

DATE	REVISIONS
21 APR 17	ISSUED E-F FIP SUBMITTAL #1

**OWNER INFORMATION**  
 B.M. REALTY ADVISORS  
 1330 CAMDEN RD.  
 CHARLOTTE, NC 28203

**OWNER'S REPRESENTATIVE:**  
 DAVID KLEPNER  
 PH: (704) 377-8773  
 FAX: (704) 377-6920  
 EMAIL: dklepner@bmaltd.com

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**FORDHAM BLVD. APARTMENTS**  
 CHAPEL HILL, NORTH CAROLINA

**E-F FORM DISTRICT PERMIT DRAWINGS**

JOB #: 116026.00  
 DATE: 21 APR 17  
 SCALE: AS NOTED  
 DRAWN BY: D.W.S.  
 REVIEWED BY: G.J.R.

**SHEET**  
**C0101**

**EXISTING CONDITIONS & DEMOLITION NOTES**

- NO LAND DISTURBANCE (AS DEFINED IN TOWN OF CHAPEL HILL LAND USE MANAGEMENT ORDINANCE) WILL BE PERMITTED OUTSIDE OF DISTURBANCE LIMITS.
- EXISTING CONDITIONS SHOWN ARE BASED UPON SITE SURVEYS PERFORMED BY BALENTINE ASSOCIATES, AND UPON GIS INFORMATION PROVIDED BY THE TOWN OF CHAPEL HILL.
- REFER TO SHEET C1301, EROSION CONTROL PLAN, FOR EROSION CONTROL NOTES, CONSTRUCTION SEQUENCE AND MORE INFORMATION ABOUT LIMITS OF DISTURBANCE.
- CONTRACTOR SHALL LOCATE ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION. CONTRACTOR SHALL VERIFY THE DEPTH AND LOCATION OF ALL EXISTING UTILITIES AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR CONFLICTS PRIOR TO BEGINNING CONSTRUCTION. CONTRACTOR SHALL PROTECT ALL UTILITIES DURING CONSTRUCTION.
- UTILITY PROVIDER CONTACTS:
  - DUNE ENERGY: SHANE SMITH - (919) 687-3385
  - PLNG ENERGY: BRIAN SMITH - (919) 598-7454
  - OWASA: NICK PARKER - (919) 537-4201
  - TWC WARNER CABLE: GEORGE STOTLER - (919) 427-5506
  - AT&T: GRANT SMITH - (919) 788-2768
- NEAREST EXISTING FIRE HYDRANTS & BUS SHELTERS SHOWN ON THIS PLAN.
- WATER AND SEWER SERVICES AND GLEANS/TIES TO BE REMOVED, SHALL BE ABANDONED IN ACCORDANCE WITH OWASA REQUIREMENTS.
- ALL UTILITIES TO BE REMOVED/ABANDONED TO BE DONE SO IN ACCORDANCE WITH THE RESPECTIVE PROVIDER REQUIREMENTS (SEE NOTE #5 ABOVE FOR CONTACTS).
- AN ACTIVE FIRE HYDRANT MUST BE MAINTAINED WITHIN 500' OF ALL COMBUSTIBLE MATERIALS (INCLUDING THE EX. BUILDING PRIOR TO DEMO).

**LANDSCAPE PROTECTION NOTES**

- PRIOR TO ANY LAND-DISTURBING ACTIVITY ON SITE, TREE PROTECTION FENCING MUST BE INSTALLED AND A PRE-CONSTRUCTION CONFERENCE HELD WITH THE TOWN'S URBAN FORESTER (FOR APPROVAL OF TREE PROTECTION FENCING LOCATIONS). CONTACT EMILY CAMERON AT 919-969-5114 FOR INSPECTION.
- ANY TREE ROOTS EXPOSED BY CONSTRUCTION WILL BE SEVERED CLEANLY WITH AN APPROPRIATE PRUNING TOOL.
- THE SOIL WITHIN THE CRITICAL ROOT ZONES OF EXISTING TREES TO REMAIN WILL NOT BE DRIVEN ON OR OTHERWISE DISTURBED DURING THE INSTALLATION OF LANDSCAPING.
- A LANDSCAPE PROTECTION SUPERVISOR WHO IS REGISTERED WITH THE TOWN OF CHAPEL HILL WILL BE PRESENT ON SITE AT ALL TIMES WHEN THE FOLLOWING ACTIVITIES ARE TAKING PLACE: CLEARING, GRUBBING, EXCAVATION, GRADING, PREPARING, MOVING OF SOIL, INSTALLATION AND REMOVAL OF TREE PROTECTION FENCING, AND THE DELIVERY TRANSPORTING AND PLACEMENT OF CONSTRUCTION MATERIALS AND EQUIPMENT.

**CONSTRUCTION WASTE NOTES**

- ALL EXISTING STRUCTURES 500 SQUARE FEET AND LARGER IN SIZE SHALL BE ASSESSED PRIOR TO DEMOLITION TO ENSURE COMPLIANCE WITH THE COUNTY'S REGULATED RECYCLABLE MATERIALS ORDINANCE (RMO) AND TO ASSESS THE POTENTIAL FOR DE-CONSTRUCTION AND/OR THE RE-USE OF SALVAGEABLE MATERIALS.
- BY ORANGE COUNTY ORDINANCE, CLEAN WOOD WASTE, SCRAP METAL, AND CORRUGATED CARDBOARD PRESENT IN CONSTRUCTION OR DEMOLITION WASTE MUST BE RECYCLED.
- BY ORANGE COUNTY ORDINANCE, ALL HAULERS OF MIXED CONSTRUCTION AND DEMOLITION WASTE THAT INCLUDES ANY REGULATED RECYCLABLE MATERIALS SHALL BE LICENSED BY ORANGE COUNTY.
- PRIOR TO ANY DEMOLITION OR CONSTRUCTION ACTIVITY ON THE SITE THE APPLICANT SHALL HOLD A PRE-DEMOLITION/PRE-CONSTRUCTION CONFERENCE WITH THE SOLID WASTE STAFF. THIS MAY BE THE SAME PRE-CONSTRUCTION MEETING HELD WITH OTHER DEVELOPMENT/ENFORCEMENT OFFICIALS.
- THE PRESENCE OF ANY ASBESTOS CONTAINING MATERIALS ("ACM") AND/OR OTHER HAZARDOUS MATERIALS IN CONSTRUCTION AND DEMOLITION WASTE SHALL BE HANDLED IN ACCORDANCE WITH ANY AND ALL LOCAL, STATE, AND FEDERAL REGULATIONS AND GUIDELINES.

**DRAWING LEGEND**

SYMBOL/ABBREVIATION		DESCRIPTION
EXISTING	DEMO	
		CATCH BASIN
		POWER POLE
		LIGHT POLE
		SEWER MANHOLE
		DROP INLET
		PROPERTY LINE
		ADJUNCT PROPERTY LINE
		LIMITS OF DISTURBANCE
		FLOODWAY
		JORDAN LAKE BUFFER
		STORM DRAINAGE LINE
		GAS LINE
		SANITARY SEWER
		WATER LINE
		FENCE LINE
		CABLE TV LINE
		TELECOMMUNICATIONS LINE
		UNDERGROUND ELECTRIC LINE
		OVERHEAD ELECTRIC LINE
		MINOR CONTOUR
		MAJOR CONTOUR
		SLOPES LESS THAN 10%
		SLOPES BETWEEN 10% AND 15%
		SLOPES BETWEEN 15% AND 25%
		SLOPES GREATER THAN 25%

**TREE LEGEND**

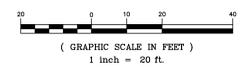
EXISTING	DEMO	DESCRIPTION
		SPECIMEN TREE
		RARE TREE

**TREE TABLE**

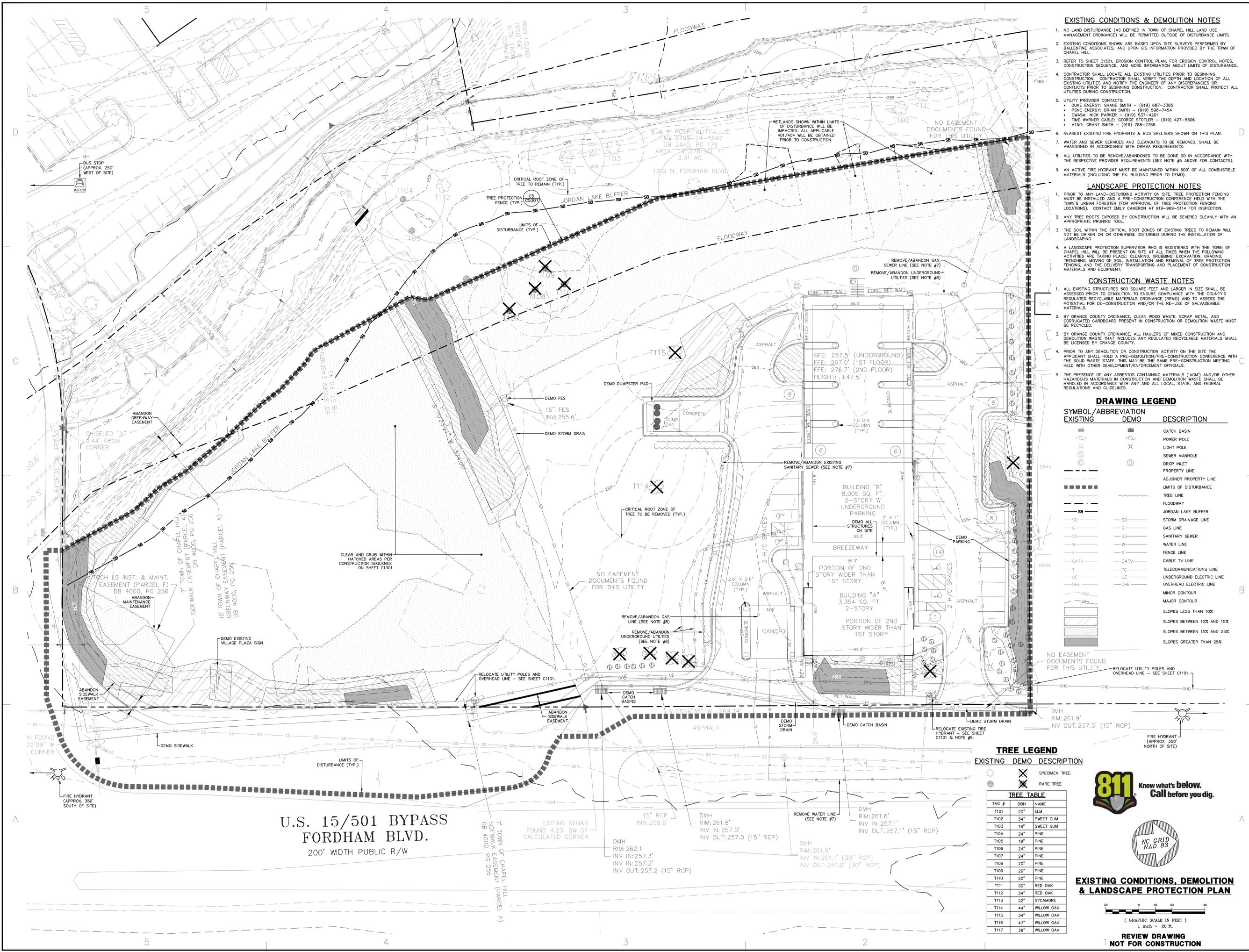
TAG #	DBH	NAME
T101	20"	ELM
T102	34"	SWEET GUM
T103	18"	SWEET GUM
T104	24"	PINE
T105	18"	PINE
T106	24"	PINE
T107	24"	PINE
T108	20"	PINE
T109	26"	PINE
T110	20"	PINE
T111	30"	RED OAK
T112	34"	RED OAK
T113	22"	SYCAMORE
T114	44"	WILLOW OAK
T115	34"	WILLOW OAK
T116	47"	WILLOW OAK
T117	36"	WILLOW OAK



