

PROPOSED GROCERY STORE SPECIAL USE PERMIT SUBMISSION

ORANGE COUNTY, NORTH CAROLINA

2016-11-22

REVISED: 2017-03-15

PREPARED FOR:

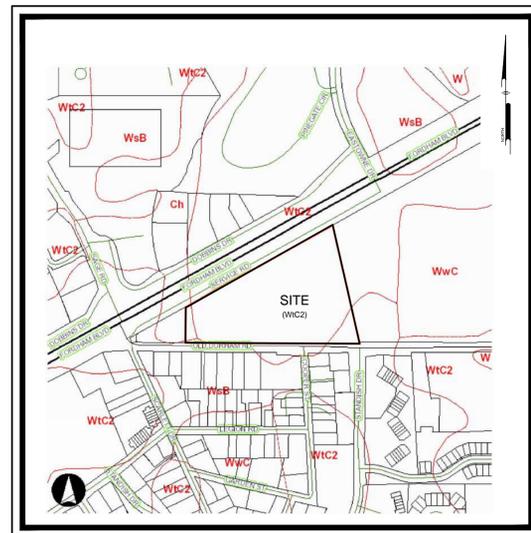
OWNER/DEVELOPER

LEON CAPITAL GROUP

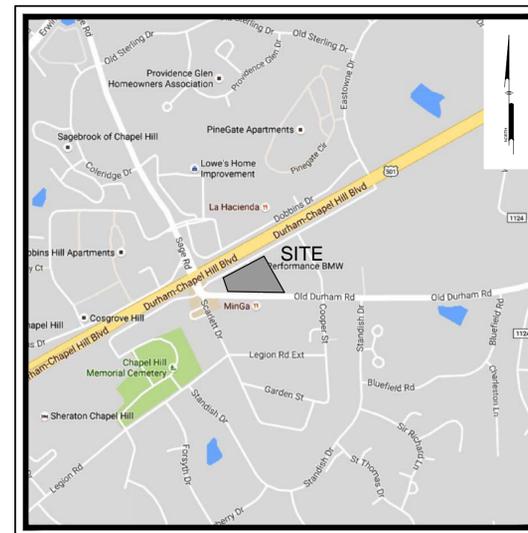
5970 FAIRVIEW ROAD, SUITE 450

CHARLOTTE, NC 28210

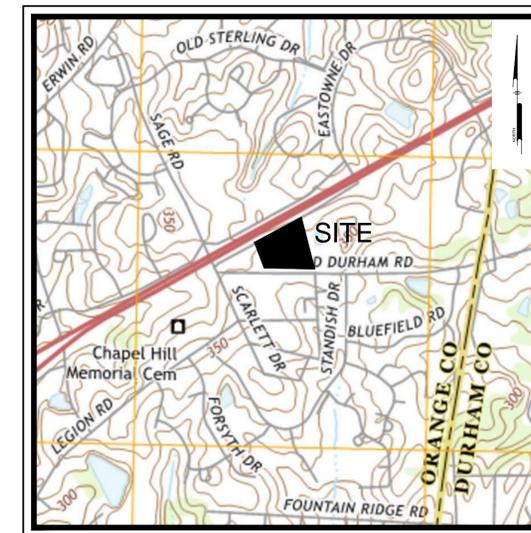
(336) 327-3050



SOILS MAP
NTS



LOCATION MAP
NTS



USGS MAP
NTS

PREPARED BY:
PENNONI ASSOCIATES INC.



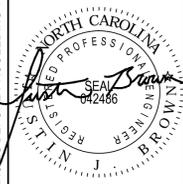
Firm License
F-1267

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ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND OWNER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK



PROPOSED GROCERY STORE
1814 DURHAM-CHAPEL HILL BLVD
CHAPEL HILL, NC 27514

COVER SHEET

LEON CAPITAL GROUP
5970 FAIRVIEW ROAD, SUITE 450
CHARLOTTE, NC 28210

NO.	DATE	REVISIONS PER TOWN OF CHAPEL HILL COMMENTS	WRA	BY
2 <td>03/15/2017 <td>REVISIONS PER TOWN OF CHAPEL HILL COMMENTS <td>SAK <td></td> </td></td></td>	03/15/2017 <td>REVISIONS PER TOWN OF CHAPEL HILL COMMENTS <td>SAK <td></td> </td></td>	REVISIONS PER TOWN OF CHAPEL HILL COMMENTS <td>SAK <td></td> </td>	SAK <td></td>	
1 <td>01/09/2017 <td>REVISIONS PER TOWN OF CHAPEL HILL COMMENTS <td>WRA <td></td> </td></td></td>	01/09/2017 <td>REVISIONS PER TOWN OF CHAPEL HILL COMMENTS <td>WRA <td></td> </td></td>	REVISIONS PER TOWN OF CHAPEL HILL COMMENTS <td>WRA <td></td> </td>	WRA <td></td>	

ALL DOCUMENTS PREPARED BY PENNONI ASSOCIATES ARE INSTRUMENTS OF SERVICE IN RESPECT OF THE PROJECT. THEY ARE NOT INTENDED OR REPRESENTED TO BE SUITABLE FOR REUSE BY OWNER OR OTHERS ON THE EXTENSIONS OF THE PROJECT OR ON ANY OTHER PROJECT. ANY REUSE WITHOUT WRITTEN VERIFICATION OR ADAPTATION BY PENNONI ASSOCIATES FOR THE SPECIFIC PURPOSE INTENDED WILL BE AT OWNERS SOLE RISK AND WITHOUT LIABILITY OR LEGAL EXPOSURE TO PENNONI ASSOCIATE. OWNER SHALL PROMPTLY AND HOLD HARMLESS PENNONI ASSOCIATES FROM ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES ARISING OUT OF OR RESULTING THEREFROM.

PROJECT: **LCGR1601**
DATE: 2016-11-22
DRAWING SCALE: AS SHOWN
DRAWN BY: SAK
APPROVED BY: JUB

CS0001
SHEET 1 OF 15

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FOOTED: 3/15/2017 4:03 PM BY: Jack Kneal PROJECT STATUS: CONCEPTUAL

PLOT STYLE: Pennoni.ncs.ctb

LEGEND		
EXISTING	PROPOSED	DESCRIPTION
		CABLE TV, JUNCTION BOX
		CABLE TV, MANHOLE
		CABLE TV, OVERHEAD
		CABLE TV, PANEL BOX
		CABLE TV, STUB OUT
		CABLE TV, UNDERGROUND
		CABLE TV, WITNESS POST
		CHANNEL
		COMMUNICATION, HANDHOLE
		COMMUNICATION, JUNCTION BOX
		COMMUNICATION, MANHOLE
		COMMUNICATION, OVERHEAD
		COMMUNICATION, PANEL BOX
		COMMUNICATION, PEDESTAL
		COMMUNICATION, STUB OUT
		COMMUNICATION, UNDERGROUND
		COMMUNICATION, WITNESS POST
		CONTROL, BENCHMARK
		CONTROL, GPS
		CONTROL, MAPPING
		CONTROL, REFERENCE
		CONTROL, TRAVERSE
		CURB
		CURB DEPRESSION
		EDGE OF PAVEMENT
		EDGE OF GRAVEL
		EASEMENT
		FENCE
		FIBER OPTIC, HANDHOLE
		FIBER OPTIC, JUNCTION BOX
		FIBER OPTIC, MANHOLE
		FIBER OPTIC, OVERHEAD
		FIBER OPTIC, PANEL BOX
		FIBER OPTIC, PEDESTAL
		FIBER OPTIC, STUB OUT
		FIBER OPTIC, UNDERGROUND
		FIBER OPTIC, WITNESS POST
		FLOODPLAIN
		FUEL, MANHOLE
		FUEL, OVERHEAD
		FUEL, PLUG
		FUEL, PUMP
		FUEL, UNDERGROUND
		GUIDE RAIL
		LIMITS OF DISTURBANCE
		MARKING, HANDICAP PARKING
		NATURAL GAS, METER
		NATURAL GAS, MANHOLE
		NATURAL GAS, OVERHEAD
		NATURAL GAS, STUB OUT
		NATURAL GAS, UNDERGROUND
		NATURAL GAS, WITNESS POST
		PHONE, HANDHOLE
		PHONE, JUNCTION BOX
		PHONE, MANHOLE
		PHONE, OVERHEAD, LATERAL
		PHONE, PANEL BOX
		PHONE, STUB OUT
		PHONE, UNDERGROUND
		PHONE, WITNESS POST
		POWER, GUY POLE
		POWER, GUY WIRE
		POWER, HANDHOLE
		POWER, JUNCTION BOX
		POWER, SINGLE HEAD LIGHT
		POWER, DOUBLE HEAD LIGHT
		POWER, THREE HEAD LIGHT
		POWER, FOUR HEAD LIGHT
		POWER, LIGHT
		POWER, SPOT LIGHT
		POWER, LIGHT POLE SINGLE
		POWER, LIGHT POLE DOUBLE
		POWER, MANHOLE
		POWER, OVERHEAD
		POWER, METER
		POWER, PANEL BOX
		POWER, PEDESTAL
		POWER, STUB OUT
		POWER, TRANSFORMER
		POWER, UNDERGROUND
		POWER, UTILITY POLE
		POWER, WITNESS POST
		POWER, YARD LIGHT
		PROPERTY, LINE
		LEGAL RIGHT-OF-WAY
		PROPERTY, CORNER FOUND
		PROPERTY, CORNER FOUND (OTHERS)
		PROPERTY, CONCRETE MONUMENT
		PROPERTY, ADJOINING LINED
		PROPERTY, LINE RESERVED
		RAIL, MILE MARKER
		RAIL, PANEL BOX
		RAIL, TRACK
		SITE, AIR COMPRESSOR
		SITE, AIR CONDITIONER
		SITE, BOLLARD
		SITE, BORING LOCATION
		BUILDING
		SITE, FLAG POLE
		SITE, MAIL BOX
		SITE, HEAD STONE
		SITE, MONITOR WELL
		SITE, PARKING METER
		SITE, POST
		SITE, SIGN POST AND BOARD
		SITE, TRAFFIC SIGN
		SOIL BOUNDARY
		SOIL LABEL

