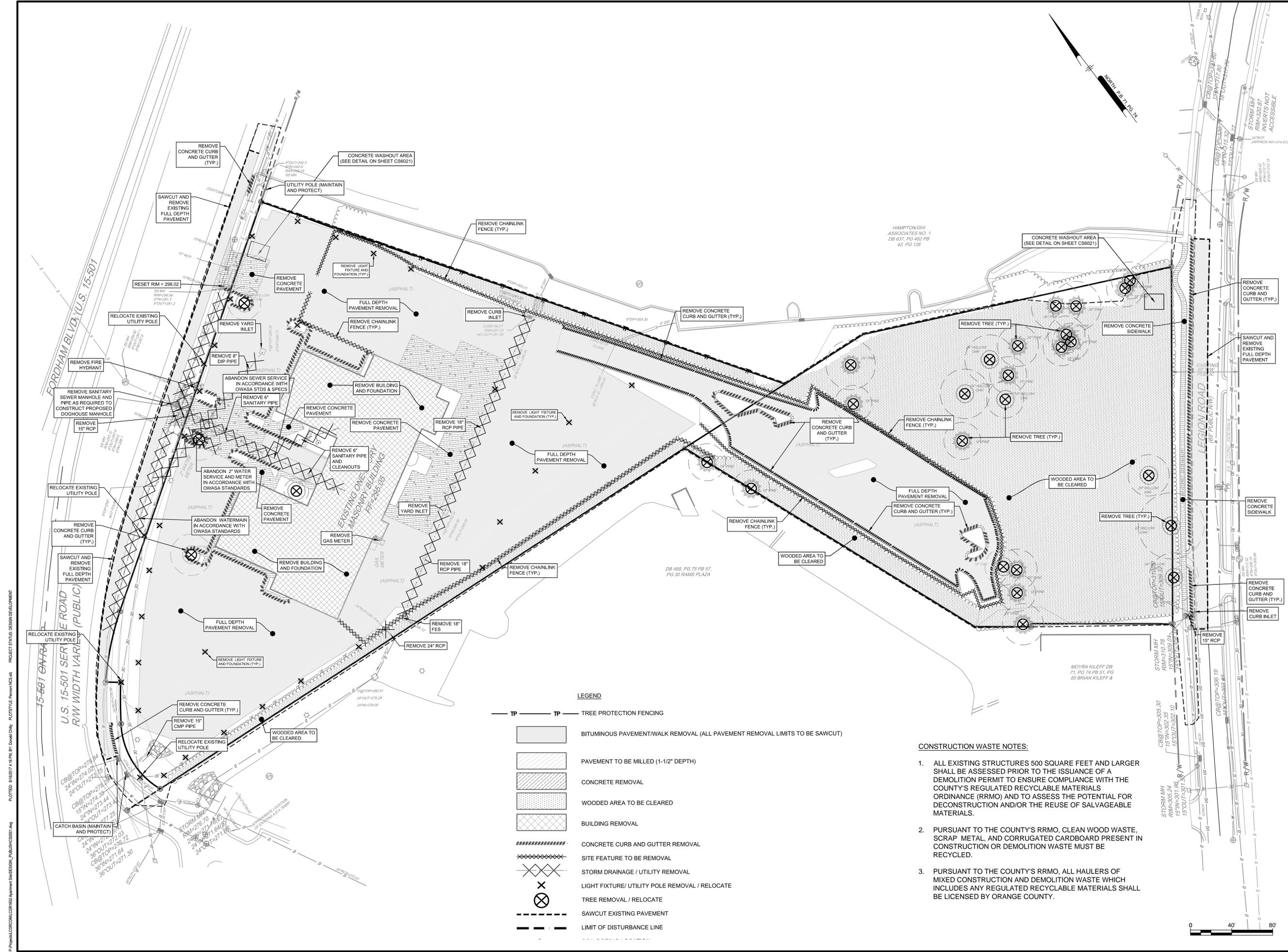
CONSTRUCTION MANAGEMENT PLAN

LEON CAPITAL GROUP
 5970 FAIRVIEW ROAD, SUITE 450
 CHARLOTTE, NORTH CAROLINA 28210

NO.	DATE	REVISIONS	BY
4	7/31/2017	TOWN COMMENT REVISIONS REVIEW #4	WRA
3	6/15/2017	TOWN COMMENT REVISIONS REVIEW #3	WRA
2	4/7/2017	TOWN COMMENT REVISIONS REVIEW #2	WRA
1	2/20/2017	REVISIONS PER TOWN'S REVIEW COMMENTS	WRA

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PROJECT: **LCGR1602**
 DATE: **DECEMBER 7, 2016**
 DRAWING SCALE: **1" = 40'**
 DRAWN BY: **WRA**
 APPROVED BY: **TAS**



LEGEND

- TP — TP — TREE PROTECTION FENCING
- [Hatched Box] BITUMINOUS PAVEMENT/WALK REMOVAL (ALL PAVEMENT REMOVAL LIMITS TO BE SAWCUT)
- [Diagonal Lines Box] PAVEMENT TO BE MILLED (1-1/2" DEPTH)
- [Cross-hatched Box] CONCRETE REMOVAL
- [Dotted Box] WOODED AREA TO BE CLEARED
- [Cross-hatched Box] BUILDING REMOVAL
- [Dashed Line] CONCRETE CURB AND GUTTER REMOVAL
- [X in Circle] SITE FEATURE TO BE REMOVAL
- [X in Circle] STORM DRAINAGE / UTILITY REMOVAL
- [X in Circle] LIGHT FIXTURE/ UTILITY POLE REMOVAL / RELOCATE
- [X in Circle] TREE REMOVAL / RELOCATE
- [Dashed Line] SAWCUT EXISTING PAVEMENT
- [Dashed Line] LIMIT OF DISTURBANCE LINE

CONSTRUCTION WASTE NOTES:

1. ALL EXISTING STRUCTURES 500 SQUARE FEET AND LARGER SHALL BE ASSESSED PRIOR TO THE ISSUANCE OF A DEMOLITION PERMIT TO ENSURE COMPLIANCE WITH THE COUNTY'S REGULATED RECYCLABLE MATERIALS ORDINANCE (RRMO) AND TO ASSESS THE POTENTIAL FOR DECONSTRUCTION AND/OR THE REUSE OF SALVAGEABLE MATERIALS.
2. PURSUANT TO THE COUNTY'S RRMO, CLEAN WOOD WASTE, SCRAP METAL, AND CORRUGATED CARDBOARD PRESENT IN CONSTRUCTION OR DEMOLITION WASTE MUST BE RECYCLED.
3. PURSUANT TO THE COUNTY'S RRMO, ALL HAULERS OF MIXED CONSTRUCTION AND DEMOLITION WASTE WHICH INCLUDES ANY REGULATED RECYCLABLE MATERIALS SHALL BE LICENSED BY ORANGE COUNTY.