**EXISTING CONDITIONS, DEMOLITION & LANDSCAPE PROTECTION PLAN**



**REVIEW DRAWING**  
**NOT FOR CONSTRUCTION**

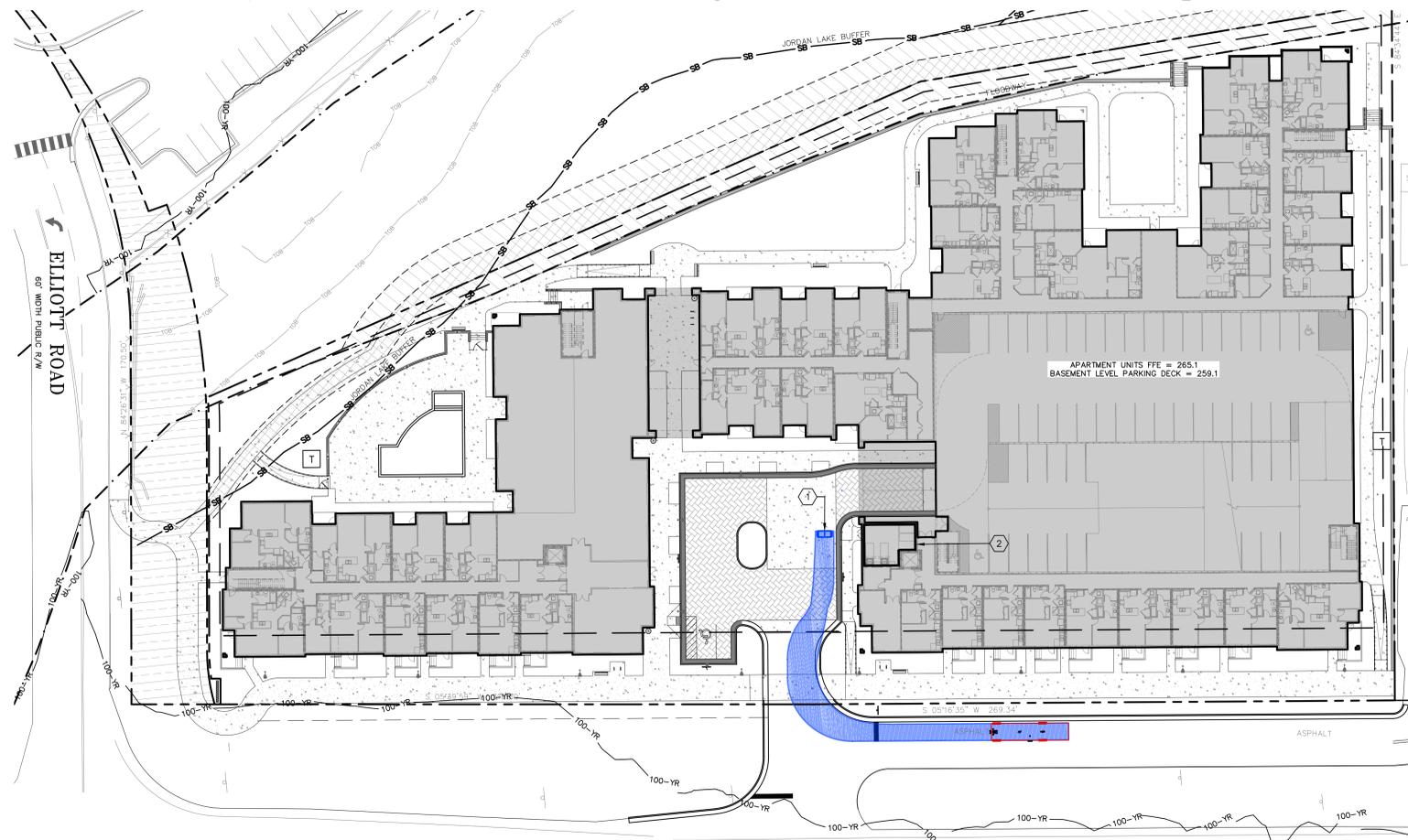


**U.S. 15/501 BYPASS**  
**FORDHAM BLVD.**  
 200' WIDTH PUBLIC R/W

N:\Projects\116026.00 Fordham Blvd Apartments\1\_Digital\Model Files\C0101\_Combi\Fordham.dwg, 4/21/2017 7:29:32 AM, dwg6

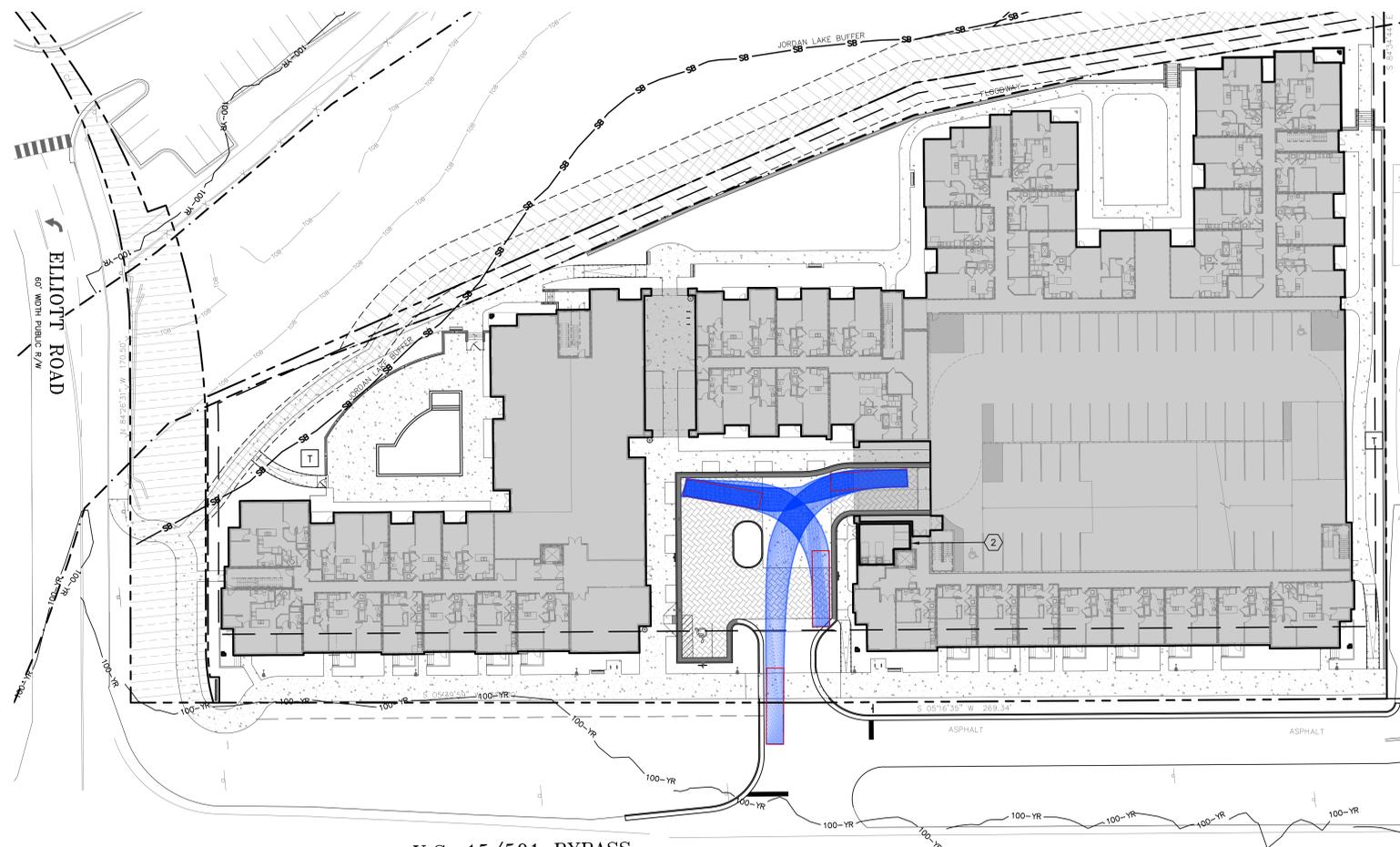






U.S. 15/501 BYPASS  
FORDHAM BLVD.

C2  
C1005 REFUSE PICKUP ENLARGEMENT



U.S. 15/501 BYPASS  
FORDHAM BLVD.

A2  
C1005 REFUSE EXIT ENLARGEMENT

**REFUSE/RECYCLING NOTES**

1. ANY GATE DESIGN WILL INCLUDE GATE RETAINERS.
2. THE USER WILL BE RESPONSIBLE FOR OPENING GATES TO THE DUMPSTER AREA ON COLLECTION DAYS OF ANY MATERIAL(S) TO BE COLLECTED FROM THIS LOCATION.
3. IF ANY VEHICLES ARE PARKED IN THE REFUSE OR RECYCLABLES COLLECTION VEHICLE ACCESS AREA, THE CONTAINERS WILL NOT RECEIVE SERVICE UNTIL THE NEXT SCHEDULED COLLECTION DAY.
4. BY ORANGE COUNTY ORDINANCE, CLEAN WOOD WASTE, SCRAP METAL AND CORRUGATED CARDBOARD, ALL PRESENT IN CONSTRUCTION WASTE, MUST BE RECYCLED.
5. BY ORANGE COUNTY ORDINANCE, ALL HAULERS OF CONSTRUCTION WASTE MUST BE PROPERLY LICENSED.
6. PRIOR TO ANY DEMOLITION OR CONSTRUCTION ACTIVITY ON THE SITE, THE APPLICANT WILL HOLD DECONSTRUCTION ASSESSMENT CONFERENCE SPECIFICALLY CONCERNING THE BUILDINGS TO BE REMOVED FROM THE SITE AND A GENERAL PRE-DEMOLITION/ PRE-CONSTRUCTION CONFERENCE WITH THE COUNTY'S SOLID WASTE STAFF. THIS MAY BE THE SAME MEETING HELD WITH OTHER DEVELOPMENT OFFICIALS.

**PLAN KEY NOTES**

- 1 2 CUBIC YARD REFUSE OR COMMINGLED RECYCLING CONTAINER
- 2 REFUSE AND COMMINGLED RECYCLING COMPACTOR ROOM

**DRAWING LEGEND**

SYMBOL/ABBREVIATION	EXISTING	PROPOSED	DESCRIPTION
---	---	---	PROPERTY LINE / RIGHT-OF-WAY
---	---	---	SETBACK / BTZ LINE
---	---	---	FLOODWAY
SB	---	---	JORDAN LAKE BUFFER
100-YR	---	---	100-YEAR FLOODPLAIN
---	---	---	TOP OF BANK
---	---	---	EASEMENT
---	---	---	GARBAGE TRUCK



**SOLID WASTE MANAGEMENT PLAN**



( GRAPHIC SCALE IN FEET )  
1 inch = 30 ft.