GENERAL NOTES:

- APPLICANT: LEON CAPITAL GROUP, LLC
5970 FAIRVIEW ROAD, SUITE 200
CHARLOTTE, NORTH CAROLINA 28212
RESPONSIBLE OFFICER: TODD HARELSON
- EXISTING TOPOGRAPHIC FEATURES WERE TAKEN FROM A TOPOGRAPHIC SURVEY PLAN PROVIDED BY PHILIP POST & ASSOC. DATED: 6/14/2016.
- UTILITY NOTES:
A. COMPLETENESS OR ACCURACY OF LOCATION AND DEPTH OF UNDERGROUND UTILITIES AND STRUCTURES IS NOT GUARANTEED.
B. LOCATION OF ALL EXISTING AND PROPOSED SERVICES ARE APPROXIMATE AND SHALL BE CONFIRMED INDEPENDENTLY WITH LOCAL UTILITY COMPANIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION. SANITARY SEWER AND ALL OTHER UTILITY SERVICE CONNECTION POINTS SHALL BE CONFIRMED INDEPENDENTLY BY THE CONTRACTOR IN THE FIELD PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. ALL DISCREPANCIES SHALL BE REPORTED IMMEDIATELY IN WRITING TO THE ENGINEER. CONSTRUCTION SHALL COMMENCE BEGINNING AT THE LOWEST INVERT (POINT OF CONNECTION) AND PROGRESS UP GRADIENT. PROPOSED INTERFACE POINTS (CROSSINGS) WITH EXISTING UNDERGROUND UTILITIES SHALL BE FIELD VERIFIED BY TEST PIT PRIOR TO COMMENCEMENT OF CONSTRUCTION.
C. ALL UTILITIES AND SERVICES INCLUDING BUT NOT LIMITED TO GAS, WATER, ELECTRIC, SANITARY AND STORM SEWER, TELEPHONE, CABLE, FIBER OPTIC, ETC. WITHIN THE LIMITS OF DISTURBANCE SHALL BE VERTICALLY AND HORIZONTALLY LOCATED. THE CONTRACTOR SHALL USE AND COMPLY WITH THE REQUIREMENTS OF THE APPLICABLE UTILITY NOTIFICATION SYSTEM TO LOCATE ALL THE UNDERGROUND UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRS OF DAMAGE TO ANY EXISTING UTILITIES DURING CONSTRUCTION AT NO COST TO THE OWNER.
- AS SHOWN ON THE FLOOD INSURANCE RATE MAP FOR ORANGE COUNTY, NC, MAP #371007800K, EFFECTIVE DATE 3/22/2007, THE SITE AREA PROPOSED TO BE DEVELOPED LIES WITHIN "ZONE X" DEFINED AS AREAS DETERMINED TO BE OUTSIDE THE 100 YEAR FLOOD PLAIN.
- FIRE WATCH: DURING CONSTRUCTION AND DEMOLITION WHERE HOT WORK, MATERIALS SUBJECT TO SPONTANEOUS COMBUSTION, OR OTHER HAZARDOUS CONSTRUCTION OR DEMOLITION IS OCCURRING, THE OWNER OR THEIR DESIGNEE SHALL BE RESPONSIBLE FOR MAINTAINING A FIRE WATCH. THE FIRE WATCH SHALL CONSIST OF AT LEAST ONE PERSON WITH A MEANS OF COMMUNICATING AN ALARM TO 911, SHALL A WRITTEN ADDRESS POSTED IN A CONSPICUOUS LOCATION AND SHALL MAINTAIN CONSTANT PATROLS. NC FPC 2012 SECTION 1404.
- CONSTRUCTION/DEMOLITION: ALL CONSTRUCTION AND DEMOLITION CONDUCTED SHALL BE IN COMPLIANCE OF THE CURRENT EDITION OF CHAPTER 14 OF THE NC FPC.
- PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY APPLICANT SHALL REPLACE ANY TREES SHOWN AS PRESERVED-PROTECTED ON THE LANDSCAPE PROTECTION PLAN THAT HAVE DIED OR ARE IN POOR HEALTH AS A RESULT OF LAND DISTURBING ACTIVITIES.
- PRIOR TO ISSUANCE OF A ZONING COMPLIANCE PERMIT APPLICANT SHALL RECORD A RECOMBINATION PLAN AT THE TIME OF RAIN OR MUD, ROADS SHALL BE ABLE TO CARRY A FIRE TRUCK BY BEING PAVED OR HAVING A CRUSHED STONE BASE, ETC., WITH A MINIMUM WIDTH OF 20 FEET. ACCESS TO BUILDINGS THAT HAVE SPRINKLER OR STANDPIPE SYSTEMS SHALL BE WITHIN 40 FEET OF THE FIRE DEPARTMENT CONNECTOR. (NFPA 1141 3-1)
- PRIOR TO ISSUANCE OF A ZONING COMPLIANCE PERMIT APPLICANT SHALL RECORD A RECOMBINATION PLAN AT THE TIME OF RAIN OR MUD, ROADS SHALL BE ABLE TO CARRY A FIRE TRUCK BY BEING PAVED OR HAVING A CRUSHED STONE BASE, ETC., WITH A MINIMUM WIDTH OF 20 FEET. ACCESS TO BUILDINGS THAT HAVE SPRINKLER OR STANDPIPE SYSTEMS SHALL BE WITHIN 40 FEET OF THE FIRE DEPARTMENT CONNECTOR. (NFPA 1141 3-1)
- SITE DISTURBANCE 15.75 AC.

LEGEND		
EXISTING	PROPOSED	DESCRIPTION
		SANITARY SEWER, CLEAN-OUT
		SANITARY SEWER, FORCE MAIN
		SANITARY SEWER, FORCE MAIN MANHOLE
		SANITARY SEWER, FORCE STUB OUT
		SANITARY SEWER, MANHOLE
		SANITARY SEWER, UNDERGROUND (4" DIA TO 10" DIA)
		SANITARY SEWER, SEPTIC TANK
		SANITARY SEWER, STUB OUT
		SANITARY SEWER, VALVE
		SANITARY SEWER, WITNESS POST
		STREAM
		STORM SEWER, INLET
		STORM SEWER, HEADWALL
		STORM SEWER, MANHOLE
		STORM SEWER, UNDERGROUND
		STORM SEWER, ROOF DRAIN
		STORM SEWER, STAND PIPE
		STORM SEWER, CLEAN-OUT
		STORM SEWER, WITNESS POST
		MINOR CONTOUR
		MAJOR CONTOUR
		SPOT ELEVATION
		TO BE REMOVED
		TRAFFIC, PAVEMENT MARKING, BIKE LANE
		TRAFFIC, PAVEMENT MARKING, TURN ARROWS
		TRAFFIC, PAVEMENT MARKING, HOV LANE
		TRAFFIC, HAND HOLE
		TRAFFIC, JUNCTION BOX
		TRAFFIC, MANHOLE
		TRAFFIC, PANEL BOX
		TRAFFIC, PEDESTAL
		TRAFFIC, PEDESTRIAN SIGNAL
		TRAFFIC, SIGNAL POLE
		TRAFFIC, SIGNAL POLE & LIGHT ARM
		TRAFFIC, STUB OUT
		VEGETATION, SHRUB
		VEGETATION, STUMP
		VEGETATION, DECIDUOUS SHOWING CANOPY
		VEGETATION, CONIFEROUS SHOWING CANOPY
		VEGETATION, TREE LINE
		WATER, HOSE BIB
		WATER, FIRE HYDRANT
		WATER, IRRIGATION HEAD
		WATER, IRRIGATION VALVE BOX
		WATER, MANHOLE
		WATER, METER
		WATER, POST INDICATOR VALVE
		WATER, SIAMESE CONNECTION
		WATER, STUB OUT
		WATER, UNDERGROUND
		WATER, UNDERGROUND FIRE
		WATER, VALVE
		WATER, WITNESS POST

GENERAL CONSTRUCTION AND GRADING NOTES:

- ALL WORK SHALL COMPLY WITH APPLICABLE STATE, FEDERAL AND LOCAL CODES AND OSHA STANDARDS. ALL NECESSARY LICENSES AND PERMITS SHALL BE OBTAINED BY THE CONTRACTOR AT HIS EXPENSE UNLESS PREVIOUSLY OBTAINED BY THE OWNER/DEVELOPER.
- THE CONTRACTOR SHALL BE REQUIRED TO REVIEW AND ABIDE BY SPECIFICATIONS OF THE PLAN AND ALL SUPPORTING DOCUMENTS, PERMITS, AND REPORTS FOR THIS SITE, INCLUDING BUT NOT LIMITED TO:
• EROSION AND SEDIMENTATION CONTROL PLAN
• STORMWATER MANAGEMENT PLAN.
- THE CONTRACTOR SHALL IMMEDIATELY INFORM THE ENGINEER OF ANY DISCREPANCIES OR ERROR THEY DISCOVER IN THE PLANS.
- DEVIATION FROM THESE PLANS AND NOTES WITHOUT THE PRIOR CONSENT OF THE OWNER OR HIS REPRESENTATIVE OR THE ENGINEER MAY BE CAUSE OF THE WORK TO BE UNACCEPTABLE.
- UTILITY COORDINATION SHALL BE INCLUDED IN THE PROJECT SCHEDULE AND IT IS THE EXPLICIT RESPONSIBILITY OF THE CONTRACTOR TO ASSURE THAT THE PROJECT SCHEDULE INCLUDES THE NECESSARY RELOCATIONS. THE CONTRACTOR WILL NOT BE PAID ADDITIONALLY FOR THIS COORDINATION. THE CONTRACTOR SHOULD SEEK ASSISTANCE FROM ALL UTILITY COMPANIES TO LOCATE AND PROTECT THEIR FACILITIES. IF CONFLICTS ARE FOUND, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER AND DESIGN ENGINEER FOR INSTRUCTION BEFORE PROCEEDING WITH WORK.
- ALL MATERIALS SHALL BE NEW UNLESS USED OR SALVAGED MATERIALS ARE AUTHORIZED BY THE OWNER AND APPLICANT.
- TRAFFIC CONTROL METHODS, SUCH AS BARRICADES, SUFFICIENT LIGHTS, SIGNS, ETC., MAY BE NECESSARY FOR THE PROTECTION AND SAFETY OF THE PUBLIC SHALL BE CURRENT AND NCDOT STANDARDS.
- CONTRACTOR SHALL FURNISH AND MAINTAIN ALL NECESSARY BARRICADES, FENCING AND OTHER APPROPRIATE SAFETY ITEMS/MEASURES NECESSARY TO PROTECT THE PUBLIC FROM THE WORK AREA CONSTRUCTION ACTIVITIES.
- HIGH INTENSITY LIGHTING FACILITIES SHALL BE SO ARRANGED THAT THE SOURCE OF ANY LIGHT IS CONCEALED FROM PUBLIC VIEW AND FROM ADJACENT RESIDENTIAL PROPERTY AND DOES NOT INTERFERE WITH TRAFFIC.
- THE CONTRACTOR SHALL MAINTAIN ACCESS FOR EMERGENCY VEHICLES AROUND AND TO ALL BUILDINGS NEAR CONSTRUCTION. IN TIME OF RAIN OR MUD, ROADS SHALL BE ABLE TO CARRY A FIRE TRUCK BY BEING PAVED OR HAVING A CRUSHED STONE BASE, ETC., WITH A MINIMUM WIDTH OF 20 FEET. ACCESS TO BUILDINGS THAT HAVE SPRINKLER OR STANDPIPE SYSTEMS SHALL BE WITHIN 40 FEET OF THE FIRE DEPARTMENT CONNECTOR. (NFPA 1141 3-1)
- BEDDING REQUIREMENTS SPECIFIED HEREIN ARE TO BE CONSIDERED AS MINIMUMS FOR RELATIVELY DRY, STABLE EARTH CONDITIONS. ADDITIONALLY BEDDING SHALL BE REQUIRED FOR ROCK TRENCHES AND WET AREAS. CONTRACTOR SHALL HAVE THE RESPONSIBILITY TO PROVIDE SUCH ADDITIONAL BEDDING AS MAY BE REQUIRED TO PROPERLY CONSTRUCT THE WORK.
- BACKFILL OF ALL TRENCHES SHALL BE COMPACTED TO THE DENSITY OF 95% OF THEORETICAL MAXIMUM DRY DENSITY (ASTM D698). BACKFILL MATERIAL SHALL BE FREE FROM ROOTS, STUMPS, OR OTHER FOREIGN DEBRIS AND SHALL BE PLACED IN LAYERS NOT TO EXCEED SIX (6) INCHES IN COMPACTED FILL THICKNESS. A REPORT FROM A GEOTECHNICAL ENGINEER MAY BE REQUIRED BY THE PUBLIC WORKS INSPECTOR. CORRECTION OF ANY TRENCH SETTLEMENT WITHIN A YEAR FROM THE DATE OF APPROVAL WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- THE CONTRACTOR WILL ENSURE THAT POSITIVE AND ADEQUATE DRAINAGE IS MAINTAINED AT ALL TIMES WITHIN THE PROJECT LIMITS. THIS MAY INCLUDE BUT NOT BE LIMITED TO: A) REPLACEMENT OR RECONSTRUCTION OF EXISTING DRAINAGE STRUCTURES THAT HAVE BEEN DAMAGED OR REMOVED, OR B) REGRADING AS REQUIRED BY THE ENGINEER, EXCEPT FOR THOSE DRAINAGE ITEMS SHOWN AT SPECIFIC LOCATIONS AND HAVING SPECIFIC PAY ITEMS IN THE DETAILED ESTIMATE. NO SEPARATE PAYMENT WILL BE MADE FOR ANY COSTS INCURRED TO COMPLY WITH THIS REQUIREMENT.
- THE CONTRACTOR SHALL PROVIDE ANY AND ALL EXCAVATION AND MATERIAL SAMPLES NECESSARY TO CONDUCT REQUIRED SOIL TESTS. ALL ARRANGEMENTS AND SCHEDULING FOR THE TESTING SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
- SOIL TESTING AND ON-SITE INSPECTION SHALL BE PERFORMED BY AN INDEPENDENT GEOTECHNICAL ENGINEER. A GEOTECHNICAL ENGINEER IS REQUIRED TO INSPECT, TEST AND CERTIFY TO THE COMPACTED FILL. THE GEOTECHNICAL ENGINEER SHALL PROVIDE WRITTEN REPORTS TO THE CONTRACTOR, THE OWNER AND TO THE OWNER'S REPRESENTATIVE AND SHALL PROMPTLY NOTIFY THE OWNER, HIS REPRESENTATIVE AND THE CONTRACTOR SHOULD WORK PERFORMED BY THE CONTRACTOR FAIL TO MEET THESE SPECIFICATIONS.
- ALL PERMITS MUST BE OBTAINED PRIOR TO THE START OF CONSTRUCTION.
- ALL PAVEMENT MARKINGS AND REGULATORY SIGNS ON PRIVATE PROPERTY SHALL CONFORM TO CURRENT MUTCD STANDARDS.

WATER AND SEWER SERVICE NOTES:

- HORIZONTAL AND VERTICAL SEPARATION**
 - SANITARY SEWERS SHALL BE LAID AT LEAST 10-FOOT HORIZONTALLY FROM ANY EXISTING OR PROPOSED WATER MAIN. THE DISTANCE SHALL BE MEASURED EDGE TO EDGE. IN CASES WHERE IT IS NOT PRACTICAL TO MAINTAIN A 10-FOOT SEPARATION, THE PUBLIC WORKS SUPPLY MAY ALLOW DEVIATION A CASE-BY-CASE BASIS, IF SUPPORTED BY DATA FROM THE DESIGN ENGINEER. SUCH DEVIATION ON MAY ALLOW THE INSTALLATION OF THE SANITARY SEWER IN A WATER MAIN PROVIDED THAT THE WATER MAIN IS IN A SEPARATE TRENCH OR ON AN UNDISTURBED EARTH SHELF LOCATED ON ONE SIDE OF THE SANITARY SEWER AND AT AN ELEVATION SO THE BOTTOM OF THE WATER MAIN IS AT LEAST 18-INCHES ABOVE THE TOP OF THE SEWER.
 - IF IT IS IMPOSSIBLE TO OBTAIN PROPER HORIZONTAL AND VERTICAL SEPARATION AS DESCRIBED ABOVE OR ANYTIME THE SANITARY SEWER IS OVER THE WATER MAIN, BOTH THE WATER MAIN AND SANITARY SEWER MUST BE CONSTRUCTED OF FERROUS PIPE COMPLYING WITH THE PUBLIC WATER SUPPLY DESIGN STANDARDS AND BE PRESSURE TESTED TO 150PSI TO ASSURE WATER TIGHTNESS BEFORE BACKFILLING.
 - A 24-INCH VERTICAL SEPARATION SHALL BE PROVIDED BETWEEN STORM SEWER AND SANITARY SEWER LINES OR FERROUS PIPE SPECIFIED. A 12-INCH VERTICAL SEPARATION SHALL BE PROVIDED BETWEEN STORM SEWER AND WATER MAIN.
 - IF A 12-INCH VERTICAL SEPARATION IS NOT MAINTAINED AT A CROSSING BETWEEN STORM SEWER AND WATER MAINS (OR PRESSURE SEWERS), THE WATER MAIN SHALL BE CONSTRUCTED OF FERROUS PIPE AND A CONCRETE COLLAR SHALL BE FOULED AROUND WATER MAINS AND STORM SEWER TO IMMobilize THE CROSSING.
- CROSSINGS**
 - SANITARY SEWER CROSSING WATER MAINS SHALL BE LAID TO PROVIDE A MINIMUM VERTICAL DISTANCE OF 18-INCHES BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF THE SANITARY SEWER. THE CROSSING SHALL BE ARRANGED SO THAT THE SANITARY SEWER JOINTS WILL BE EQUIDISTANT AND AS FAR AS POSSIBLE FROM THE WATER MAIN JOINTS.
 - WHEN IT IS IMPOSSIBLE TO OBTAIN PROPER HORIZONTAL AND VERTICAL SEPARATION AS STIPULATED ABOVE, ONE OF THE FOLLOWING METHODS MUST BE SPECIFIED:
 - THE SANITARY SEWER SHALL BE DESIGNED AND CONSTRUCTED OF FERROUS PIPE AND SHALL BE PRESSURE TESTED AT 150-PSI TO ASSURE WATER TIGHTNESS PRIOR TO BACKFILLING, OR
 - EITHER THE WATER MAIN OR THE SANITARY SEWER LINE MAY BE ENCASED IN A WATERTIGHT CARRIER PIPE, WHICH EXTENDS 10-FEET ON BOTH SIDES OF THE CROSSING, MEASURED PERPENDICULAR TO THE WATER MAIN, THE CARRIER PIPE SHALL BE OF MATERIALS APPROVED BY THE PUBLIC WATER SUPPLY FOR USE IN WATER MAIN CONSTRUCTION.
- PRIVATE FIRE MAINS THAT FEED A SPRINKLER SYSTEM SHALL BE INSTALLED AS PER NFA 24. THE LINE SHALL BE FLUSHED AS PER NFA 24 AND WITNESSED BY THE FIRE INSPECTOR FROM THE CHAPEL HILL FIRE DEPARTMENT PRIOR TO BURIAL.
- FIRE HYDRANTS SHALL BE FULLY OPERATIONAL AND APPROVED BY OWASA PRIOR TO ALLOWING ANY COMBUSTIBLE MATERIALS ON SITE.
- ALL GREASE WASTE LINES MUST BE PAINTED A COLOR BESIDES WHITE ON SITE.