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030517 STATIONING

TIMOTHY A. BROWN

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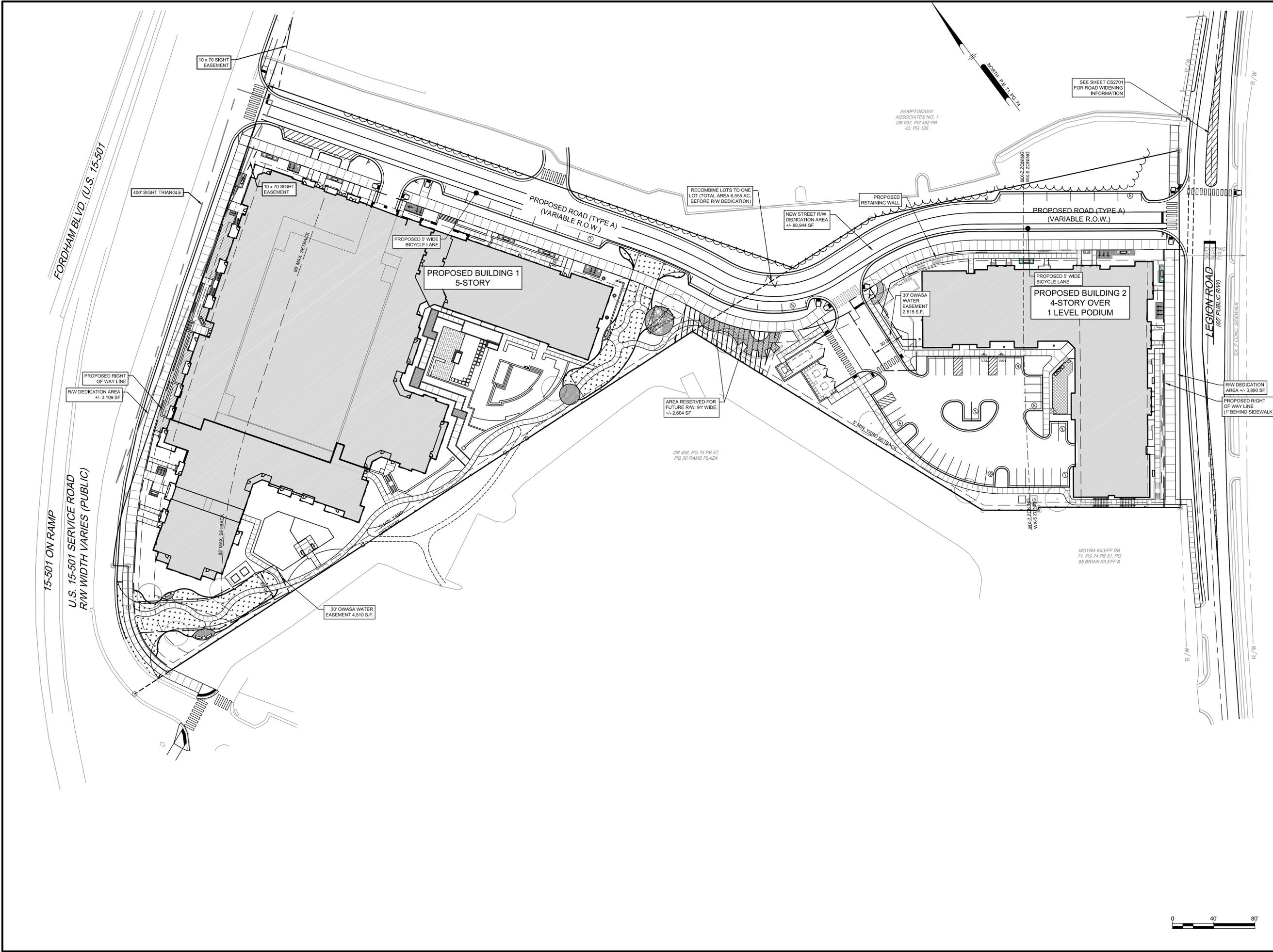
DEMOLITION PLAN

LEON CAPITAL GROUP
 5970 FAIRVIEW ROAD, SUITE 450
 CHARLOTTE, NORTH CAROLINA 28210

NO.	DATE	REVISIONS	BY
4	7/3/2017	TOWN COMMENT REVISIONS REVIEW #4	WRA
3	6/15/2017	TOWN COMMENT REVISIONS REVIEW #3	WRA
2	4/7/2017	TOWN COMMENT REVISIONS REVIEW #2	WRA
1	12/20/2017	REVISIONS PER TOWN'S REVIEW COMMENTS	WRA

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PROJECT: **LCGR1602**
 DATE: **DECEMBER 7, 2016**
 DRAWING SCALE: **1" = 40'**
 DRAWN BY: **WRA**
 APPROVED BY: **TAS**



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 NOT FOR CONSTRUCTION
 TOWN OF CAROLINA
 PLANNING DEPARTMENT
 030517
 ENGINEER
 TIMOTHY A. BROWN