**REVIEW DRAWING**  
**NOT FOR CONSTRUCTION**

**BALLENTINE ASSOCIATES, P.A.**  
221 PROVIDENCE ROAD,  
CHAPEL HILL, NC 27514  
(919) 928 - 0461

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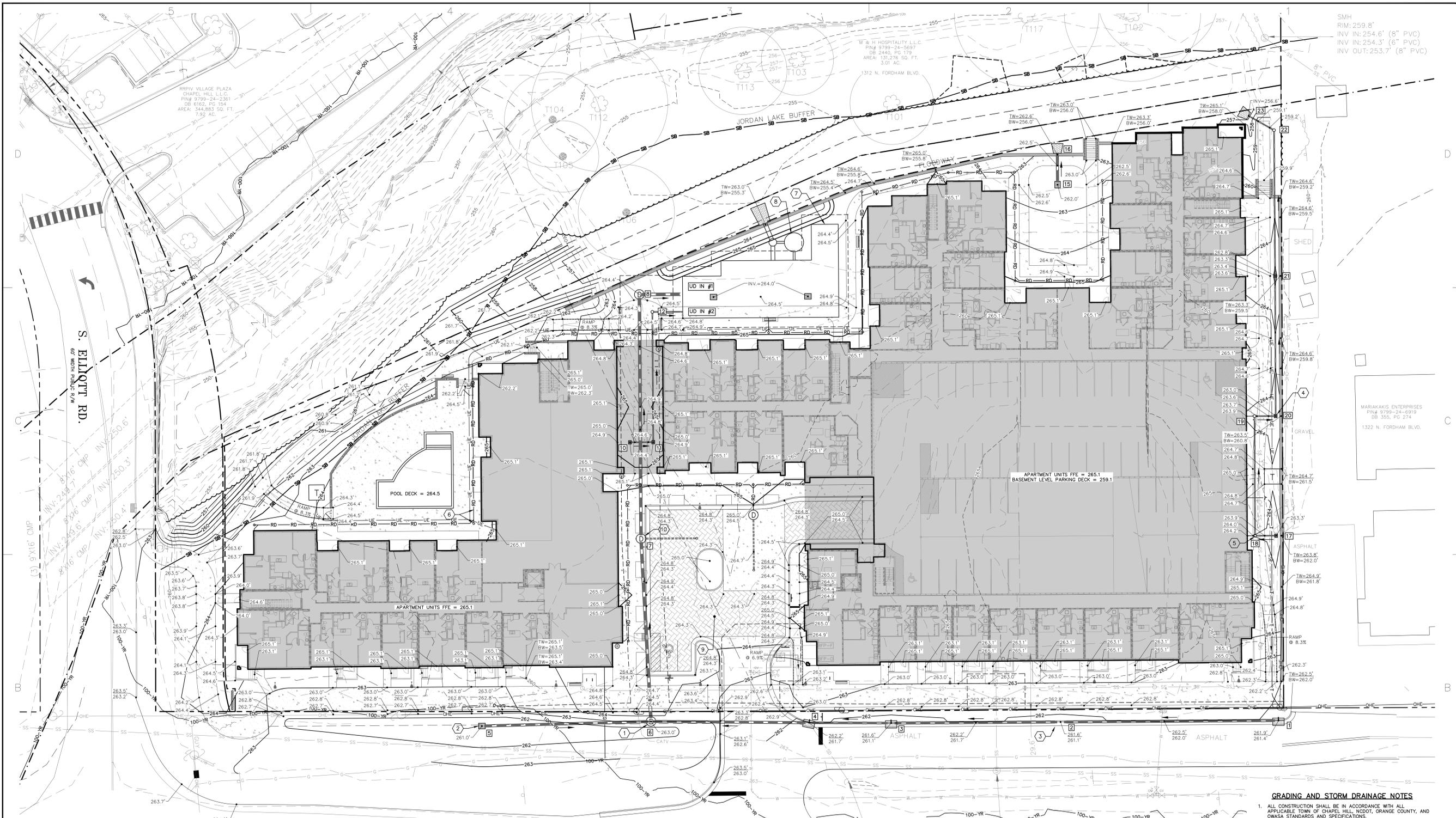
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**U.S. 15/501 BYPASS  
 FORDHAM BLVD.**  
 200' WIDTH PUBLIC R/W

**PLAN KEY NOTES**

#	DESCRIPTION
1	STANDARD JUNCTION BOX & CASTING (TYP.)
2	DROP INLET (TYP.)
3	STANDARD CONCRETE CATCH BASIN (CURB INLET) (TYP.)
4	NDS INLET (TYP.)
5	STORMWATER CLEANOUT (TYP.)
6	ROOF DRAIN CONNECTION & STD. CLEANOUT ASSEMBLY (TYP.)
7	UNDERGROUND DETENTION
8	STORM FILTER
9	PERMEABLE PAVEMENT
10	PERMEABLE PAVEMENT OUTLET STRUCTURE & CASTING

**PIPE TABLE**

US STR	DS STR	DIAMETER (IN)	MATERIAL	US INV. ELEV. (FT)	DS INV. ELEV. (FT)	LENGTH (FT)	SLOPE (FT/FT)
1	2	15	RCP	258.40	258.00	113	0.0035
2	3	15	RCP	258.00	257.60	88	0.0045
3	4	12	RCP	257.60	257.40	43	0.0047
4	6	15	RCP	257.40	257.10	82	0.0037
5	6	15	RCP	258.00	257.10	88	0.0102
6	7	18	RCP	257.10	256.70	96	0.0042
7	8	18	RCP	256.70	256.10	128	0.0047
8	UD IN #1	18	RCP	256.10	256.00	22	0.0044
10	11	6	PVC	261.40	261.20	12	0.0165
11	12	6	PVC	261.20	260.50	68	0.0102
12	UD IN #2	6	PVC	260.50	259.00	16	0.0951
15	16	15	RCP	257.50	256.00	17	0.0909
17	18	6	PVC	261.00	260.90	11	0.0091
18	19	6	PVC	260.90	260.30	63	0.0096
19	20	6	PVC	260.30	260.20	11	0.0091
20	21	6	PVC	260.20	259.50	74	0.0095
21	22	6	PVC	259.50	256.80	76	0.0353
22	23	6	PVC	256.80	256.60	15	0.0132

**STRUCTURE TABLE**

STR. ID	RIM ELEV. (FT)	STRUCTURE TYPE
1	261.40	CB
2	261.10	CB
3	261.10	CB
4	261.70	CB
5	261.00	DI
6	263.00	JB
7	264.80	JB
8	264.40	JB
10	264.40	NDS
11	264.40	NDS
12	264.60	STORM CO
15	262.00	DI
16	256.00	PIPE END
17	263.00	NDS INLET
18	264.00	STORM CO
19	263.80	STORM CO
20	263.00	NDS INLET
21	262.80	NDS INLET
22	259.10	STORM CO
23	256.60	PIPE END
UD IN #1	256.00	UD IN
UD IN #2	259.00	UD IN

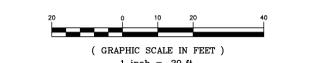
**DRAWING LEGEND**

SYMBOL/ABBREVIATION	EXISTING	PROPOSED	DESCRIPTION
Tree	(Symbol)	(Symbol)	TREE
Manhole	(Symbol)	(Symbol)	SEWER MANHOLE
Junction Box	(Symbol)	(Symbol)	STORM JUNCTION BOX
Drop Inlet	(Symbol)	(Symbol)	DROP INLET
Catch Basin	(Symbol)	(Symbol)	CATCH BASIN
Property Line	(Symbol)	(Symbol)	PROPERTY LINE
Roof Drainage Pipe	(Symbol)	(Symbol)	ROOF DRAINAGE PIPE
Storm Drainage Pipe	(Symbol)	(Symbol)	STORM DRAINAGE PIPE
Gas Line	(Symbol)	(Symbol)	GAS LINE
Sanitary Sewer	(Symbol)	(Symbol)	SANITARY SEWER
Water Line	(Symbol)	(Symbol)	WATER LINE
Fence Line	(Symbol)	(Symbol)	FENCE LINE
Telecommunications Line	(Symbol)	(Symbol)	TELECOMMUNICATIONS LINE
Fiber Optic Line	(Symbol)	(Symbol)	FIBER OPTIC LINE
Underground Electric Line	(Symbol)	(Symbol)	UNDERGROUND ELECTRIC LINE
Easement Line	(Symbol)	(Symbol)	EASEMENT LINE
Minor Contour	(Symbol)	(Symbol)	MINOR CONTOUR
Major Contour	(Symbol)	(Symbol)	MAJOR CONTOUR
Retaining Wall	(Symbol)	(Symbol)	RETAINING WALL
Permeable Pavement Surface	(Symbol)	(Symbol)	PERMEABLE PAVEMENT SURFACE

**GRADING AND STORM DRAINAGE NOTES**

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL APPLICABLE TOWN OF CHAPEL HILL, NCDOT, ORANGE COUNTY, AND OWASA STANDARDS AND SPECIFICATIONS.
- THE PERMEABLE PAVEMENT SYSTEM IS DESIGNED TO MEET NCDOT BMP MANUAL REQUIREMENTS AND THE TOWN OF CHAPEL HILL'S STORMWATER MANAGEMENT REQUIREMENTS, INCLUDING THE JORDAN LAKE RULES.
- SPECIAL CARE IS NEEDED FOR THE SUBGRADE OF THE PERMEABLE PAVEMENT SYSTEMS. REFER TO PROJECT SPECIFICATIONS AND PERMEABLE PAVEMENT SHEETS C4202 FOR ADDITIONAL REQUIREMENTS.
- ALL STORM DRAINAGE PIPING WITH INSIDE DIAMETER OF 15 INCHES AND LARGER SHALL BE CLASS III RCP. SMALLER PIPING MATERIAL IS HDPE OR AS SHOWN.
- A FINAL STORMWATER MANAGEMENT INSPECTION MUST BE SCHEDULED WITH THE TOWN OF CHAPEL HILL STORMWATER DIVISION AT LEAST 10 DAYS IN ADVANCE OF REQUESTING THE CERTIFICATE OF OCCUPANCY.
- PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY THE ENGINEER OF RECORD SHALL SUBMIT AS-BUILT PLANS AND SHALL CERTIFY THAT ALL STORMWATER BMP'S HAVE BEEN CONSTRUCTED PER THE APPROVED CONSTRUCTION PLANS.
- ALL PLANTED PERIMETER BUFFERS TO BE GRADED WITH MAXIMUM GRADE OF 3:1 AS SHOWN.

**GRADING & DRAINAGE PLAN**



**REVIEW DRAWING  
 NOT FOR CONSTRUCTION**



CONSTRUCTION SEQUENCE

- 1. OBTAIN ORANGE COUNTY EROSION CONTROL PERMIT, TOCH APPROVAL, AND ANY APPLICABLE ENCROACHMENT AGREEMENT PERMIT/APPROVAL TO PROCEED.
2. SCHEDULE AND HOLD A PRE-CONSTRUCTION MEETING WITH ORANGE COUNTY EROSION CONTROL (PHONE: 919-968-2586) AND SOLID WASTE MANAGEMENT DEPARTMENT AT LEAST ONE WEEK PRIOR TO BEGINNING CONSTRUCTION. THIS MAY BE THE SAME MEETING HELD WITH OTHER DEVELOPMENT REGULATORS, INCLUDING TOWN OF CHAPEL HILL STAFF.
3. LOCATE ALL EXISTING UTILITIES WITHIN PROJECT AREA (PUBLIC AND PRIVATE).
4. INSTALL CONSTRUCTION ENTRANCE. INSTALL TREE PROTECTION FENCE (SEE C0101), STANDARD SILT FENCE, SILT FENCE STONE OUTLETS, AND INLET PROTECTION AS SHOWN. CALL ORANGE COUNTY EROSION CONTROL AT 919-968-2586 AND TOWN OF CHAPEL HILL PLANNING AT 919-968-2728 FOR AN INSPECTION.
5. DEMO, CLEAR AND GRUB AS NECESSARY TO INSTALL RETAINING WALL, SKIMMER BASIN AND DIVERSION DITCH. COORDINATE WITH UTILITY PROVIDERS AS NEEDED, SEE SHEET C0101.
6. INSTALL RETAINING WALL ALONG WESTERN PROPERTY LINE WITH 24" RCP PIPE AND STORMWATER JUNCTION BOX AS SHOWN.
7. INSTALL SEDIMENT BASIN. THE SEDIMENT BASIN SKIMMER PIPE INTO PROPOSED STORMWATER JUNCTION BOX AS SHOWN.
8. SEED ALL AREAS DISTURBED BY INSTALLATION OF ABOVE MEASURES.
9. CALL ORANGE COUNTY EROSION CONTROL FOR INSPECTION AT 919-968-2586.
10. UPON APPROVAL FROM ORANGE COUNTY AND THE TOWN OF CHAPEL HILL, CLEAR AND GRUB SITE WITHIN DISTURBED LIMITS NOTED ON PLANS. EXISTING STORM DRAIN SYSTEM SHALL REMAIN THROUGHOUT THE CLEARING AND DEMO PROCESS. DEMO BUILDINGS, SIDEWALKS, PAVEMENT, ETC. AND ALL OTHER UTILITIES AS SHOWN ON SHEET C0101. STOCKPILE TOPSOIL IN AREAS DESIGNATED FOR TOPSOIL STOCKPILES.
11. SEE SHEET C1302 FOR PHASE 2 EROSION CONTROL AND CONSTRUCTION SEQUENCE.