GENERAL UTILITY NOTES:

- ALL UTILITIES AND SERVICES INCLUDING BUT NOT LIMITED TO GAS, WATER, ELECTRIC, SANITARY AND STORM SEWER, TELEPHONE, CABLE, FIBER OPTIC, ETC. WITHIN THE LIMITS OF DISTURBANCE SHALL BE VERTICALLY AND HORIZONTALLY LOCATED. THE CONTRACTOR SHALL USE AND COMPLY WITH THE REQUIREMENTS OF THE APPLICABLE UTILITY NOTIFICATION SYSTEM TO LOCATE ALL THE UNDERGROUND UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRS OF DAMAGE TO ANY EXISTING UTILITIES DURING CONSTRUCTION AT NO COST TO THE OWNER.
- UTILITY COORDINATION SHALL BE INCLUDED IN THE PROJECT SCHEDULE AND IT IS THE EXPLICIT RESPONSIBILITY OF THE CONTRACTOR TO ASSURE THAT THE PROJECT SCHEDULE INCLUDES THE NECESSARY RELOCATIONS. THE CONTRACTOR WILL NOT BE PAID ADDITIONALLY FOR THIS COORDINATION.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE LOCATIONS AND DEPTHS OF ALL EXISTING UNDERGROUND UTILITIES AND STRUCTURES BEFORE THE START OF WORK AND TO TAKE WHATEVER STEPS NECESSARY TO PROVIDE FOR THEIR PROTECTION. THE ENGINEER HAS DILIGENTLY ATTEMPTED TO LOCATE AND INDICATE ALL EXISTING FACILITIES ON THESE PLANS; HOWEVER, THIS INFORMATION IS SHOWN FOR THE CONTRACTOR'S CONVENIENCE ONLY. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE LOCATIONS OF UTILITIES SHOWN OR NOT SHOWN. COMPLETENESS OR ACCURACY OF LOCATION AND DEPTH OF UNDERGROUND UTILITIES AND STRUCTURES IS NOT GUARANTEED.
- THE CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES FOR EXACT LOCATION AND PROTECTION OF THEIR UTILITIES PRIOR TO STARTING CONSTRUCTION. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO REPAIR AND REPLACE ANY AND ALL DAMAGE MADE TO UTILITIES BY THE CONTRACTOR.
- CONTRACTOR MUST APPLY FOR ALL UTILITY CONNECTION APPLICATIONS. CONTRACTOR IS RESPONSIBLE FOR ALL UTILITY CONNECTION FEES FOR CONSTRUCTION. REFER TO COVER SHEET FOR AVAILABLE UTILITY COMPANY LIST.
- CONTRACTOR MUST OBTAIN ANY REQUIRED UTILITY DETAILS FOR RECONNECTION OF EXISTING SERVICES. CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONSTRUCTION OF EACH NEW SERVICE PER THE APPROPRIATE UTILITY COMPANY'S SPECIFICATIONS.
- THE CONTRACTOR SHALL COORDINATE LOCATION AND INSTALLATION OF ALL UNDERGROUND UTILITIES AND APPURTENANCES TO MINIMIZE DISTURBANCE TO CURBING, PAVING, AND COMPACTED SUB-GRADE.
- IF CONFLICTS ARE FOUND, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER AND ENGINEER FOR INSTRUCTION BEFORE PROCEEDING WITH WORK.
- ALL PIPE LENGTHS AND DISTANCES BETWEEN STRUCTURES ARE MEASURED FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE ALONG A HORIZONTAL PLANE.
- THE CONTRACTOR SHALL PROVIDE ANY AND ALL EXCAVATION AND MATERIAL SAMPLES NECESSARY TO CONDUCT REQUIRED SOIL TESTS. ALL ARRANGEMENTS AND SCHED

GENERAL NOTES:

1. THIS PLAN REFERENCE DOCUMENTS AND INFORMATION BY:
 - A.) BOUNDARY TOPOGRAPHIC SURVEY, PREPARED BY PHILIP POST & ASSOCIATES, A DIVISION OF PENNONI
401 PROVIDENCE ROAD, SUITE 200
CHAPEL HILL, NC 27514
FIELD DATE: 06/14/2016
 - B.) OLD DURHAM ROAD IMPROVEMENT PLANS, TRANSFERRED FROM KIMLEY HORN AND ASSOCIATES, INC. VIA EMAIL TO OUR OFFICE ON JULY 21, 2016
 - C.) ALTA/NSPS LAND TITLE SURVEY FOR 120 OLD DURHAM ROAD, BY FREEHOLD LAND SURVEYS, SIGNED JUNE 14, 2016
 - D.) ALTA/NSPS LAND TITLE SURVEY FOR 126 OLD DURHAM ROAD, BY FREEHOLD LAND SURVEYS, SIGNED MAY 23, 2016
 - E.) ORANGE COUNTY GIS INFORMATION
 - F.) WATER & SANITARY SEWER INFORMATION BASED UPON VISIBLE EVIDENCE IN THE FIELD AT TIME OF SURVEY AND INFORMATION PROVIDED BY OWASA



Pennonni
Firm License F-1267
PENNONI ASSOCIATES INC.
401 Providence Road #200
Chapel Hill, NC 27514
T 919.929.1173 F 919.993.6548

ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND OWNER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK

REGISTERED PROFESSIONAL ENGINEER
STATE OF NORTH CAROLINA
No. 24246
Date: 06/14/2016

PROPOSED GROCERY STORE
1814 DURHAM-CHAPEL HILL BLVD
CHAPEL HILL, NC 27514

EXISTING CONDITIONS PLAN

LEON CAPITAL GROUP
5970 FAIRVIEW ROAD, SUITE 450
CHARLOTTE, NC 28210

NO.	DATE	REVISIONS	BY
2	03/15/2017	REVISIONS PER TOWN OF CHAPEL HILL COMMENTS	SAK
1	01/09/2017	REVISIONS PER TOWN OF CHAPEL HILL COMMENTS	WRA

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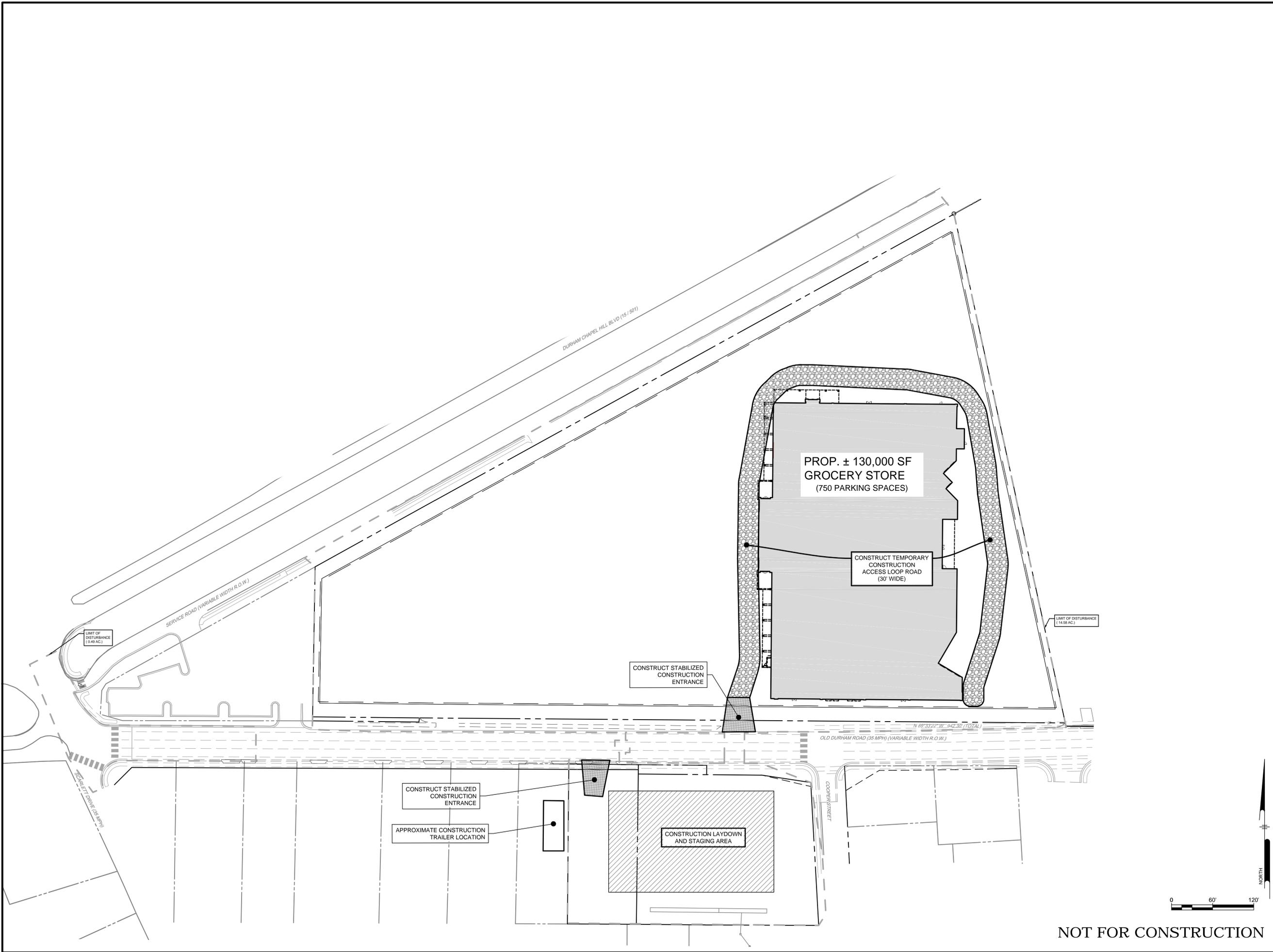
PROJECT	LCGR1601
DATE	2016-11-22
DRAWING SCALE	1" = 60'
DRAWN BY	SAK
APPROVED BY	JUB