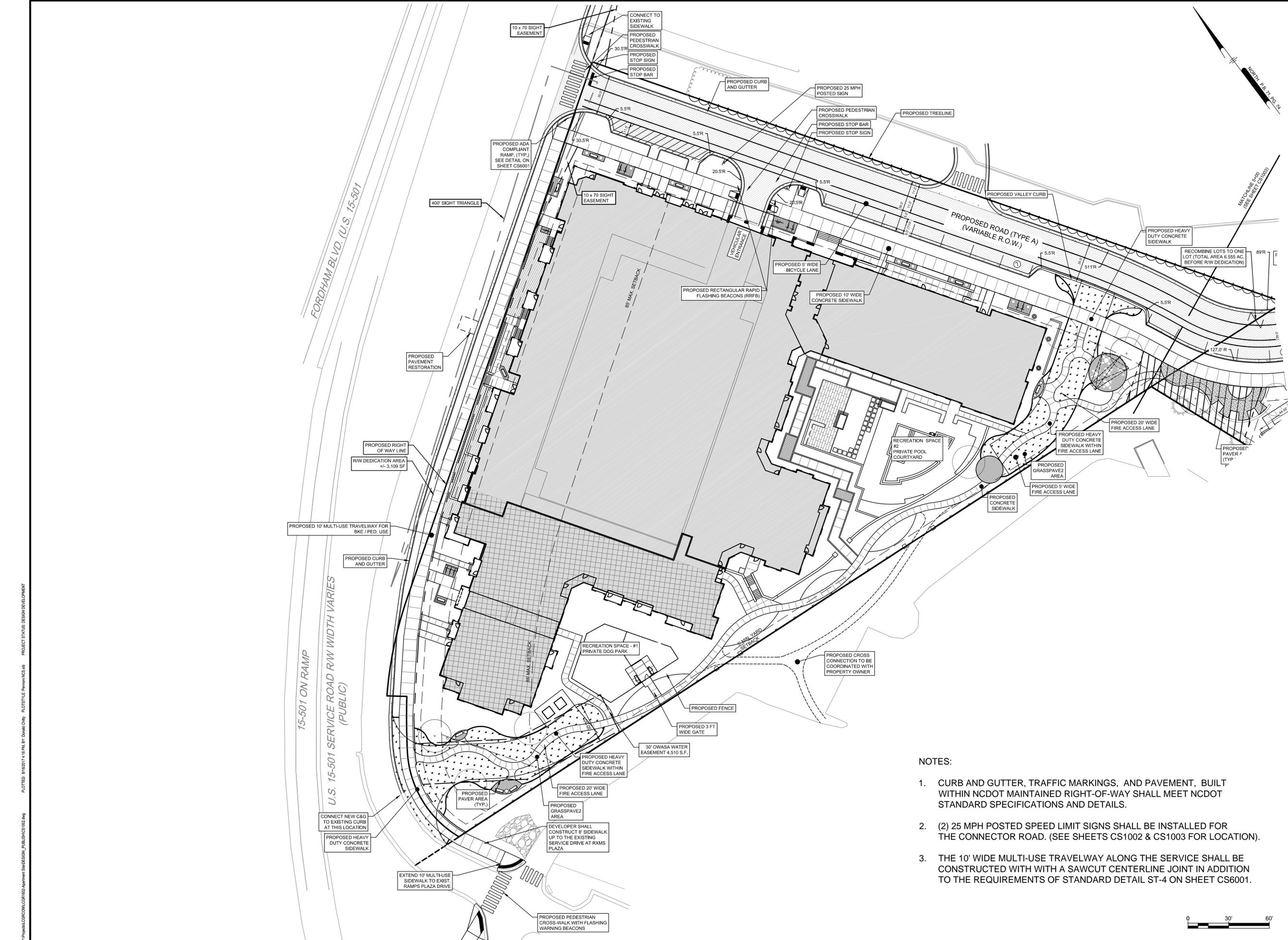
HILLSTONE CHAPEL HILL
 1730 FORDHAM BLVD.
 CHAPEL HILL, NORTH CAROLINA 27514
OVERALL SITE PLAN
 LEON CAPITAL GROUP
 5970 FAIRVIEW ROAD, SUITE 450
 CHARLOTTE, NORTH CAROLINA 28210

DATE	NO.	REVISIONS	BY
7/31/2017	4	TOWN COMMENT REVISIONS REVIEW #4	WRA
8/15/2017	3	TOWN COMMENT REVISIONS REVIEW #3	WRA
4/7/2017	2	TOWN COMMENT REVISIONS REVIEW #2	WRA
2/20/2017	1	REVISIONS PER TOWN'S REVIEW COMMENTS	WRA

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PROJECT: LCGR1602
 DATE: DECEMBER 7, 2016
 DRAWING SCALE: 1" = 40'
 DRAWN BY: BF
 APPROVED BY: TAS

CS1001
 SHEET 6 OF 28



NOTES:

1. CURB AND GUTTER, TRAFFIC MARKINGS, AND PAVEMENT, BUILT WITHIN NCDOT MAINTAINED RIGHT-OF-WAY SHALL MEET NCDOT STANDARD SPECIFICATIONS AND DETAILS.
2. (2) 25 MPH POSTED SPEED LIMIT SIGNS SHALL BE INSTALLED FOR THE CONNECTOR ROAD. (SEE SHEETS CS1002 & CS1003 FOR LOCATION).
3. THE 10' WIDE MULTI-USE TRAVELWAY ALONG THE SERVICE SHALL BE CONSTRUCTED WITH WITH A SAWCUT CENTERLINE JOINT IN ADDITION TO THE REQUIREMENTS OF STANDARD DETAIL ST-4 ON SHEET CS6001.

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SC 030517 ENGINEER'S SEAL
 TIMOTHY A. STREIFELING

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 CHAPEL HILL, NORTH CAROLINA 27514

SITE PLAN

LEON CAPITAL GROUP
 5970 FAIRVIEW ROAD, SUITE 450
 CHARLOTTE, NORTH CAROLINA 28210

NO.	DATE	REVISIONS	BY
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PROJECT: **LCGR1602**
 DATE: **DECEMBER 7, 2016**
 DRAWING SCALE: **1" = 30'**
 DRAWN BY: **BF**
 APPROVED BY: **TAS**

CS1002
 SHEET 7 OF 28

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 F:\CADD\1602\1602.dwg, P:\CADD\1602\1602.dwg
 PROJECT STATUS: DESIGN DEVELOPMENT