EROSION CONTROL & GRADING NOTES

- 1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ORANGE COUNTY AND THE TOWN OF CHAPEL HILL STANDARDS AND SPECIFICATIONS.
2. CONTRACTOR SHALL HAVE NORTH CAROLINA ONE CALL (1-800-632-4949). LOCATE ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION. CONTRACTOR SHALL VERIFY THE DEPTH AND LOCATION OF ALL EXISTING UTILITIES AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR CONFLICTS PRIOR TO BEGINNING CONSTRUCTION.
3. THIS PLAN IS DIAGRAMMATIC AND REPRESENTS THE APPROXIMATE LOCATION OF UTILITIES UNLESS SPECIFICALLY DIMENSIONED. THE CONTRACTOR SHALL COORDINATE THE ACTUAL LOCATION OF UTILITIES TO AVOID CONFLICTS AND MEET MINIMUM SIZE, SLOPE, AND CODE REQUIREMENTS.
4. TOTAL DISTURBED AREA: 3.9 AC. THIS INCLUDES ALL DISTURBANCE REQUIRED FOR FULL SITE CONSTRUCTION.
5. NO BURNING IS PERMITTED.
6. ALL EROSION CONTROL DEVICES, INCLUDING INLET PROTECTION, SHALL BE MAINTAINED AS NEEDED, AT LEAST ONCE A WEEK AND AFTER EVERY RUNOFF PRODUCING RAINFALL EVENT TO ENSURE DEVICES ARE FUNCTIONING PROPERLY.
7. CONTRACTOR SHALL INSPECT THE EROSION AND SEDIMENT CONTROL DEVICES DAILY, MAKE ANY NECESSARY REPAIRS OR ADJUSTMENTS TO THE DEVICES, AND MAINTAIN INSPECTION LOGS DOCUMENTING THE DAILY INSPECTIONS AND ANY NECESSARY REPAIRS.
8. CONTRACTOR SHALL TAKE APPROPRIATE MEASURES TO PREVENT AND REMOVE THE DEPOSIT OF SILT ON ADJACENT PAVED ROADWAYS.
9. SUFFICIENT EROSION CONTROL PRACTICES MUST BE INSTALLED AND MAINTAINED TO RETAIN SEDIMENT WITHIN THE BOUNDARIES OF DISTURBANCE. ALL DISTURBED AREAS SHALL BE NON-EROSIVE AND STABLE AS DESCRIBED IN THE GROUND STABILIZATION REQUIREMENTS TABLE (THIS SHEET).
10. ROUGH GRADING IN AREAS OF PERMEABLE PAVEMENT IS INTENTIONALLY SHOWN HIGHER THAN SUBGRADE TO PROVIDE POSITIVE DRAINAGE AND PROTECTION OF SUBGRADE DURING CONSTRUCTION.
11. TOPSOIL STOCKPILE AREAS SHALL HAVE A MAXIMUM HEIGHT OF 15' WITH SIDE SLOPES NO STEEPER THAN 3:1.

CONSTRUCTION MANAGEMENT NOTES

- 1. CONSTRUCTION SHALL COMPLY WITH THE CHAPEL HILL NOISE ORDINANCE, ARTICLE 3, SECTION 11-40.
2. CONSTRUCTION HOURS SHALL BE FROM 8:00 AM - 7:00 PM ON WEEKDAYS AND 10:00 AM - 7:00 PM ON SATURDAYS. THERE SHALL BE NO CONSTRUCTION ACTIVITIES ON SUNDAYS OR ON FEDERAL HOLIDAYS.
3. ALL CONSTRUCTION EQUIPMENT SHALL BE OPERATED IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS, AND WITH ALL STANDARD EQUIPMENT, AND WITH MANUFACTURER'S MUFFLERS AND NOISE-REDUCING EQUIPMENT IN USE, AND IN PROPER OPERATING CONDITION.
4. NO BLASTING OR BURNING ARE PERMITTED ON SITE.
5. A WATER TRUCK SHALL BE USED TO MINIMIZE DUST.
6. CONTRACTOR SHALL TAKE APPROPRIATE MEASURES TO PREVENT AND REMOVE THE DEPOSIT OF SILT ON ADJACENT PAVED ROADWAYS.
7. CONSTRUCTION WORKERS SHALL PARK WITHIN THE SITE - NO PARKING ON PUBLIC STREETS.
8. CONSTRUCTION VEHICLES TO ACCESS THE SITE FROM FORDHAM BOULEVARD.
9. EMERGENCY VEHICLE ACCESS SHALL BE MAINTAINED FROM FORDHAM BOULEVARD.
10. NO MATERIAL SHALL BE STOCKPILED OR STORED ON OWASA WATER OR SEWER EASEMENTS.
11. CONTRACTOR SHALL USE COMMERCIAL REASONABLE EFFORTS TO ENSURE THAT LIGHT FROM CONSTRUCTION-RELATED ACTIVITIES DOES NOT SPILL OVER ONTO ADJACENT PARCELS WITHIN THE NORTHWOODS NEIGHBORHOOD.

SEEDING SCHEDULE

Table with columns: DATE, TYPE, PLANTING RATE. Includes rows for AUG 1 - NOV 1, NOV 1 - MAR 1, MAR 1 - APR 15, APR 15 - JUN 30, JUN 1 - SEP 1, SEP 1 - MAR 1, NOV 1 - MAR 1.

SHOULDERS, SIDE DITCHES, SLOPES (MAX. 3:1)

Table with columns: DATE, TYPE, PLANTING RATE. Includes rows for MAR 1 - JUN 1, MAR 1 - APR 15, MAR 1 - JUN 30, APR 15 - JUN 30, JUN 1 - SEP 1, SEP 1 - MAR 1, NOV 1 - MAR 1.

GROUND STABILIZATION REQUIREMENTS

Table with columns: SITE AREA DESCRIPTION, STABILIZATION TIME FRAME, STABILIZATION TIME FRAME EXCEPTIONS. Includes rows for PERIMETER DIKES, SWALES, DITCHES, AND SLOPES; HIGH QUALITY WATER (HOW) ZONES; SLOPES STEEPER THAN 3:1; SLOPES 3:1 OR FLATTER; ALL OTHER AREAS WITH SLOPES FLATTER THAN 4:1.

PLAN KEY NOTES

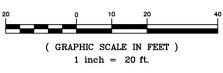
- A1 CS301 TEMPORARY SILT FENCE (TYP.)
A2 CS301 TEMPORARY SILT FENCE STONE OUTLET (TYP.)
A3 CS301 TEMPORARY TREE PROTECTION FENCE (TYP.)
A4 CS301 TEMPORARY GRAVEL INLET PROTECTION (TYP.)
A5 CS301 TEMPORARY SEDIMENT BASIN #1
A6 CS301 TEMPORARY DIVERSION DITCH #1.1
A7 CS301 TEMPORARY CONSTRUCTION ENTRANCE
A8 CS301 TEMPORARY TOPSOIL STOCKPILE AREA
A9 CS301 RIP RAP APRON

DRAWING LEGEND

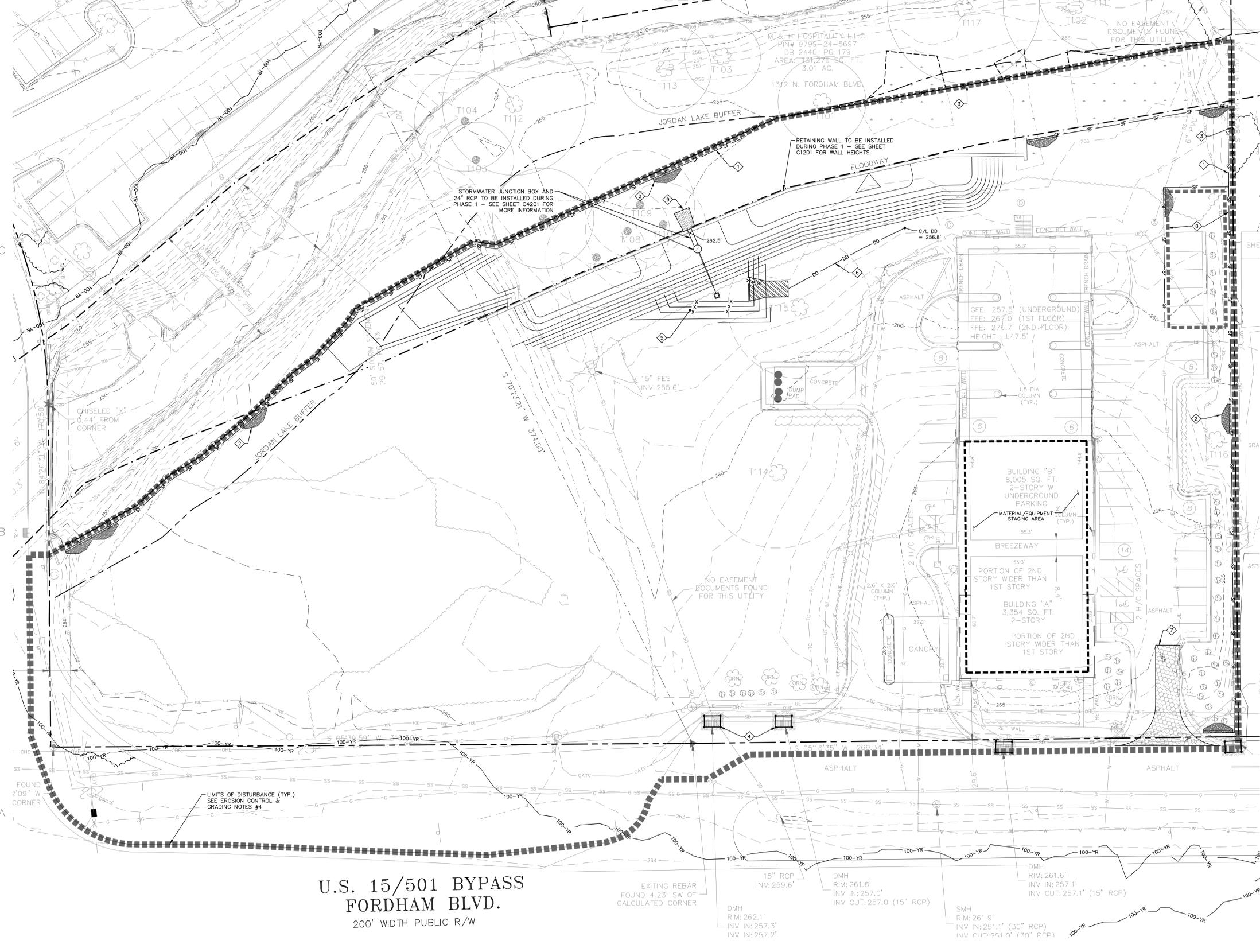
Table with columns: SYMBOL/ABBREVIATION, EXISTING, PROPOSED, DESCRIPTION. Includes symbols for MAJOR CONTOUR, MINOR CONTOUR, PROPERTY LINE, RIGHT-OF-WAY LINE, FENCE LINE, OVERHEAD ELECTRIC LINE, WATER LINE, SANITARY SEWER LINE, STORM SEWER LINE/STRUCTURE, GAS LINE, TELECOMMUNICATIONS LINE, TOP OF BANK, LIMITS OF DISTURBANCE, TEMPORARY SILT FENCE OUTLET, TEMPORARY SILT FENCE, TEMPORARY TREE PROTECTION FENCE, TEMPORARY DIVERSION DITCH, CONSTRUCTION ENTRANCE, TEMPORARY SILT SACK INLET PROTECTION, TEMPORARY GRAVEL INLET PROTECTION.