CS0201
SHEET 3 OF 15

NOT FOR CONSTRUCTION

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 PROJECT STATUS: CONCEPTUAL
 DATE: 11/20/21 2:11 PM BY: Scott Kneal



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Scott Kneal
 REGISTERED PROFESSIONAL ENGINEER
 STATE OF NORTH CAROLINA
 No. 42436
 EXPIRES 12/31/2024

**PROPOSED GROCERY STORE
 CONSTRUCTION
 MANAGEMENT PLAN**

1814 DURHAM-CHAPEL HILL BLVD
 CHAPEL HILL, NC 27514

LEON CAPITAL GROUP
 5970 FAIRVIEW ROAD, SUITE 450
 CHARLOTTE, NC 28210

NO.	DATE	REVISIONS	BY
2	03/15/2017	REVISIONS PER TOWN OF CHAPEL HILL COMMENTS	SAK
1	01/09/2017	REVISIONS PER TOWN OF CHAPEL HILL COMMENTS	WRA

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PROJECT: LCGR1601
 DATE: 2016-11-22
 DRAWING SCALE: 1" = 60'
 DRAWN BY: SAK
 APPROVED BY: JUB

CS0500
 SHEET 4 OF 15

GENERAL NOTES:

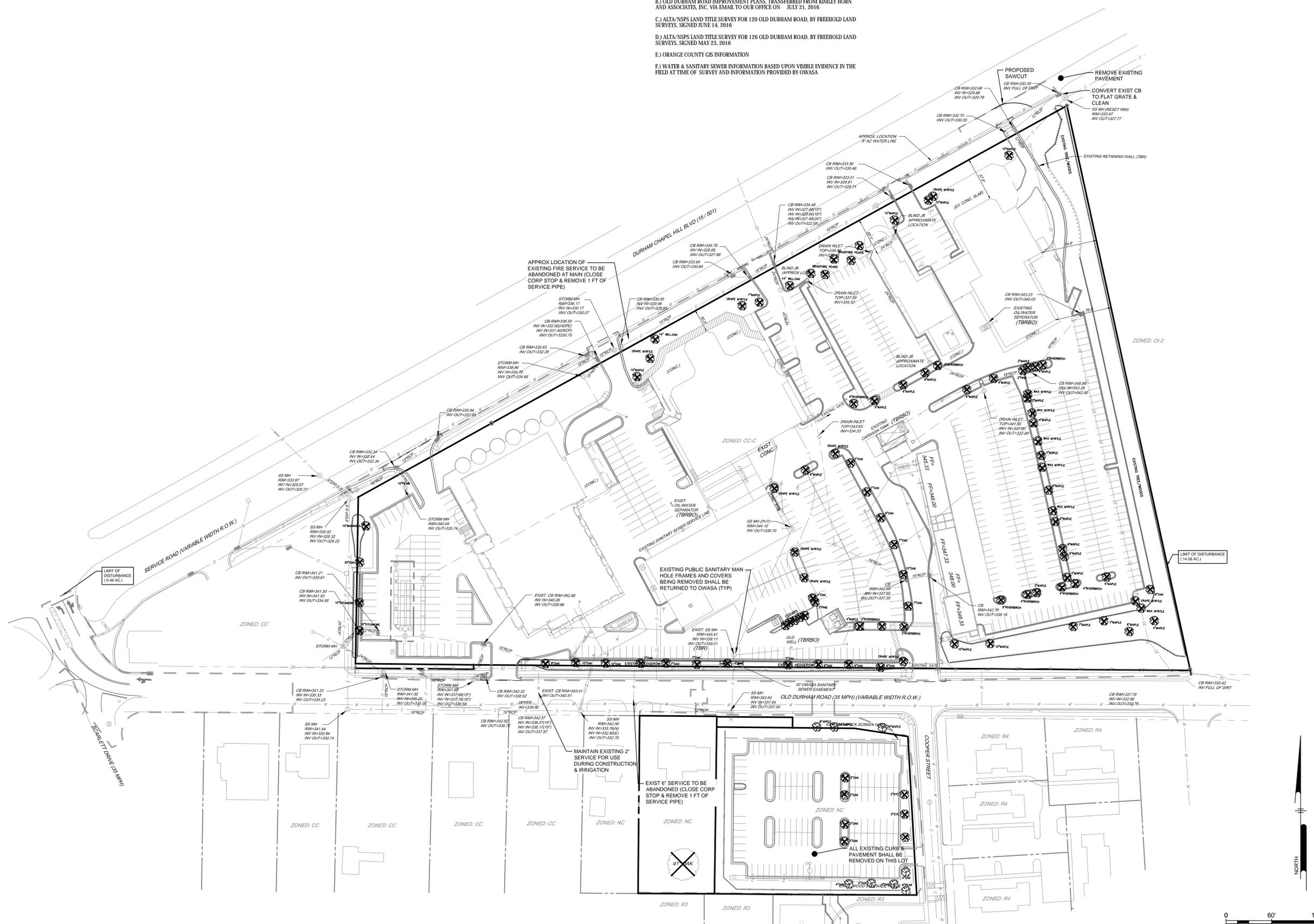
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 - F.) WATER & SANITARY SEWER INFORMATION BASED UPON VISIBLE EVIDENCE IN THE FIELD AT TIME OF SURVEY AND INFORMATION PROVIDED BY OWASA

DEMOLITION NOTES:

- 1) ALL EXISTING SITE IMPROVEMENTS ON THE MAIN LOT INCLUDING BUT NOT LIMITED TO UTILITY LINES (ABOVE AND BELOW GRADE), UTILITY STRUCTURES (MANHOLES, VALVES, POLES, ECT.), DRAINAGE STRUCTURES (MANHOLES, INLETS, PIPING, ECT.) SHALL BE REMOVED.

DEMOLITION LEGEND:

-  TREE TO BE REMOVED
-  (TBRBC) TO BE REMOVED BY OTHERS
-  (TBR) TO BE REMOVED



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T 919.929.1173 F 919.493.6548

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PROPOSED GROCERY STORE
1814 DURHAM-CHAPEL HILL BLVD
CHAPEL HILL, NC 27514

DEMOLITION PLAN

LEON CAPITAL GROUP
5970 FAIRVIEW ROAD, SUITE 450
CHARLOTTE, NC 28210

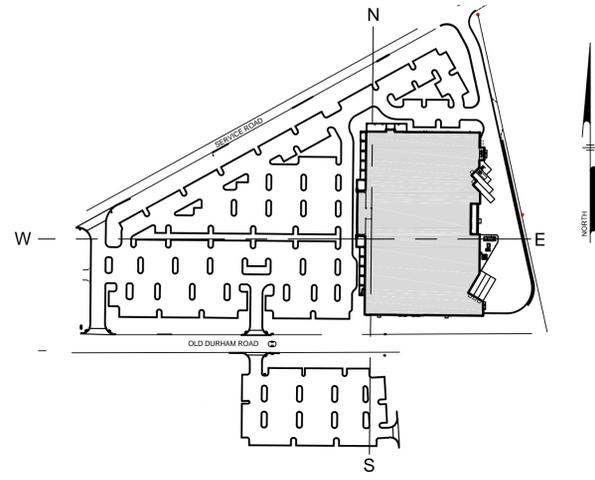
NO.	DATE	REVISIONS	BY
2	03/15/2017	REVISIONS PER TOWN OF CHAPEL HILL COMMENTS	SAK
1	01/09/2017	REVISIONS PER TOWN OF CHAPEL HILL COMMENTS	WRA

PROJECT	LCGR1601
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DRAWING SCALE	1" = 60'
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APPROVED BY	JUB

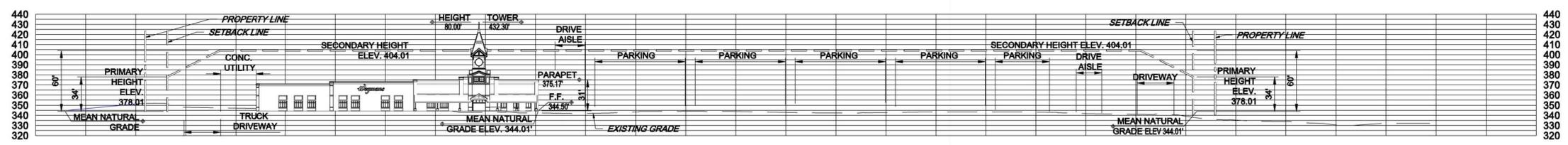
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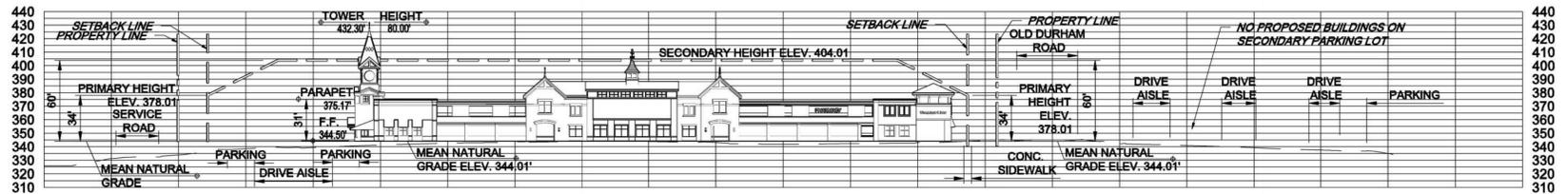
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 PROJECT STATUS: CONCEPTUAL