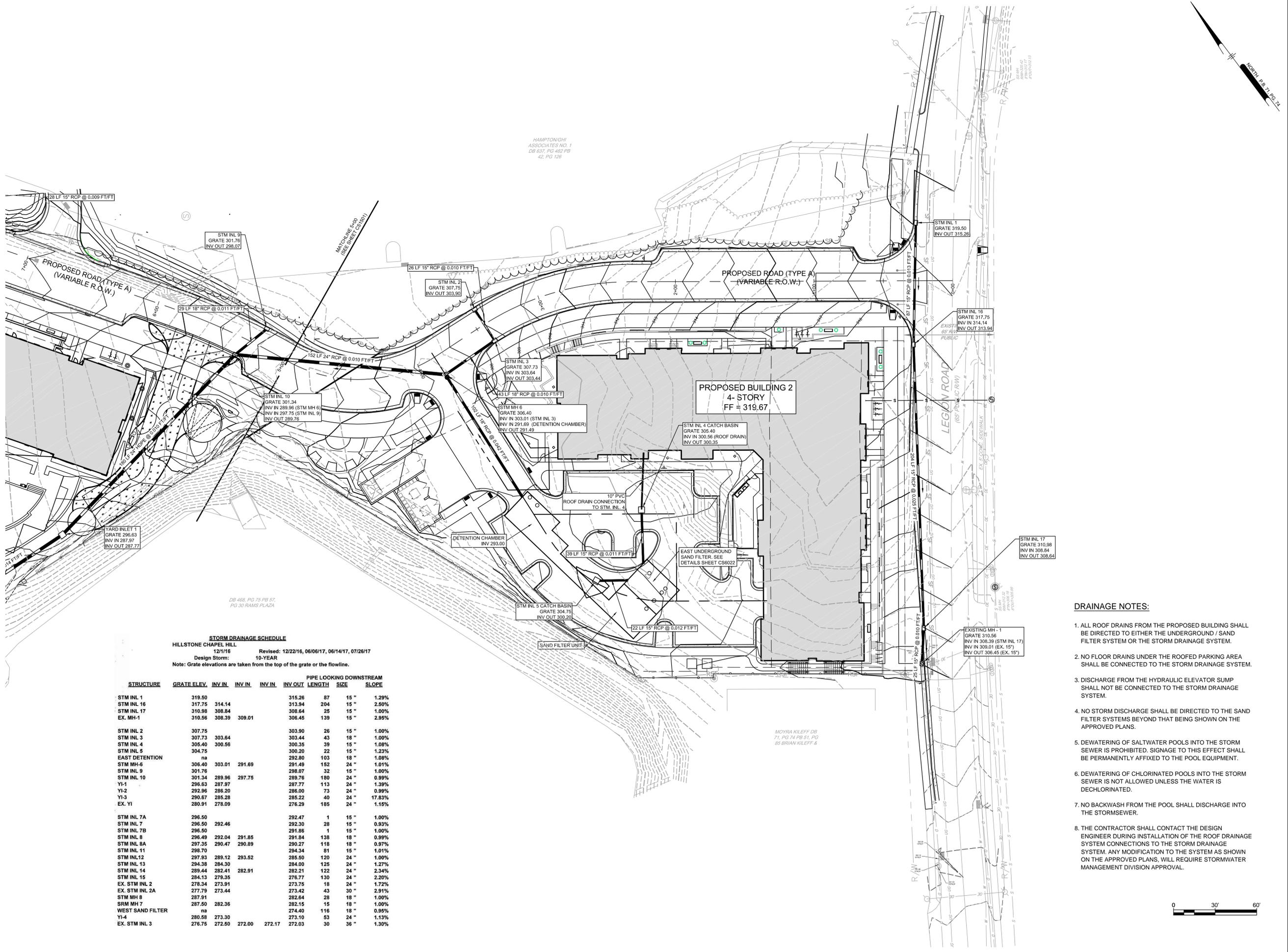
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GRADING PLAN

LEON CAPITAL GROUP
 5970 FAIRVIEW ROAD, SUITE 450
 CHARLOTTE, NORTH CAROLINA 28210

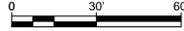


STORM DRAINAGE SCHEDULE
 HILLSTONE CHAPEL HILL
 12/1/16 Revised: 12/22/16, 06/06/17, 06/14/17, 07/26/17
 10-YEAR
 Design Storm:
 Note: Grate elevations are taken from the top of the grate or the flowline.

STRUCTURE	GRATE ELEV.	PIPE LOOKING DOWNSTREAM			LENGTH	SIZE	SLOPE
		INV IN	INV IN	INV OUT			
STM INL 1	319.50			315.26	87	15"	1.29%
STM INL 16	317.75	314.14		313.94	204	15"	2.50%
STM INL 17	310.98	308.84		308.64	25	15"	1.00%
EX. MH-1	310.56	308.39	309.01	308.45	139	15"	2.95%
STM INL 2	307.75			303.90	26	15"	1.00%
STM INL 3	307.73	303.64		303.44	43	18"	1.00%
STM INL 4	305.40	300.56		300.35	39	15"	1.08%
STM INL 5	304.75			300.20	22	15"	1.23%
EAST DETENTION	na			292.80	103	18"	1.08%
STM MH-6	306.40	303.01	291.69	291.49	152	24"	1.01%
STM INL 9	301.76			298.07	32	15"	1.00%
STM INL 10	301.34	289.96	297.75	289.76	180	24"	0.99%
YI-1	296.63	287.97		287.77	113	24"	1.39%
YI-2	292.96	286.20		286.00	73	24"	0.99%
YI-3	290.67	285.28		285.22	40	24"	17.93%
EX. YI	280.91	278.09		278.29	185	24"	1.18%
STM INL 7A	296.50			292.47	1	15"	1.00%
STM INL 7	296.50	292.46		292.30	28	15"	0.93%
STM INL 7B	296.50			291.86	1	15"	1.00%
STM INL 8	296.49	292.04	291.85	291.84	138	18"	0.99%
STM INL 8A	297.34	290.47	290.89	290.27	118	18"	0.97%
STM INL 11	298.70			294.34	81	15"	1.01%
STM INL 12	297.93	289.12	293.52	285.50	120	24"	1.00%
STM INL 13	294.38	284.30		284.00	125	24"	1.27%
STM INL 14	289.44	282.41	282.91	282.21	122	24"	2.34%
STM INL 15	284.13	279.35		276.77	130	24"	2.20%
EX. STM INL 2	278.34	273.91		273.75	18	24"	1.72%
EX. STM INL 2A	277.79	273.44		273.42	43	30"	2.91%
STM MH 8	287.91			282.64	28	18"	1.00%
SRM MH 7	287.50	282.36		282.15	15	18"	1.00%
WEST SAND FILTER	na			274.40	116	18"	0.95%
YI-4	280.58	273.30		273.10	53	24"	1.13%
EX. STM INL 3	276.75	272.50	272.00	272.03	30	36"	1.30%

DRAINAGE NOTES:

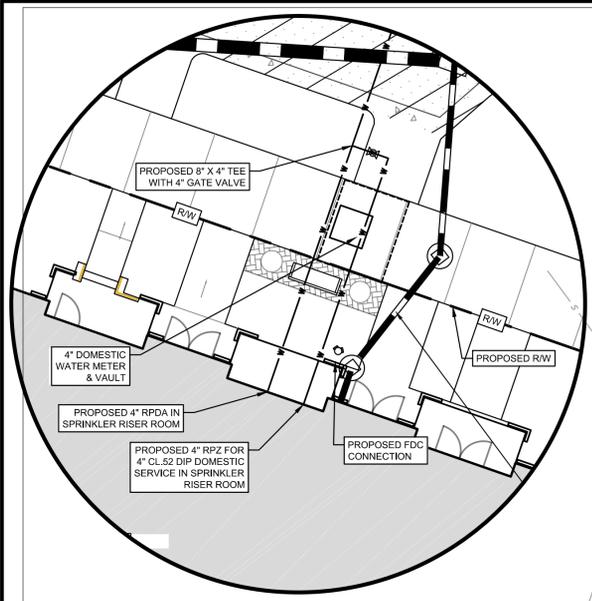
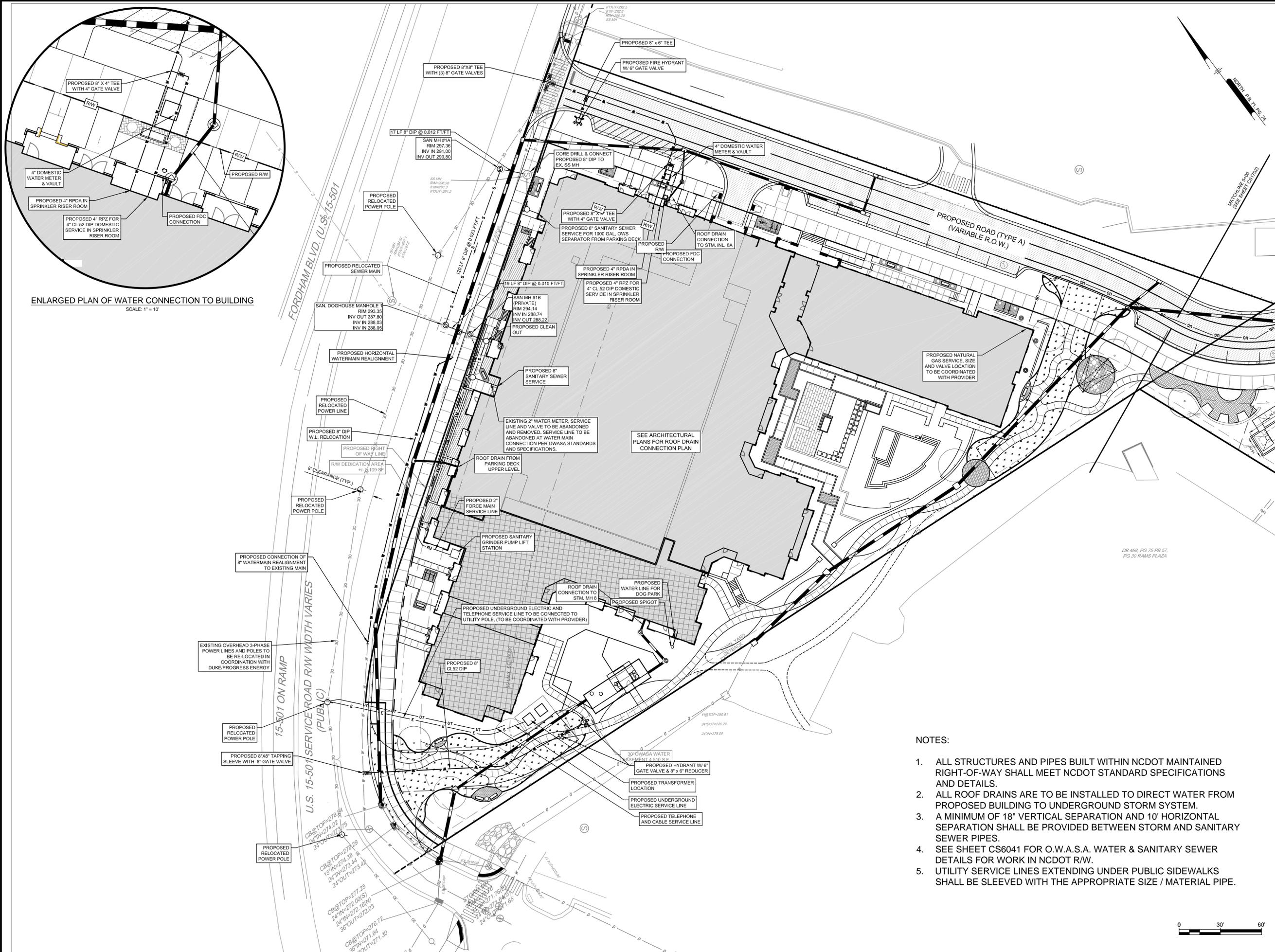
- ALL ROOF DRAINS FROM THE PROPOSED BUILDING SHALL BE DIRECTED TO EITHER THE UNDERGROUND / SAND FILTER SYSTEM OR THE STORM DRAINAGE SYSTEM.
- NO FLOOR DRAINS UNDER THE ROOFED PARKING AREA SHALL BE CONNECTED TO THE STORM DRAINAGE SYSTEM.
- DISCHARGE FROM THE HYDRAULIC ELEVATOR SUMP SHALL NOT BE CONNECTED TO THE STORM DRAINAGE SYSTEM.
- NO STORM DISCHARGE SHALL BE DIRECTED TO THE SAND FILTER SYSTEMS BEYOND THAT BEING SHOWN ON THE APPROVED PLANS.
- DEWATERING OF SALTWATER POOLS INTO THE STORM SEWER IS PROHIBITED. SIGNAGE TO THIS EFFECT SHALL BE PERMANENTLY AFFIXED TO THE POOL EQUIPMENT.
- DEWATERING OF CHLORINATED POOLS INTO THE STORM SEWER IS NOT ALLOWED UNLESS THE WATER IS DECHLORINATED.
- NO BACKWASH FROM THE POOL SHALL DISCHARGE INTO THE STORMSEWER.
- THE CONTRACTOR SHALL CONTACT THE DESIGN ENGINEER DURING INSTALLATION OF THE ROOF DRAINAGE SYSTEM CONNECTIONS TO THE STORM DRAINAGE SYSTEM. ANY MODIFICATION TO THE SYSTEM AS SHOWN ON THE APPROVED PLANS, WILL REQUIRE STORMWATER MANAGEMENT DIVISION APPROVAL.