PHASE 1 EROSION CONTROL PLAN



REVISION DRAWING NOT FOR CONSTRUCTION



U.S. 15/501 BYPASS FORDHAM BLVD. 200' WIDTH PUBLIC R/W

EXITING REBAR FOUND 4.23' SW OF CALCULATED CORNER
15" RCP INV: 259.6'
DMH RIM: 261.8' INV IN: 257.0' INV OUT: 257.0' (15" RCP)
SMH RIM: 261.9' INV IN: 251.1' (30" RCP) INV OUT: 251.0' (30" RCP)
DMH RIM: 261.6' INV IN: 257.1' INV OUT: 257.1' (15" RCP)

BALENTINE ASSOCIATES, P.A. 221 PROVIDENCE ROAD, CHAPEL HILL, N.C. 27514 (919) 489-0481



Table with columns: DATE, REVISIONS. Includes entries for 21 APR 17 and 21 APR 17.

OWNER INFORMATION: BMM REALTY ADVISORS 1930 CAMDEN RD. CHARLOTTE, NC 28203

OWNERS REPRESENTATIVE: DAVID KLEPSEK PH: (704) 377-8773 FAX: (704) 377-6920 EMAIL: dklepsek@bmmrealty.com

Table with columns: DATE, ISSUED. Includes entries for 21 APR 17 and E-F TYP SUBMITTAL #1.

FORDHAM BLVD. APARTMENTS CHAPEL HILL, NORTH CAROLINA E-F FORM DISTRICT PERMIT DRAWINGS

JOB #: 116026.00 DATE: 21 APR 17 SCALE: AS NOTED DRAWN BY: D.W.S. REVIEWED BY: G.J.R.

SHEET C1301

**CONSTRUCTION SEQUENCE**

1. MAINTAIN ALL ACTIVE EROSION CONTROL DEVICES THROUGHOUT CONSTRUCTION PER DETAILS AND NOTES ON SHEETS C5301 AND C5302.
2. DEMO EXISTING STORM SYSTEM ON SITE AND PROVIDE POSITIVE DRAINAGE TOWARDS SEDIMENT BASIN.
3. ROUGH GRADE SITE AS SHOWN ON THIS PLAN. INSTALL ON-SITE STORM DRAINAGE NETWORK AT THE APPROPRIATE TIME. INSTALL INLET PROTECTION AROUND COMPLETED STORM STRUCTURES.
4. STONE BUILDING PADS WHEN SUBGRADE IS ESTABLISHED.
5. SEED ALL DISTURBED AREAS IN ACCORDANCE WITH THE GROUND STABILIZATION REQUIREMENTS TABLE LOCATED ON THIS SHEET.
6. ONCE THE BUILDING PADS ARE STABILIZED & GROUND COVER HAS BEEN ESTABLISHED, CALL FOR AN ON-SITE INSPECTION BY THE ORANGE COUNTY EROSION CONTROL OFFICER (919-968-2586).
7. IF APPROVED, INSTALL ON-SITE STORM DRAINAGE SYSTEM WITH INLET PROTECTIONS. REMOVE SEDIMENT BASIN AND SKIMMER PIPE. CONSTRUCT REMAINING SITE IMPROVEMENTS.
8. WHEN CONSTRUCTION IS COMPLETE AND ALL AREAS ARE STABILIZED, CALL FOR AN ON-SITE INSPECTION BY THE ORANGE COUNTY EROSION CONTROL OFFICER.
9. IF THE SITE IS APPROVED, REMOVE ALL REMAINING EROSION CONTROL DEVICES, AND SEED ANY REMAINING DISTURBED AREAS.
10. WHEN VEGETATION IS ESTABLISHED, CALL FOR FINAL SITE INSPECTION.

**EROSION CONTROL & GRADING NOTES**

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ORANGE COUNTY AND THE TOWN OF CHAPEL HILL STANDARDS AND SPECIFICATIONS.
2. CONTRACTOR SHALL HAVE NORTH CAROLINA ONE CALL (1-800-632-4949). LOCATE ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION. CONTRACTOR SHALL VERIFY THE DEPTH AND LOCATION OF ALL EXISTING UTILITIES AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR CONFLICTS PRIOR TO BEGINNING CONSTRUCTION.
3. THIS PLAN IS DIAGRAMMATIC AND REPRESENTS THE APPROXIMATE LOCATION OF UTILITIES UNLESS SPECIFICALLY DIMENSIONED. THE CONTRACTOR SHALL COORDINATE THE ACTUAL LOCATION OF UTILITIES TO AVOID CONFLICTS AND MEET MINIMUM SIZE, SLOPE, AND CODE REQUIREMENTS.
4. TOTAL DISTURBED AREA: 3.9 AC. THIS INCLUDES ALL DISTURBANCE REQUIRED FOR FULL SITE CONSTRUCTION.
5. NO BURNING IS PERMITTED.
6. ALL EROSION CONTROL DEVICES, INCLUDING INLET PROTECTION, SHALL BE MAINTAINED AS NEEDED, AT LEAST ONCE A WEEK AND AFTER EVERY RUNOFF PRODUCING RAINFALL EVENT TO ENSURE DEVICES ARE FUNCTIONING PROPERLY.
7. CONTRACTOR SHALL INSPECT THE EROSION AND SEDIMENT CONTROL DEVICES DAILY, MAKE ANY NECESSARY REPAIRS OR ADJUSTMENTS TO THE DEVICES, AND MAINTAIN INSPECTION LOGS DOCUMENTING THE DAILY INSPECTIONS AND ANY NECESSARY REPAIRS.
8. CONTRACTOR SHALL TAKE APPROPRIATE MEASURES TO PREVENT AND REMOVE THE DEPOSIT OF SILT ON ADJACENT PAVED ROADWAYS.
9. SUFFICIENT EROSION CONTROL PRACTICES MUST BE INSTALLED AND MAINTAINED TO RETAIN SEDIMENT WITHIN THE BOUNDARIES OF DISTURBANCE. ALL DISTURBED AREAS SHALL BE NON-EROSIVE AND STABLE AS DESCRIBED IN THE GROUND STABILIZATION REQUIREMENTS TABLE (THIS SHEET).
10. ROUGH GRADING IN AREAS OF PERMEABLE PAVEMENT IS INTENTIONALLY SHOWN HIGHER THAN SUBGRADE TO PROVIDE POSITIVE DRAINAGE AND PROTECTION OF SUBGRADE DURING CONSTRUCTION.
11. TOPSOIL STOCKPILE AREAS SHALL HAVE A MAXIMUM HEIGHT OF 15' WITH SIDE SLOPES NO STEEPER THAN 3:1.

**CONSTRUCTION MANAGEMENT NOTES**

1. CONSTRUCTION SHALL COMPLY WITH THE CHAPEL HILL NOISE ORDINANCE, ARTICLE 3, SECTION 11-40.
2. CONSTRUCTION HOURS SHALL BE FROM 8:00 AM - 7:00 PM ON WEEKDAYS AND 10:00 AM - 7:00 PM ON SATURDAYS. THERE SHALL BE NO CONSTRUCTION ACTIVITIES ON SUNDAYS OR ON FEDERAL HOLIDAYS.
3. ALL CONSTRUCTION EQUIPMENT SHALL BE OPERATED IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS, AND WITH ALL STANDARD EQUIPMENT, AND WITH MANUFACTURER'S MUFFLERS AND NOISE-REDUCING EQUIPMENT IN USE, AND IN PROPER OPERATING CONDITION.
4. NO BLASTING OR BURNING ARE PERMITTED ON SITE.
5. A WATER TRUCK SHALL BE USED TO MINIMIZE DUST.
6. CONTRACTOR SHALL TAKE APPROPRIATE MEASURES TO PREVENT AND REMOVE THE DEPOSIT OF SILT ON ADJACENT PAVED ROADWAYS.
7. CONSTRUCTION WORKERS SHALL PARK WITHIN THE SITE - NO PARKING ON PUBLIC STREETS.
8. CONSTRUCTION VEHICLES TO ACCESS THE SITE FROM FORDHAM BOULEVARD.
9. EMERGENCY VEHICLE ACCESS SHALL BE MAINTAINED FROM FORDHAM BOULEVARD.
10. NO MATERIAL SHALL BE STOCKPILED OR STORED ON OWSA WATER OR SEWER EASEMENTS.
11. CONTRACTOR SHALL USE COMMERCIAL REASONABLE EFFORTS TO ENSURE THAT LIGHT FROM CONSTRUCTION-RELATED ACTIVITIES DOES NOT SPILL OVER ONTO ADJACENT PARCELS WITHIN THE NORTHWOODS NEIGHBORHOOD.

**SEEDING PREPARATION**

1. CHISEL COMPACTED AREAS AND SPREAD TOPSOIL 3 INCHES DEEP OVER ADVERSE SOIL CONDITIONS, IF APPLICABLE.
2. RIP THE ENTIRE AREA TO 6 INCHES DEEP.
3. REMOVE ALL LOOSE ROCK, ROOTS, AND OTHER OBSTRUCTIONS LEAVING SURFACE REASONABLY SMOOTH AND UNIFORM.
4. APPLY AGRICULTURAL LIME, FERTILIZER, AND SUPERPHOSPHATE UNIFORMLY AND MIX WITH SOIL (SEE BELOW\*).
5. CONTINUE TILLAGE UNTIL WELL PULVERIZED, FIRM, REASONABLY UNIFORM SEEDBED IS PREPARED 4 TO 6 INCHES DEEP.
6. SEED ON FRESHLY PREPARED SEEDBED AND COVER SLIGHTLY WITH SEEDING EQUIPMENT OR CULTIPACK AFTER SEEDING.
7. MULCH IMMEDIATELY AFTER SEEDING AND ANCHOR MULCH.
8. INSPECT ALL SEEDING AREAS AND MAKE NECESSARY REPAIRS OR RESEEDINGS WITHIN THE PLANTING SEASON, IF POSSIBLE. IF STAND SHOULD BE OVER 60% DAMAGED, REESTABLISH FOLLOWING ORIGINAL LIME, FERTILIZER AND SEEDING RATES.