KEY MAP
 1" = 200'



CROSS SECTION EAST TO WEST
 HORIZONTAL SCALE: 1" = 60'
 VERTICAL SCALE: 1" = 60'



CROSS SECTION NORTH TO SOUTH
 HORIZONTAL SCALE: 1" = 60'
 VERTICAL SCALE: 1" = 60'



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John Brown
 REGISTERED PROFESSIONAL ENGINEER
 STATE OF NORTH CAROLINA
 NO. 42436
 JOHN BROWN

PROPOSED GROCERY STORE
 1814 DURHAM-CHAPEL HILL BLVD
 CHAPEL HILL, NC 27514

CROSS SECTIONS

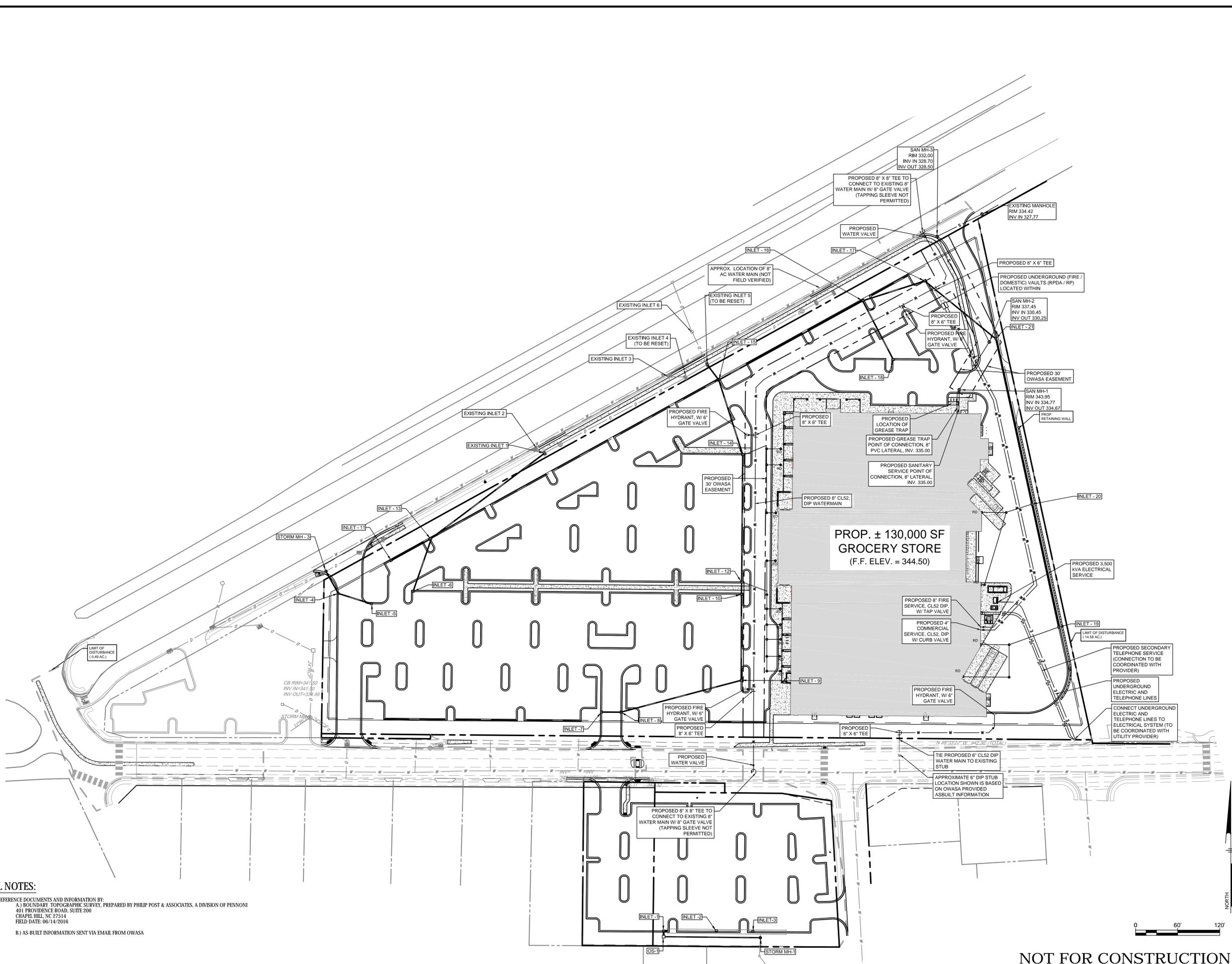
LEON CAPITAL GROUP
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 CHARLOTTE, NC 28210

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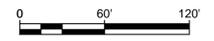
PROJECT: LCGR1601
 DATE: 2016-11-22
 DRAWING SCALE: AS NOTED
 DRAWN BY: SAK
 APPROVED BY: JUB

CS1502
 SHEET 8 OF 15



GENERAL NOTES:

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 - BOUNDARY TOPOGRAPHIC SURVEY, PREPARED BY PHILIP POST & ASSOCIATES, A DIVISION OF PENNONI 401 PROVIDENCE ROAD, SUITE 200 CHAPEL HILL, NC 27514 FIELD DATE: 06/14/2016
 - AS-BUILT INFORMATION SENT VIA EMAIL FROM OWASA



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REGISTERED PROFESSIONAL ENGINEER
 STATE OF NORTH CAROLINA
 License No. 24246
 Signature: *[Signature]*

PROPOSED GROCERY STORE
 1814 DURHAM-CHAPEL HILL BLVD
 CHAPEL HILL, NC 27514

UTILITY PLAN

LEON CAPITAL GROUP
 5970 FAIRVIEW ROAD, SUITE 450
 CHARLOTTE, NC 28210

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PROJECT	LCGR1601
DATE	2016-11-22
DRAWING SCALE	1" = 60'
DRAWN BY	SAK
APPROVED BY	JUB

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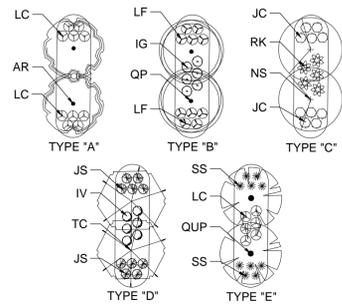
PLANTING SCHEDULE

SYMBOL	QTY	BOTANICAL & COMMON PLANT NAME	SIZE	COMMENTS
CANOPY TREES				
AR	17	Acer rubrum 'October Brilliance' (October Brilliance)	2" to 2-1/2" Cal. Min.	
FG	30	Fagus grandiflora (American Beech)	2" to 2-1/2" Cal. Min.	
IO	21	Ilex opaca (American Holly)	2" to 2-1/2" Cal. Min.	
LT	21	Liriodendron tulipifera (Tulip Poplar)	2" to 2-1/2" Cal. Min.	
NS	19	Nyssa sylvatica (Black Gum)	2" to 2-1/2" Cal. Min.	
QP	11	Quercus phellos (Willow Oak)	2" to 2-1/2" Cal. Min.	
QUP	23	Quercus pagodifolia (Cherrybark Oak)	2" to 2-1/2" Cal. Min.	
QV	16	Quercus virginiana (Live Oak)	2" to 2-1/2" Cal. Min.	
TC	24	Tilia cordata (Little Leaf Linden)	2" to 2-1/2" Cal. Min.	
DECIDUOUS UNDERSTORY TREES				
AA	71	Amelanchier arborea (Serviceberry)	5" to 6 Ht. Min.	
CC	21	Cercis canadensis 'Forest Pansy' (Forest Pansy Redbud)	5" to 6 Ht. Min.	
CV	22	Chionanthus virginicus (Fringe Tree)	5" to 6 Ht. Min.	
OA	60	Oxydendrum arborea (Sourwood)	5" to 6 Ht. Min.	
OS	13	Osmanthus americanus (Devilwood)	5" to 6 Ht. Min.	
LN	13	Lagerstroemia (indica x fauriei) 'Natchez' (Natchez Crapemyrtle)	5" to 6 Ht. Min.	

SYMBOL	QTY	BOTANICAL & COMMON PLANT NAME	SIZE	COMMENTS
BUFFER SHRUBS				
BS	190	Buxus sempervirens 'Liberty' (Common Boxwood)	36" Ht. Min.	
CH	178	Cephalotaxus harringtonia 'Fastigiata' (Upright Plum Yew)	36" Ht. Min.	
CJ	183	Camellia japonica (Japanese Camellia)	36" Ht. Min.	
CS	155	Camellia sasanqua (Sasanqua Camellia)	36" Ht. Min.	
EJ	42	Euonymus japonicus (Japanese Euonymus)	36" Ht. Min.	
GJ	39	Gardenia jasminoides (Cape Jasmine Gardenia)	36" Ht. Min.	
IC	47	Ilex crenata 'Soft Touch' (Soft Touch Holly)	36" Ht. Min.	
ICC	34	Ilex crenata 'Chesapeake' (Japanese Holly)	36" Ht. Min.	
JP	172	Juniperus x pfitzeriana 'Sea Green' (Sea Green Juniper)	36" Ht. Min.	
LD	11	Loropetalum daruma (Chinese Fringe Flower)	36" Ht. Min.	
PLANTED ISLAND SHRUBS				
IG	40	Ilex x glabra 'Compacta' (Inkberry Holly)	18" to 24" Ht. Min.	
IV	78	Itea virginica (Virginia Sweet Spire)	18" to 24" Ht. Min.	
JC	90	Juniperus chinensis 'Sargentii' (Sargent's Juniper)	18" to 24" Ht. Min.	
JS	157	Juniperus squamata (Star Juniper)	18" to 24" Ht. Min.	
LC	109	Loropetalum chinensis 'Purple Pixie' (Purple Pixie Fringe Flower)	18" to 24" Ht. Min.	
LF	66	Leucothoe fontanesiana (Drooping Leucothoe)	18" to 24" Ht. Min.	
RK	77	Rosa x 'Red Knock Out' (Red Knock Out Rose)	18" to 24" Ht. Min.	
SS	264	Schizachyrium scoparium (Little Bluestem)	18" to 24" Ht. Min.	