NO.	DATE	REVISIONS	BY
4	7/31/2017	TOWN COMMENT REVISIONS REVIEW #4	WRA
3	6/15/2017	TOWN COMMENT REVISIONS REVIEW #3	WRA
2	4/7/2017	TOWN COMMENT REVISIONS REVIEW #2	WRA
1	2/29/2017	REVISIONS PER TOWN'S REVIEW COMMENTS	WRA

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PROJECT: LCGR1602
 DATE: DECEMBER 7, 2016
 DRAWING SCALE: 1"=30'
 DRAWN BY: WRA
 APPROVED BY: TAS



ENLARGED PLAN OF WATER CONNECTION TO BUILDING
SCALE: 1" = 10'

- NOTES:
1. ALL STRUCTURES AND PIPES BUILT WITHIN NCDOT MAINTAINED RIGHT-OF-WAY SHALL MEET NCDOT STANDARD SPECIFICATIONS AND DETAILS.
 2. ALL ROOF DRAINS ARE TO BE INSTALLED TO DIRECT WATER FROM PROPOSED BUILDING TO UNDERGROUND STORM SYSTEM.
 3. A MINIMUM OF 18" VERTICAL SEPARATION AND 10' HORIZONTAL SEPARATION SHALL BE PROVIDED BETWEEN STORM AND SANITARY SEWER PIPES.
 4. SEE SHEET CS6041 FOR O.W.A.S.A. WATER & SANITARY SEWER DETAILS FOR WORK IN NCDOT R/W.
 5. UTILITY SERVICE LINES EXTENDING UNDER PUBLIC SIDEWALKS SHALL BE SLEEVED WITH THE APPROPRIATE SIZE / MATERIAL PIPE.

ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND OWNER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK

NOT FOR CONSTRUCTION

SCALA 030517
TIMOTHY A. STREIFELING
REGISTERED PROFESSIONAL ENGINEER
No. 000517

HILLSTONE CHAPEL HILL
1730 FORDHAM BLVD.
CHAPEL HILL, NORTH CAROLINA 27514

UTILITY PLAN

LEON CAPITAL GROUP
5970 FAIRVIEW ROAD, SUITE 450
CHARLOTTE, NORTH CAROLINA 28210

NO.	DATE	REVISIONS	BY
4	7/3/2017	TOWN COMMENT REVISIONS REVIEW #4	WRA
3	6/15/2017	TOWN COMMENT REVISIONS REVIEW #3	WRA
2	4/7/2017	TOWN COMMENT REVISIONS REVIEW #2	WRA
1	2/20/2017	REVISIONS PER TOWN'S REVIEW COMMENTS	WRA

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PROJECT: **LCGR1602**
DATE: **DECEMBER 7, 2016**
DRAWING SCALE: **1" = 30'**
DRAWN BY: **BF**
APPROVED BY: **TAS**

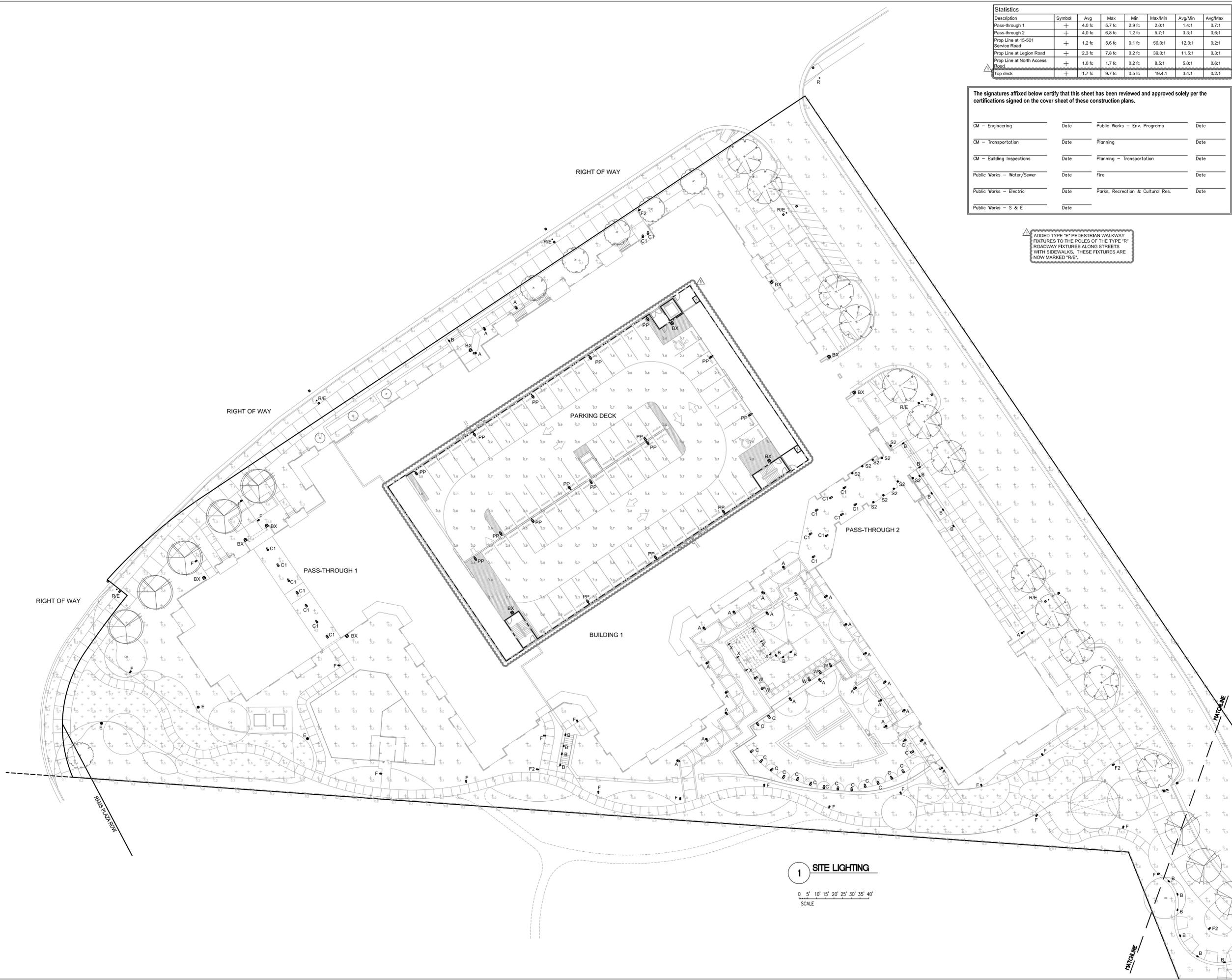
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Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min	Avg/Max
Pass-through 1	+	4.0 fc	5.7 fc	2.9 fc	2.0:1	1.4:1	0.7:1
Pass-through 2	+	4.0 fc	6.8 fc	1.2 fc	5.7:1	3.3:1	0.6:1
Prop Line at 15-501 Service Road	+	1.2 fc	5.6 fc	0.1 fc	56.0:1	12.0:1	0.2:1
Prop Line at Legion Road	+	2.3 fc	7.8 fc	0.2 fc	39.0:1	11.5:1	0.3:1
Prop Line at North Access Road	+	1.0 fc	1.7 fc	0.2 fc	8.5:1	5.0:1	0.6:1
Top deck	+	1.7 fc	9.7 fc	0.5 fc	19.4:1	3.4:1	0.2:1

The signatures affixed below certify that this sheet has been reviewed and approved solely per the certifications signed on the cover sheet of these construction plans.