\* APPLY: AGRICULTURAL LIMESTONE - 2 TONS/AC (3 TONS/AC IN CLAY SOILS) FERTILIZER - 1,000 LBS/ACRE - 10-10-10 SUPERPHOSPHATE - 500 LBS/ACRE - 20% ANALYSIS MULCH - 2 TONS/ACRE - SMALL GRAIN STRAW ANCHOR - ASPHALT EMULSION @ 300 GALS/ACRE

**SEEDING SCHEDULE**

DATE	TYPE	PLANTING RATE
AUG 1 - NOV 1	TALL FESCUE	120 LBS/ACRE
NOV 1 - MAR 1	TALL FESCUE & ABRUZZI RYE	120 LBS/ACRE
MAR 1 - APR 15	TALL FESCUE	25 LBS/ACRE
APR 15 - JUN 30	TALL FESCUE AND HULLED COMMON BERMUDAGRASS	120 LBS/ACRE
JUL 1 - AUG 15	TALL FESCUE AND BROWNTOWN MILLET	60 LBS/ACRE
	**SR SORGHUM-SUDAN HYBRIDS	35 LBS/ACRE
	**SR SORGHUM-SUDAN HYBRIDS	30 LBS/ACRE
<b>SLOPES (3:1 TO 2:1)</b>		
MAR 1 - JUN 1	SERICEA LESPEDEZA (SCARIFIED) & TALL FESCUE	50 LBS/ACRE
(MAR 1 - APR 15)	OR ADD WEEPING LOVEGRASS	60 LBS/ACRE
(MAR 1 - JUN 30)	OR ADD HULLED COMMON BERMUDAGRASS	5 LBS/ACRE
APR 15 - JUN 30	HULLED COMMON BERMUDAGRASS	8 LBS/ACRE
JUN 1 - SEP 1	TALL FESCUE AND BROWNTOWN MILLET	12 LBS/ACRE
	**SR SORGHUM-SUDAN HYBRIDS	60 LBS/ACRE
	**SR SORGHUM-SUDAN HYBRIDS	35 LBS/ACRE
SEP 1 - MAR 1	SERICEA LESPEDEZA (UNHULLED - SCARIFIED) AND TALL FESCUE	30 LBS/ACRE
(NOV 1 - MAR 1)	ADD ABRUZZI RYE	70 LBS/ACRE
		25 LBS/ACRE

**GROUND STABILIZATION REQUIREMENTS**

(PER NPDES CONSTRUCTION STORMWATER GENERAL PERMIT NCG010000)

SITE AREA DESCRIPTION	STABILIZATION TIME FRAME	STABILIZATION TIME FRAME EXCEPTIONS
PERIMETER DIKES, SWALES, DITCHES, AND SLOPES	7	NONE
HIGH QUALITY WATER (HOW) ZONES	7	NONE
SLOPES STEEPER THAN 3:1	7	IF SLOPES ARE 10' OR LESS IN LENGTH AND ARE NOT STEEPER THAN 2:1, 14 DAYS ARE ALLOWED
SLOPES 3:1 OR FLATTER	14	7 DAYS FOR SLOPES GREATER THAN 50 FEET IN LENGTH
ALL OTHER AREAS WITH SLOPES FLATTER THAN 4:1	14	NONE (EXCEPT FOR PERIMETERS AND HOW ZONES)

\* EXTENSIONS OF TIME MAY BE APPROVED BY THE PERMITTING AUTHORITY BASED ON WEATHER OR OTHER SITE-SPECIFIC CONDITIONS THAT MAKE COMPLIANCE IMPRACTICABLE\* (SECTION 11B (2)(5))

**PLAN KEY NOTES**

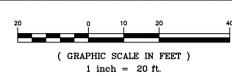
- A1 (C5301) TEMPORARY SILT FENCE (TYP.)
- C1 (C5301) TEMPORARY SILT FENCE STONE OUTLET (TYP.)
- C1 (C5301) TEMPORARY TREE PROTECTION FENCE (TYP.)
- C2 (C5301) TEMPORARY GRAVEL INLET PROTECTION (TYP.)
- A3 (C1303) TEMPORARY SEDIMENT BASIN #1
- A4 (C5301) TEMPORARY DIVERSION DITCH #1.1
- A5 (C5301) TEMPORARY CONSTRUCTION ENTRANCE
- C1 (C5301) TEMPORARY TOPSOIL STOCKPILE AREA
- A2 (C5301) RIP RAP APRON

**DRAWING LEGEND**

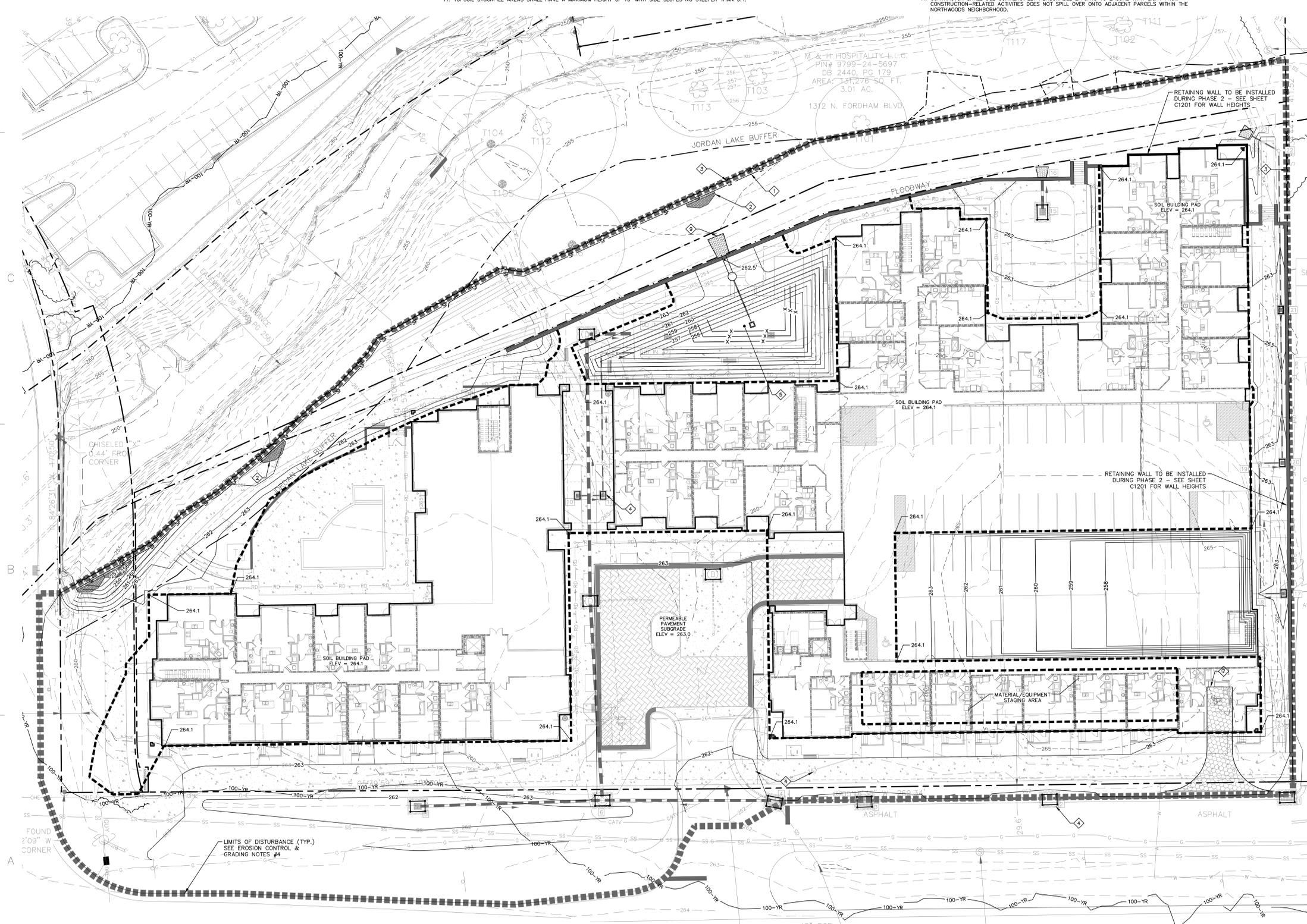
SYMBOL/ABBREVIATION	EXISTING	PROPOSED	DESCRIPTION
-280-	-280-	-280-	MAJOR CONTOUR
-282-	-282-	-282-	MINOR CONTOUR
---	---	---	PROPERTY LINE
---	---	---	RIGHT-OF-WAY LINE
-X-	-X-	-X-	FENCE LINE
-O-E-	-O-E-	-O-E-	OVERHEAD ELECTRIC LINE
-W-	-W-	-W-	WATER LINE
-SS-	-SS-	-SS-	SANITARY SEWER LINE
-SD-	-SD-	-SD-	STORM SEWER LINE/STRUCTURE
-G-	-G-	-G-	GAS LINE
-TC-	-TC-	-TC-	TELECOMMUNICATIONS LINE
-100-	-100-	-100-	TOP OF BANK
---	---	---	LIMITS OF DISTURBANCE
---	---	---	TEMPORARY SILT FENCE OUTLET
SF	SF	SF	TEMPORARY SILT FENCE
TPF	TPF	TPF	TEMPORARY TREE PROTECTION FENCE
DD	DD	DD	TEMPORARY DIVERSION DITCH
---	---	---	CONSTRUCTION ENTRANCE
---	---	---	TEMPORARY SILT SACK INLET PROTECTION
---	---	---	TEMPORARY GRAVEL INLET PROTECTION



**PHASE 2 EROSION CONTROL PLAN**



REVIEW DRAWING NOT FOR CONSTRUCTION



U.S. 15/501 BYPASS  
 FORDHAM BLVD.  
 200' WIDTH PUBLIC R/W

EXITING REBAR FOUND 4.23' SW OF CALCULATED CORNER  
 15" RCP INV: 259.6'  
 SMH RIM: 261.9' INV IN: 251.1' (30" RCP) INV OUT: 251.0' (30" RCP)

**BALLENTINE ASSOCIATES, P.A.**  
 221 PROVEDENCE ROAD, CHAPEL HILL, N.C. 27514  
 (919) 489-0481

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REGISTERED PROFESSIONAL ENGINEER  
 CIVIL ENGINEER  
 STATE OF NORTH CAROLINA  
 NO. 17000  
 DATE: 04/24/17

DATE	REVISIONS
21 APR 17	ISSUED E-F FORM SUBMITTAL #1

OWNER INFORMATION  
 B&M REALTY ADVISORS  
 1330 CAMDEN RD.  
 CHARLOTTE, NC 28203

OWNER'S REPRESENTATIVE:  
 DAVID KLEPNER  
 PH: (704) 377-8773  
 FAX: (704) 377-6920  
 EMAIL: dklepner@bmrna.com

DATE	ISSUED
21 APR 17	E-F FORM SUBMITTAL #1

**FORDHAM BLVD. APARTMENTS**  
 CHAPEL HILL, NORTH CAROLINA  
**E-F FORM DISTRICT PERMIT DRAWINGS**

JOB #: 116026.00  
 DATE: 21 APR 17  
 SCALE: AS NOTED  
 DRAWN BY: D.W.S.  
 REVIEWED BY: G.J.R.