LANDSCAPE ISLAND PLANTING SCHEMES

*USE PLANT QUANTITIES AS APPLICABLE FOR HALF ISLANDS (TYP).

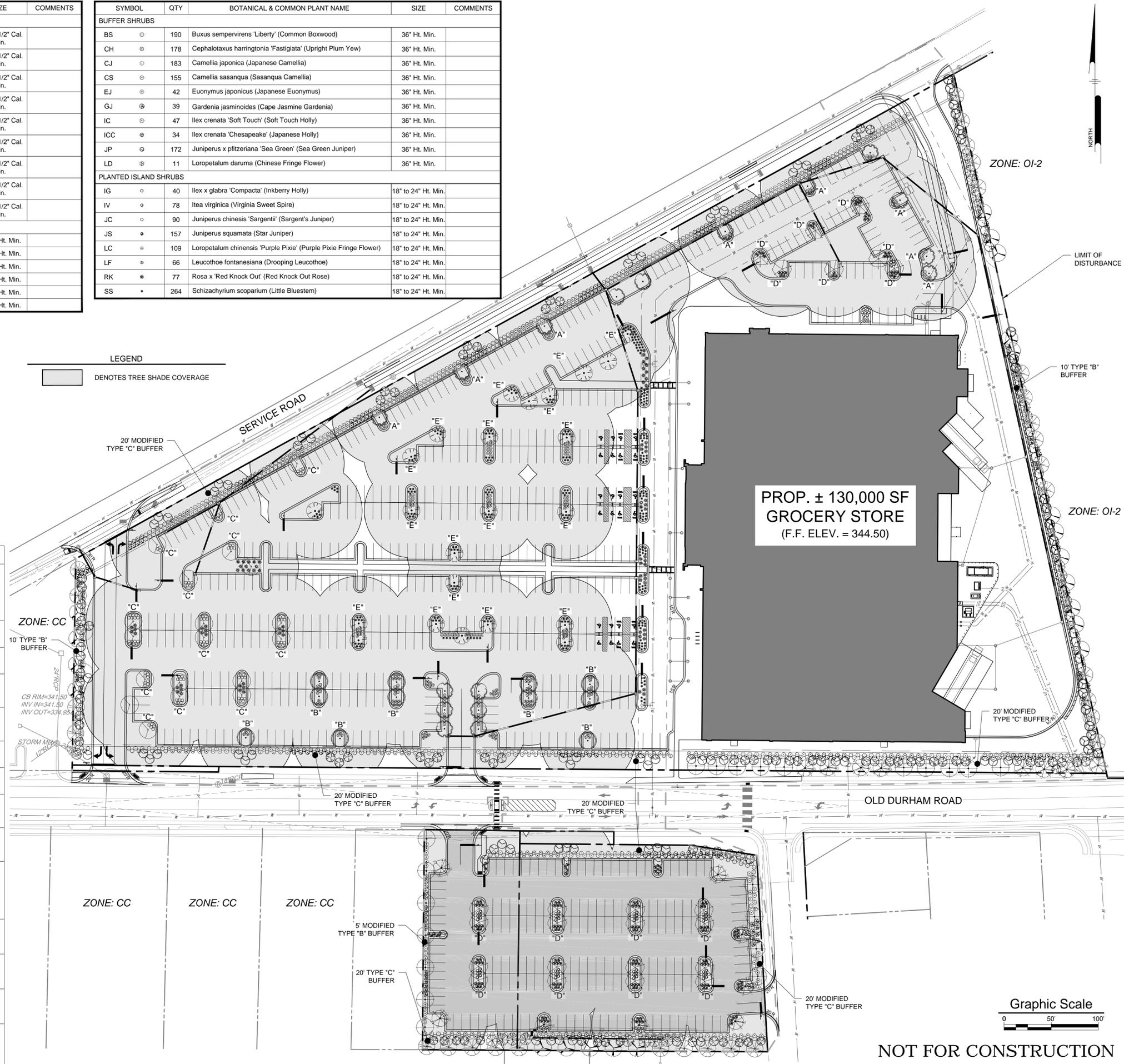


LEGEND

■ DENOTES TREE SHADE COVERAGE

Chapel Hill - Grocery Store Development
Ordinance/Design Manual Review

SECTION	REQUIREMENT	PROVIDED	COMPLIES / MODIFICATION
Section 3.1.2 Parking Lot Shading Standards	All parking lots are required to be landscaped and should provide vegetation to achieve at least 35% shading at maturity. Total lot area 603,078 S.F. requires 211,077 S.F. shaded area minimum.	Provided 335,568 S.F. shaded area = 55.64% of total site. (See shaded area of Landscape Plan)	Complies
Table 5.6.6-1 Buffers (Grocery Store Parcel)	East: Type "B" Buffer (internal) 670 LF = 27 large trees, 47 small trees, 81 shrubs	10ft buffer width provided: 27 large trees, 48 small trees, 82 shrubs	Complies
	West: Type "B" Buffer (internal) 218 LF = 9 large trees, 15 small trees, 26 shrubs	10ft buffer width provided: 9 large trees, 15 small trees, 26 shrubs	Complies
	North: Type "C" Buffer (external) 975 LF = 49 large trees, 98 small trees, 351 shrubs	20ft buffer width provided: 11 large trees, 30 small trees, 415 shrubs	Modification
	South: Type "C" Buffer (external) 1,015 LF = 51 large trees, 102 small trees, 365 shrubs	20ft buffer width provided: 18 large trees, 59 small trees, 279 shrubs	Modification
Table 5.6.6-1 Buffers (Overflow Parking Lot)	East: Type "C" Buffer (external) 207 LF = 9 large trees, 18 small trees, 64 shrubs	Buffer width requested: 7 large trees, 38 shrubs	Modification
	West: Type "B" Buffer (internal) 232 LF = 9 large trees, 16 small trees, 28 shrubs	Buffer width requested: 7 large trees, 34 shrubs	Modification
	North: Type "C" Buffer (external) 316 LF = 16 large trees, 32 small trees, 114 shrubs	Buffer width requested: 15 small trees, 82 shrubs	Modification
	South: Type "C" Buffer (internal) 366 LF = 9 large trees, 29 small trees, 110 shrubs	20ft buffer width provided: 16 large trees, 29 small trees, 112 shrubs	Complies
	Section 5.7.2 Tree Canopy	Tree Canopy Coverage: minimum 30% total lot area 603,078 S.F. requires 180,923 S.F. canopy area minimum.	381 Trees provided: on site 381 trees x 500 S.F. = 190,500 S.F. = 31% of total lot area. No existing trees will remain with this project (See Demolition Plan for tree removal)
Section 5.9.6.(c)(2)(A) Foundation Buffer Strip	5ft Landscape Buffer Strip width	Building separated from parking by drive lanes and loading areas.	Complies
Section 5.9.6.(c)(2)(B) Perimeter Screening	5ft Landscape Buffer Strip width with continuous row of shrubs between streets and parking lots	Planted buffers provided.	Complies
Section 5.9.6.(c)(2)(F) - Tree Radii Requirement	No parking spaces shall be further than 50ft from trunk of canopy tree / 75ft from (2) canopy trees.	Plan shown for view corridors.	Modification
Section 5.9.6.(c)(2)(H) - Parking Adjacent to Residential Zoning	Evergreen hedge with minimum height of 3ft at planting or a fence or wall with minimum height of 4ft and no more than 6ft	N/A	Complies



PROP. ± 130,000 SF
GROCERY STORE
(F.F. ELEV. = 344.50)



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CHAPEL HILL, NC 27514

LANDSCAPE PLAN

LEON CAPITAL GROUP
5970 FAIRVIEW ROAD, SUITE 450
CHARLOTTE, NC 28210

NO.	DATE	REVISIONS PER TOWN OF CHAPEL HILL COMMENTS	BY
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PROJECT: **LCGR1601**

DATE: 2016-11-22

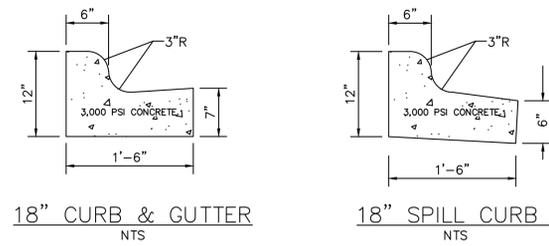
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DRAWN BY: TJM

APPROVED BY: SLS

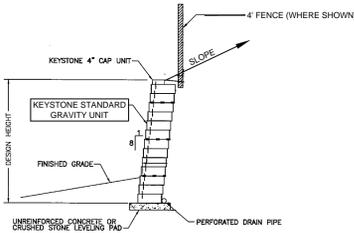
CS2001

SHEET 11 OF 15



18" CURB & GUTTER
NTS

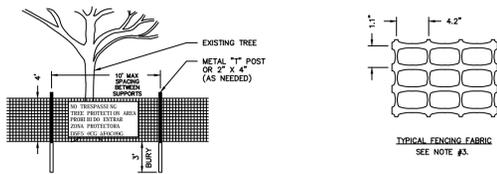
18" SPILL CURB
NTS



KEYSTONE RETAINING WALL SYSTEMS
TYPICAL GRAVITY SECTION

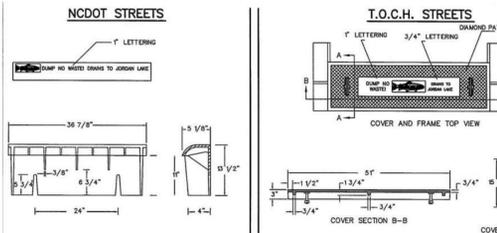
NOTE: WALL SHALL BE DESIGNED BY A STRUCTURAL ENGINEER.