CM - Engineering	Date	Public Works - Env. Programs	Date
CM - Transportation	Date	Planning	Date
CM - Building Inspections	Date	Planning - Transportation	Date
Public Works - Water/Sewer	Date	Fire	Date
Public Works - Electric	Date	Parks, Recreation & Cultural Res.	Date
Public Works - S & E	Date		

ADDED TYPE "E" PEDESTRIAN WALKWAY FIXTURES TO THE POLES OF THE TYPE "R" ROADWAY FIXTURES ALONG STREETS WITH SIDEWALKS. THESE FIXTURES ARE NOW MARKED "R/E".



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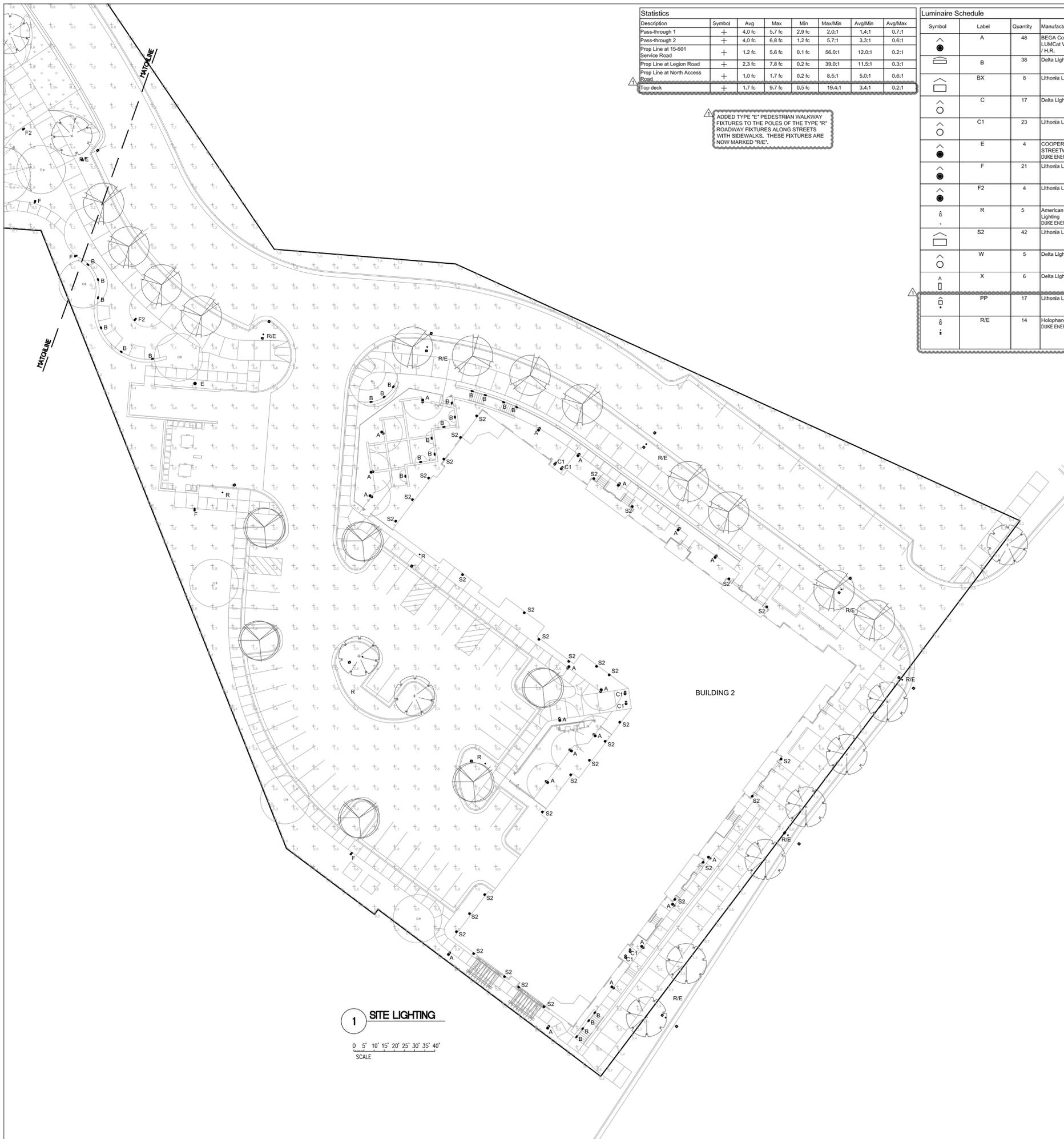
Leon Capital Group
Hillstone - Chapel Hill
 Hendrick Volvo Site
 Chapel Hill, NC



FINAL DRAWING
 FOR REVIEW
 PURPOSES ONLY

PROJECT:	15074	DATE
ISSUE:	Permit Set	06-19-17
REVISIONS:		
1	Site Comments	08-07-17
DRAWN BY:	PSS	
CHECKED BY:	PSS	
CONTENT:	SITE LIGHTING	
	PLAN	

SL1



Statistics							
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min	Avg/Max
Pass-through 1	+	4.0 fc	5.7 fc	2.9 fc	2.0:1	1.4:1	0.7:1
Pass-through 2	+	4.0 fc	6.8 fc	1.2 fc	5.7:1	3.3:1	0.6:1
Prop Line at 15-501 Service Road	+	1.2 fc	5.6 fc	0.1 fc	56.0:1	12.0:1	0.2:1
Prop Line at Legion Road	+	2.3 fc	7.8 fc	0.2 fc	39.0:1	11.5:1	0.3:1
Prop Line at North Access Road	+	1.0 fc	1.7 fc	0.2 fc	8.5:1	5.0:1	0.6:1
Top deck	+	1.7 fc	9.7 fc	0.5 fc	19.4:1	3.4:1	0.2:1