**SHEET C1302**

DATE	REVISIONS
21 APR 17	ISSUED
21 APR 17	E-F RFP SUBMITTAL #1

**OWNER INFORMATION**  
 BMM REALTY ADVISORS  
 1930 CAMDEN RD.  
 CHARLOTTE, NC 28203

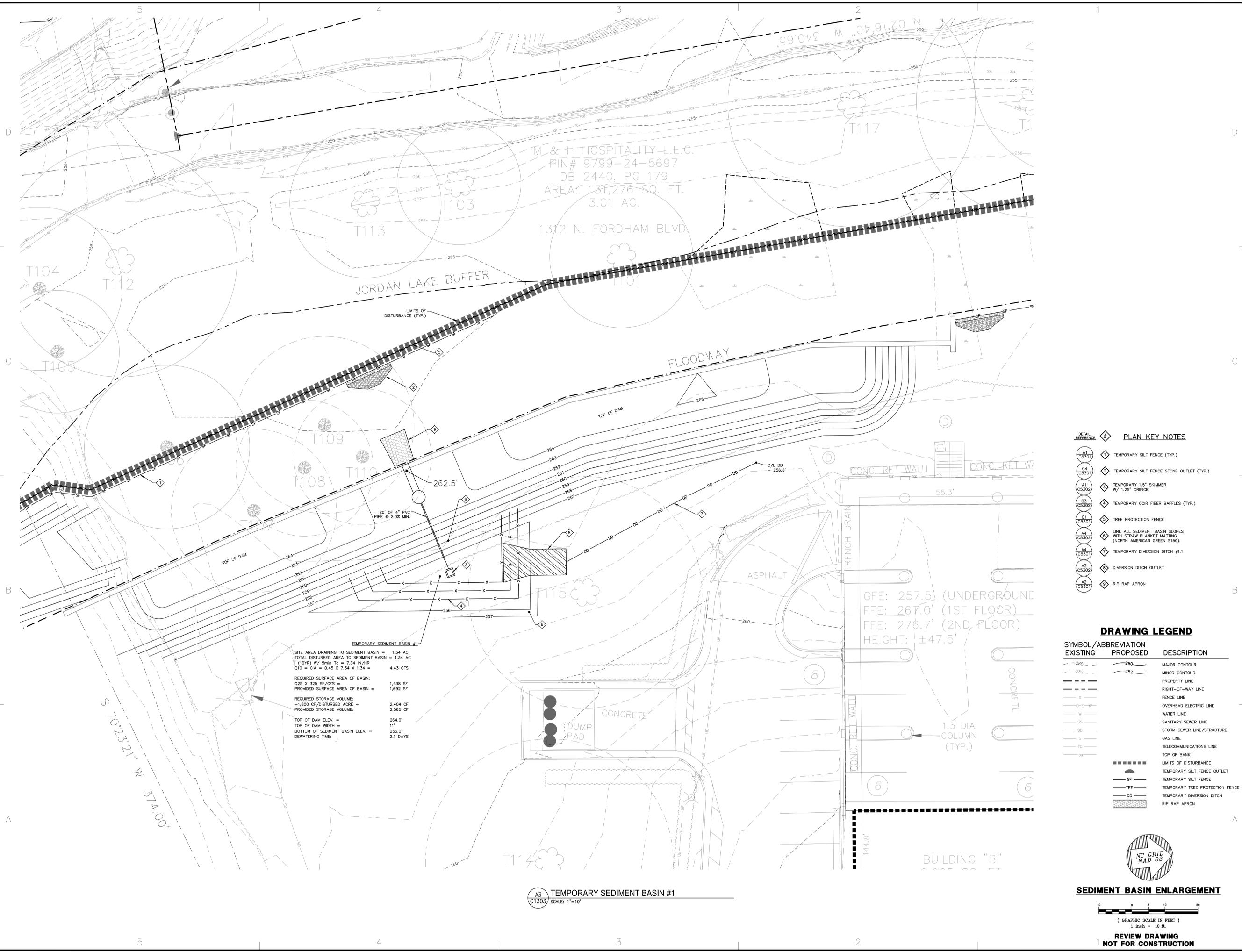
**OWNERS REPRESENTATIVE:**  
 DAVID KLEPNER  
 PH: (704) 377-8773  
 FAX: (704) 377-6920  
 EMAIL: dklepner@bmmrealestate.com

DATE	ISSUED
21 APR 17	E-F RFP SUBMITTAL #1

**FORDHAM BLVD. APARTMENTS**  
 CHAPEL HILL, NORTH CAROLINA  
**E-F FORM DISTRICT PERMIT DRAWINGS**

JOB #: 116026.00  
 DATE: 21 APR 17  
 SCALE: AS NOTED  
 DRAWN BY: D.W.S.  
 REVIEWED BY: G.J.R.

**SHEET**  
**C1303**



**TEMPORARY SEDIMENT BASIN #1**

SITE AREA DRAINING TO SEDIMENT BASIN = 1.34 AC  
 TOTAL DISTURBED AREA TO SEDIMENT BASIN = 1.34 AC  
 (10% W/ 5min Tc = 7.34 IN/HR  
 C10 = CA = 0.45 X 7.34 X 1.34 = 4.43 CFS

REQUIRED SURFACE AREA OF BASIN:  
 0.25 X 325 SF/CFS = 1,438 SF  
 PROVIDED SURFACE AREA OF BASIN = 1,692 SF

REQUIRED STORAGE VOLUME:  
 =1,800 CF/DISTURBED ACRE = 2,404 CF  
 PROVIDED STORAGE VOLUME: 2,565 CF

TOP OF DAM ELEV. = 264.0'  
 TOP OF DAM WIDTH = 11'  
 BOTTOM OF SEDIMENT BASIN ELEV. = 256.0'  
 DEWATERING TIME: 2.1 DAYS

- PLAN KEY NOTES**
- (A1) (CS307) TEMPORARY SILT FENCE (TYP.)
  - (C4) (CS307) TEMPORARY SILT FENCE STONE OUTLET (TYP.)
  - (A1) (CS307) TEMPORARY 1.5" SKIMMER W/ 1.25" ORIFICE
  - (C3) (CS307) TEMPORARY COR FIBER BAFFLES (TYP.)
  - (C1) (CS307) TREE PROTECTION FENCE
  - (A4) (CS307) LINE ALL SEDIMENT BASIN SLOPES WITH STRAW BLANKET MATTING (NORTH AMERICAN GREEN S150).
  - (A4) (CS307) TEMPORARY DIVERSION DITCH #1:1
  - (A3) (CS307) DIVERSION DITCH OUTLET
  - (R2) (CS307) RIP RAP APRON

- DRAWING LEGEND**
- | SYMBOL/ABBREVIATION | EXISTING | PROPOSED | DESCRIPTION                     |
|---------------------|----------|----------|---------------------------------|
| -280-               | -280-    | -280-    | MAJOR CONTOUR                   |
| -282-               | -282-    | -282-    | MINOR CONTOUR                   |
| ---                 | ---      | ---      | PROPERTY LINE                   |
| ---                 | ---      | ---      | RIGHT-OF-WAY LINE               |
| X                   | X        | X        | FENCE LINE                      |
| -O-E-               | -O-E-    | -O-E-    | OVERHEAD ELECTRIC LINE          |
| -W-                 | -W-      | -W-      | WATER LINE                      |
| -SS-                | -SS-     | -SS-     | SANITARY SEWER LINE             |
| -SD-                | -SD-     | -SD-     | STORM SEWER LINE/STRUCTURE      |
| -G-                 | -G-      | -G-      | GAS LINE                        |
| -TC-                | -TC-     | -TC-     | TELECOMMUNICATIONS LINE         |
| -108-               | -108-    | -108-    | TOP OF BANK                     |
| ---                 | ---      | ---      | LIMITS OF DISTURBANCE           |
| SF                  | SF       | SF       | TEMPORARY SILT FENCE            |
| TFP                 | TFP      | TFP      | TEMPORARY TREE PROTECTION FENCE |
| DD                  | DD       | DD       | TEMPORARY DIVERSION DITCH       |
| ---                 | ---      | ---      | RIP RAP APRON                   |

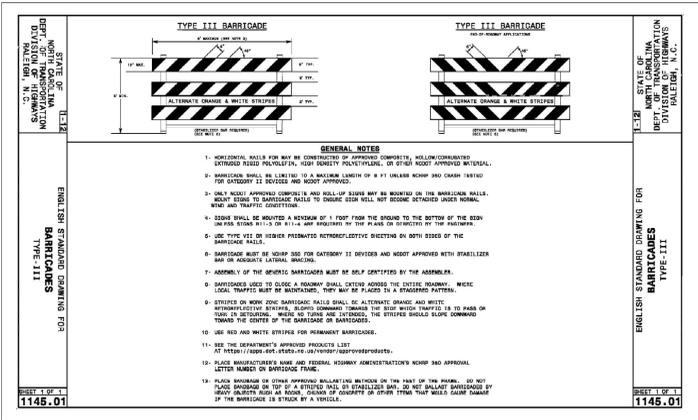
**SEDIMENT BASIN ENLARGEMENT**

10 0 5 10 20  
 (GRAPHIC SCALE IN FEET)  
 1 inch = 10 ft.

**REVIEW DRAWING**  
**NOT FOR CONSTRUCTION**

**A3 TEMPORARY SEDIMENT BASIN #1**  
 CT303 SCALE: 1"=10'

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DS TYPE III BARRICADE  
CT401 N.T.S.

ALL TRAFFIC CONTROL SHALL BE IN ACCORDANCE WITH APPLICABLE NCDOT AND MUTCD STANDARDS.

ADAPT THE TRAFFIC CONTROL CONCEPTS, WHEN DIRECTED BY THE ENGINEER, TO MEET FIELD CONDITIONS TO PROVIDE SAFE AND EFFICIENT TRAFFIC MOVEMENT. CHANGES MAY BE REQUIRED WHEN PHYSICAL DIMENSIONS IN THE DETAIL DRAWINGS, STANDARD DETAILS AND ROADWAY DETAILS ARE NOT ATTAINABLE, OR RESULT IN DUPLICATE, OR UNDESIRABLE OVERLAPPING OF DEVICES. MODIFICATION MAY INCLUDE: MOVING, SUPPLEMENTING, COVERING OR REMOVAL OF DEVICES.

THE FOLLOWING GENERAL NOTES APPLY AT ALL TIMES FOR THE DURATION OF THE CONSTRUCTION PROJECT, EXCEPT WHEN OTHERWISE NOTED IN THE PLAN, OR DIRECTED BY THE ENGINEER.

**TIME RESTRICTIONS:**

- THERE SHALL BE NO TIME RESTRICTIONS CONCERNING THE PROPOSED TRAFFIC MANAGEMENT PLAN.
- DO NOT CONDUCT ANY HAULING OPERATIONS AGAINST THE FLOW OF TRAFFIC OF AN OPEN TRAVELWAY UNLESS THE WORK AREA IS PROTECTED BY BARRIER OR GUARDRAIL OR OTHERWISE DIRECTED BY THE ENGINEER.

**LANE AND SHOULDER CLOSURE REQUIREMENTS:**

- REMOVE LANE CLOSURE DEVICES FROM THE LANE WHEN WORK IS NOT BEING PERFORMED BEHIND THE LANE CLOSURE OR WHEN A LANE CLOSURE IS NO LONGER NEEDED, OR AS DIRECTED BY THE ENGINEER.
- WHEN PERSONNEL AND/OR EQUIPMENT ARE WORKING WITHIN 40 FT OF AN OPEN TRAVEL LANE, CLOSE THE NEAREST OPEN SHOULDER USING ROADWAY STANDARD DRAWING NO. 1101.04 UNLESS THE WORK AREA IS PROTECTED BY BARRIER OR GUARDRAIL.
- WHEN PERSONNEL AND/OR EQUIPMENT ARE WORKING ON THE SHOULDER ADJACENT TO AN UNDIVIDED FACILITY AND WITHIN 5 FT OF AN OPEN TRAVEL LANE, CLOSE THE NEAREST OPEN TRAVEL LANE USING ROADWAY STANDARD DRAWING NO. 1101.02 UNLESS THE WORK AREA IS PROTECTED BY BARRIER OR GUARDRAIL.
- WHEN PERSONNEL AND/OR EQUIPMENT ARE WORKING WITHIN A LANE OF TRAVEL OF AN UNDIVIDED OR DIVIDED FACILITY, CLOSE THE LANE ACCORDING TO THE ENGINEER. CONDUCT THE WORK SO THAT ALL PERSONNEL AND/OR EQUIPMENT REMAIN WITHIN THE CLOSED TRAVEL LANE.
- DO NOT WORK SIMULTANEOUSLY, ON BOTH SIDES OF AN OPEN TRAVELWAY, WITHIN THE SAME LOCATION, ON A TWO-LANE, TWO-WAY ROAD.
- DO NOT PERFORM WORK INVOLVING HEAVY EQUIPMENT WITHIN 15 FT OF THE EDGE OF TRAVELWAY WHEN WORK IS BEING PERFORMED BEHIND A LANE CLOSURE ON THE OPPOSITE SIDE OF THE TRAVELWAY.

**PAVEMENT EDGE DROP-OFF REQUIREMENTS:**

- BACKFILL AT A 6:1 SLOPE UP TO THE EDGE AND ELEVATION OF EXISTING PAVEMENT IN AREAS ADJACENT TO AN OPENED TRAVEL LANE THAT HAS A DROP-OFF AS FOLLOWS:

**TRAFFIC CONTROL NOTES**

BACKFILL DROP-OFFS THAT EXCEED 3 INCHES ON ROADWAYS WITH POSTED SPEED LIMITS LESS THAN 45 MPH.

BACKFILL WITH SUITABLE COMPACTED MATERIAL, AS APPROVED BY THE ENGINEER.

- DO NOT EXCEED A DIFFERENCE OF 1.5 INCHES IN ELEVATION BETWEEN OPEN LANES OF TRAFFIC. INSTALL ADVANCE WARNING "UNEVEN LANES" SIGNS (WB-11) 500 FT IN ADVANCE OF THE UNEVEN AREA.
- SIGNING:**
- INSTALL ADVANCE WORK ZONE WARNING SIGNS WHEN WORK IS WITHIN 100 FT FROM THE EDGE OF TRAVEL LANE AND NO MORE THAN THREE (3) DAYS PRIOR TO THE BEGINNING OF CONSTRUCTION.
- WHEN NO WORK IS BEING CONDUCTED FOR A PERIOD LONGER THAN ONE WEEK, REMOVE OR COVER ALL ADVANCE WORK ZONE WARNING SIGNS, AS DIRECTED BY THE ENGINEER.
- PROVIDE PERMANENT SIGNING.
- ENSURE ALL NECESSARY SIGNING IS IN PLACE PRIOR TO ALTERING ANY TRAFFIC PATTERN.
- TRAFFIC CONTROL DEVICES:**
- SPACE CHANNELIZING DEVICES IN WORK AREAS NO GREATER THAN TWICE THE POSTED SPEED LIMIT (MPH), EXCEPT 10 FT ON-CENTER IN RADIUS, AND 3 FT OFF THE EDGE OF AN OPEN TRAVELWAY, WHEN LANE CLOSURES ARE NOT IN EFFECT.
- PLACE SETS OF THREE DRUMS PERPENDICULAR TO THE EDGE OF THE TRAVELWAY ON 300 FT CENTERS WHEN UNOPENED LANES ARE CLOSED TO TRAFFIC. THESE DRUMS SHALL BE IN ADDITION TO CHANNELIZING DEVICES.
- PAVEMENT MARKINGS AND MARKERS:**
- INSTALL PAVEMENT MARKINGS AS SHOWN ON PLAN SHEETS.
- REFER TO SECTION 1205 OF THE NCDOT STANDARD SPECIFICATIONS FOR ROADS AND STRUCTURES DATED JANUARY 2012 FOR APPLICATION TIMES AND TEMPERATURE CONDITIONS FOR PAVEMENT MARKINGS.
- PLACE AT LEAST TWO APPLICATIONS OF PAINT PAVEMENT MARKINGS ON THE FINAL WEARING SURFACE ON NEW ASPHALT PAVEMENT. PLACE ADDITIONAL APPLICATIONS OF PAINT UPON SUFFICIENT DRYING TIME, AS DETERMINED BY THE ENGINEER.
- THE PROPOSED PAVEMENT MARKING LINES TO EXISTING PAVEMENT MARKING LINES.

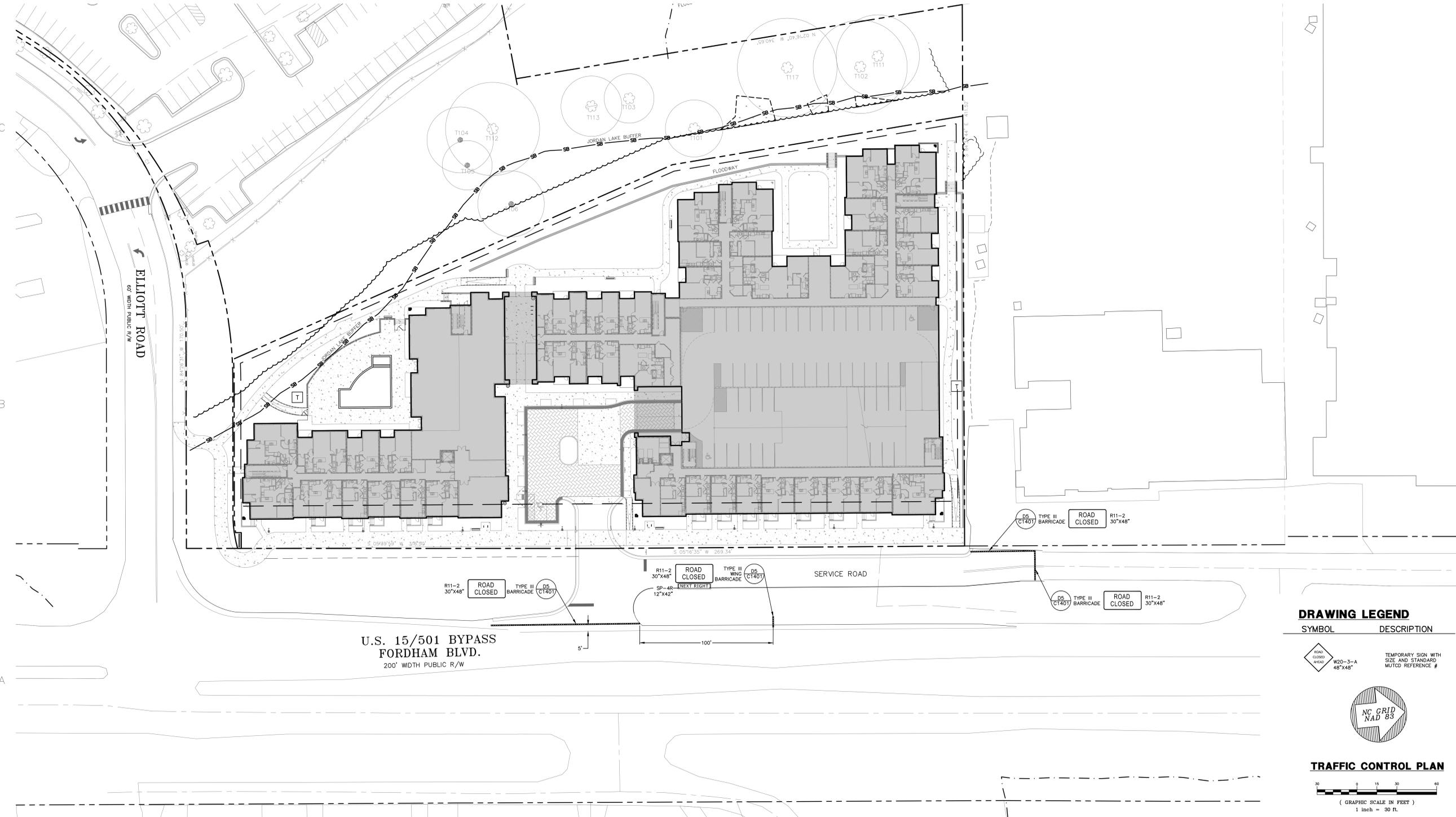
- REPLACE ANY PAVEMENT MARKINGS THAT HAVE BEEN DAMAGED BY THE END OF EACH DAY'S OPERATION.
- PLACE AT LEAST TWO APPLICATIONS OF PAINT ON NEW ASPHALT WITH TEMPORARY TRAFFIC PATTERNS WHICH WILL REMAIN IN PLACE OVER THREE (3) MONTHS. PLACE ADDITIONAL APPLICATIONS OF PAINT UPON SUFFICIENT DRYING TIME, AS DETERMINED BY THE ENGINEER.
- CONTRACTOR SHALL MAINTAIN ALL TEMPORARY PAINT PAVEMENT MARKINGS UNTIL COMPLETION OF THERMOPLASTIC PAVEMENT MARKING INSTALLATION.
- BEFORE SHIFTING TRAFFIC TO NEW LOCATIONS, CONTRACTOR SHALL REMOVE ANY MARKINGS WHICH CONFLICT WITH THE NEW TRAFFIC PATTERNS(S).

**PEDESTRIAN AND BICYCLIST SAFETY:**

- PEDESTRIAN AND BICYCLIST SAFETY MUST BE MAINTAINED AT ALL TIMES BY ADEQUATE PROJECT LIMITS, FENCINGS, AND SIGNAGE.

**MISCELLANEOUS:**

- POLICE MAY BE USED TO MAINTAIN TRAFFIC THROUGH INTERSECTIONS.
- STOCKPILE EXISTING SIGNS FOR USE WHEN NEEDED IN TEMPORARY LOCATIONS DURING CONSTRUCTION.
- ACCESS SHALL BE MAINTAINED TO ALL RESIDENCES AND BUSINESSES AT ALL TIMES.
- IN THE EVENT A TIE-IN CANNOT BE MADE IN ONE DAY'S TIME, BRING THE TIE-IN AREA TO AN APPROPRIATE ROADWAY ELEVATION AS DETERMINED BY THE ENGINEER. PLACE BLACK ON ORANGE "LOOSE GRAVEL" SIGNS (WB-7) AND BLACK ON ORANGE "PAVEMENT ENDS" SIGNS (WB-3) AND RESPECTIVELY IN ADVANCE OF THE UNOPEN AREAS. USE DRUMS TO DELINEATE THE EDGE OF ROADWAY ALONG UNPAVED AREAS.



**DRAWING LEGEND**

SYMBOL	DESCRIPTION
	ROAD CLOSED
	TYPE III BARRICADE
	TYPE III WING BARRICADE
	TEMPORARY SIGN WITH SIZE AND STANDARD MUTCD REFERENCE #



**TRAFFIC CONTROL PLAN**

(GRAPHIC SCALE IN FEET)  
1 inch = 30 ft.

**REVIEW DRAWING NOT FOR CONSTRUCTION**

**BALENTINE ASSOCIATES, P.A.**  
221 PROVIDENCE ROAD, CHAPEL HILL, N.C. 27514  
(919) 928-0481

DATE: 21 APR 17

ISSUED: E-F FDP SUBMITTAL #1

OWNER INFORMATION:  
B&M REALTY ADVISORS  
1330 CAMDEN RD.  
CHARLOTTE, NC 28203

OWNER'S REPRESENTATIVE:  
DAVID KLEPNER  
PH: (704) 377-8773  
FAX: (704) 377-6920  
EMAIL: dk@bmrrealestate.com

**FORDHAM BLVD. APARTMENTS**  
CHAPEL HILL, NORTH CAROLINA

**E-F FORM DISTRICT PERMIT DRAWINGS**

JOB #: 116026.00  
DATE: 21 APR 17  
SCALE: AS NOTED  
DRAWN BY: D.W.S.  
REVIEWED BY: G.J.R.

**SHEET C1401**