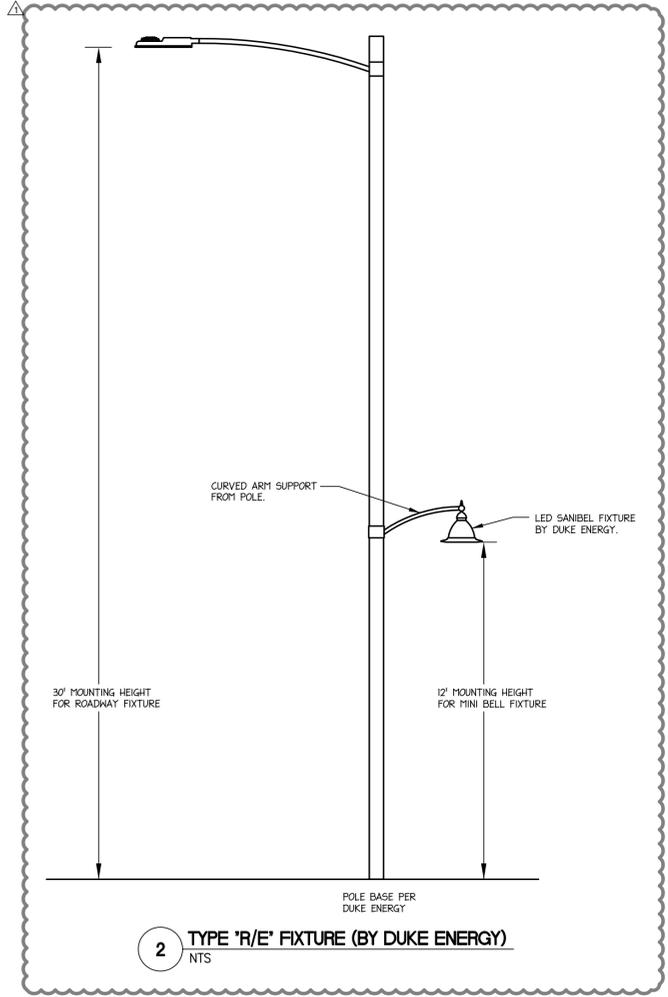
ADDED TYPE "E" PEDESTRIAN WALKWAY FIXTURES TO THE POLES OF THE TYPE "R" ROADWAY FIXTURES ALONG STREETS WITH SIDEWALKS. THESE FIXTURES ARE NOW MARKED "R/E".

Luminaire Schedule										
Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Mounting Height	amp	Number Lamps	Lumens Per Lamp	Wattage
⬆	A	48	BEGA Converted by LUMICA V 19.02.2015 /H.R.		77753	38" BOLLARD	ED 9,2W	1	411,2372	12
⬆	B	38	Lithonia Light NV	304 32 01 83	LOGIC W L	24" RECESSED	ED cluster	1	1270	11
⬆	BX	8	Lithonia Lighting	WST LED P2 30K VF MVOLT	WST LED, Performance package 2, 3000 K, visual comfort forward throw, MVOLT	10'-0"	ED	1	3236.373	25
⬆	C	17	Delta Light NV	304 32 01 83	LOGIC W L	IN-GROUND	ED cluster	1	1270	11
⬆	C1	23	Lithonia Lighting	OLCFM 15 DDB	GENERAL PURPOSE LED CAST FLUSH MOUNT WITH DARK BRONZE FINISH	11'-0" CEILING	ED	1	1042,224	16.6
⬆	E	4	COOPER LIGHTING - STREETWORKS DUKE ENERGY MINI BELL	ARC050650LEDEU33	LED POST TOP TYPE III NO CAGE	12' TO TOP POLE	LED UNIT, 6000CCT, 65CRI	1	559,0323	57.4
⬆	F	21	Lithonia Lighting	KBC8 LED 12C 530 30K ASY MVOLT	KBC8 WITH 3 LIGHT BOARDS (12 LEDs), 530mA DRIVER, 3000K COLOR TEMP. AND ASYMMETRIC OPTIC	42" BOLLARD	ED	1	1622.373	22
⬆	F2	4	Lithonia Lighting	KBC8 LED 16C 530 30K SYM MVOLT	KBC8 WITH 4 LIGHT BOARDS (16 LEDs), 530mA DRIVER, 3000K COLOR TEMP. AND SYMMETRIC OPTIC	42" BOLLARD	ED	1	1253.76	28
⬆	R	5	American Electric Lighting DUKE ENERGY ROADWAY	ATB2 40B LED E10 XXXXX R3 4000K CCT	ATB2 SERIES 148W LED 1A TYPE 3 FROSTED LENS; BROWN	30' TO TOP POLE	50W LED	1	12641.32	146
⬆	S2	42	Lithonia Lighting	OLCS 8 DDB	OUTDOOR CAST SCONCE WDR3 FROSTED LENS; BROWN	7'-0"	ED	1	469,5471	8,93
⬆	W	5	Delta Light NV	304 32 01 83	LOGIC W L	IN-GROUND	ED cluster	1	1270	11
⬆	X	6	Delta Light NV	304 32 01 83	LOGIC W L	7'-0"	ED cluster	1	1270	11
⬆	PP	17	Lithonia Lighting	AS1 4ZTRT SR3	ARCHITECTURAL ARM-MOUNTED CUTOFF LUMINAIRE WITH SPD REFLECTOR, MEETS THE NIGHTTIME FRIENDLY CRITERIA	12' ON WALL OR POLE	ONE 40WATT TRIPLE TUBE COMPACT FLUORESCENT HORIZONTAL POSITION	1	3200	48
⬆	R/E	14	Holophane DUKE ENERGY SANBEL	GBLF 070 4K XXXX L3	ONE TYPE "R" ROADWAY FIXTURE AND ONE SANBEL MOUNTED WITH CURVED ARM SUPPORT AT 12'-0" ON A COMMON POLE. LUMINAIRES TO BE AT 180°.	30' POLE	63 4K LED ARRAY	1	5534.11	70.9

The signatures affixed below certify that this sheet has been reviewed and approved solely per the certifications signed on the cover sheet of these construction plans.

CM - Engineering	Date	Public Works - Env. Programs	Date
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CM - Building Inspections	Date	Planning - Transportation	Date
Public Works - Water/Sewer	Date	Fire	Date
Public Works - Electric	Date	Parks, Recreation & Cultural Res.	Date
Public Works - S & E	Date		

1 SITE LIGHTING
0' 5' 10' 15' 20' 25' 30' 35' 40'
SCALE



2 TYPE "R/E" FIXTURE (BY DUKE ENERGY) NTS

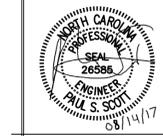
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Leon Capital Group
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Chapel Hill, NC



FINAL DRAWING
FOR REVIEW
PURPOSES ONLY

PROJECT:	DATE
15074	
ISSUE:	DATE
Permit Set	06-19-17
REVISIONS:	DATE
Site Comments	08-07-17

DRAWN BY: PSS
CHECKED BY: PSS
CONTENT: SITE LIGHTING
PLAN

SL2