NOT TO SCALE



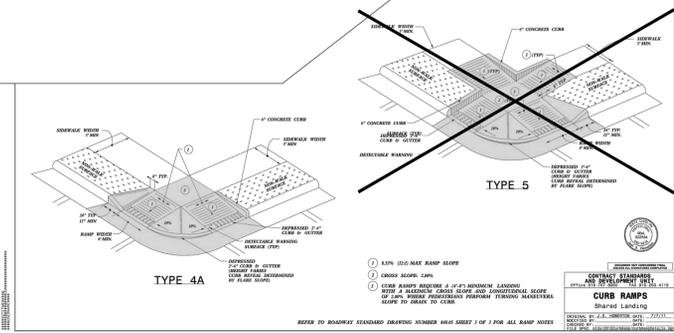
TREE PROTECTION FENCE
NOT TO SCALE

- NOTES:
- PLACE CONTINUOUS RUN OF FENCE MATERIAL AS SHOWN ON PLAN TO TREES.
 - ATTACH AT 10' MAXIMUM INTERVALS TO 24" POSTS. DO NOT STAPLE TO TREES.
 - FENCE MATERIAL SHALL BE "TENSAR" HIGH STRENGTH POLYMER GEOTEXTILE FABRIC BY TENSAR CORPORATION, HUNTER GERRARD, OR EQUAL, BROWN ORANGE COLOR.
 - AT 10' O.C. PLACE SOME IN ENGLISH AND SPANISH "NO TRASPASOS - TREE PROTECTION AREA" AND "NO PASAR SINDE - ARBOL PROTECTOR PARA LOS ANGELES".
 - A PRE-CONSTRUCTION CONFERENCE SHALL BE HELD WITH THE PROJECT MANAGER AND THE TOWN'S LANDSCAPE ARCHITECT BEFORE ANY SITE WORK BEGINS.
 - ANY TREE ROOTS EXPOSED BY CONSTRUCTION SHALL BE SEVERED CLEANLY WITH A PRUNING TOOL.
 - THE SOIL WITHIN THE PROTECTED AREA AROUND EXISTING TREES SHALL NOT BE OPENED UPON AFTER FENCE REMOVAL, FOR THE PURPOSE OF RESTORING LANDSCAPING.



- STORMDRAIN CURB INLET HOOD FOR INSTALLATION ON STATE STREETS AND INSTALLATIONS UNDER THE JURISDICTION OF THE TOWN OF CHAPEL HILL SHALL COMPLY WITH ASTM A48 CL32. IT SHALL BE A HEAVY DUTY TRAFFIC BEARING GRATE WITH AN APPROXIMATE TOTAL HEIGHT OF 575 LBS. (INCLUDES WEIGHT OF GRATE, FRAME & HOOD).
- STORMDRAIN CURB INLET COVER FOR INSTALLATION ON TOWN STREETS AND INSTALLATIONS UNDER THE JURISDICTION OF THE TOWN OF CHAPEL HILL SHALL COMPLY WITH ASTM A48 CL32. IT SHALL BE A LIGHT DUTY COVER HAVING AN APPROXIMATE TOTAL WEIGHT OF 307 LBS. (INCLUDES WEIGHT OF COVER AND TWO LEGS).
- NOTES:
- ALL STORMDRAIN INLET HOODS AND COVERS INSTALLED OR REPLACED WITHIN THE CHAPEL HILL PLANNING JURISDICTION AFTER JULY 31, 2000 SHALL BE PRE-CAST WITH THE MESSAGE: "DUMP NO WASTE TO JORDAN LAKE" (INCLUDING THE CAST IMAGE OF A FISH).
 - PRE-CAST HOODS AND COVERS SHALL BE DESIGNED IN ACCORDANCE WITH THE ABOVE MATERIAL SPECIFICATIONS AND MUST COMPLY WITH APPLICABLE STATE AND TOWN REQUIREMENTS FOR MATERIALS AND INSTALLATION.
 - CASTING MUST BE MANUFACTURED IN THE UNITED STATES. MANUFACTURER MUST BE APPROVED BY THE TOWN OF CHAPEL HILL.

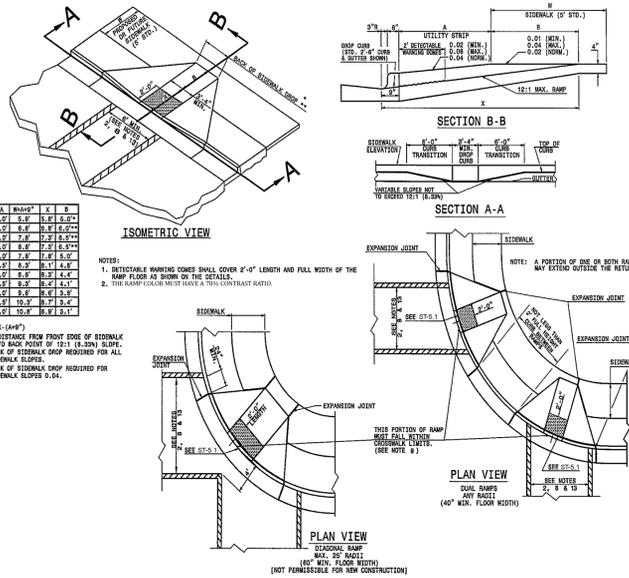
TITLE: CURB INLET HOOD AND COVER
REVISIONS: 6/01 JH, 1/03 JH
DET. NO.: SD-5C



TYPE 4A

TYPE 5

CONTRACTOR TO REFER TO THE REPORT OF SUBSURFACE INVESTIGATION PREPARED BY GEOTECHNOLOGIES, INC. DATED 7/18/16 FOR FURTHER INFORMATION ON THE PAVING SECTIONS AS NOTED ON THIS DETAIL.



SLOPE	MIN. WIDTH	MIN. RAMP LENGTH	MIN. RAMP WIDTH
1:12	3' 6"	11' 0"	4' 0"
1:16	3' 0"	13' 0"	4' 0"
1:20	2' 6"	16' 0"	4' 0"
1:24	2' 0"	19' 0"	4' 0"
1:30	1' 6"	24' 0"	4' 0"
1:36	1' 2"	27' 0"	4' 0"
1:40	1' 0"	30' 0"	4' 0"
1:48	9" 0"	36' 0"	4' 0"
1:50	8" 0"	39' 0"	4' 0"
1:60	6" 0"	48' 0"	4' 0"
1:80	4" 0"	72' 0"	4' 0"
1:100	3" 0"	90' 0"	4' 0"

- NOTES:
1. DETECTABLE WARNING CURBS SHALL COVER 2'-0" LENGTH AND FULL WIDTH OF THE RAMP FLOOR AS SHOWN ON THE DETAIL.
 2. THE RAMP FLOOR MUST HAVE A 1:48 CONTRAST RATIO.

B = X(A+4")
X = DISTANCE FROM FRONT EDGE OF SIDEWALK TO BACK POINT OF 1:12 (10.2%) SLOPE.

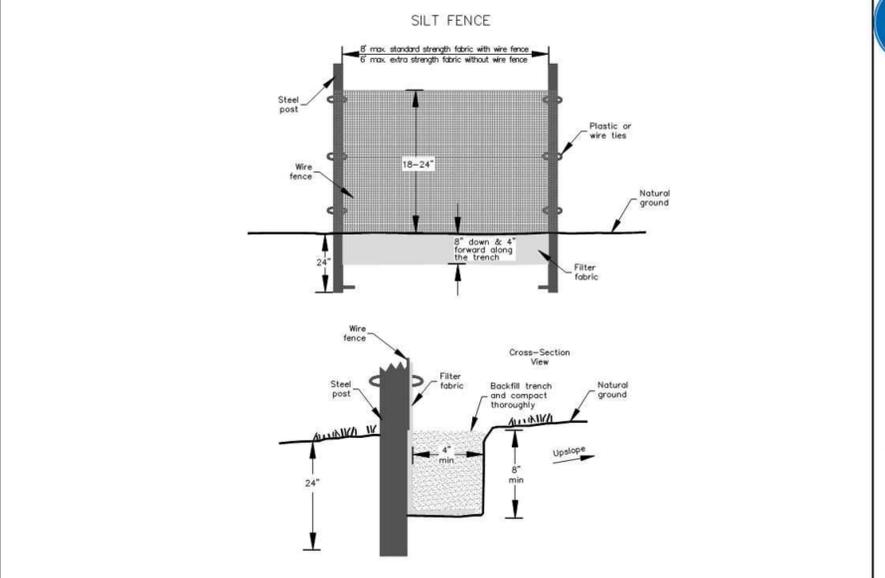
• BACK OF SIDEWALK DROP REQUIRED FOR ALL SIDEWALK SLOPES.

• BACK OF SIDEWALK DROP REQUIRED FOR SIDEWALK SLOPES 5:04.

NOTE: DRAWING NOT TO SCALE
SOURCE: NCDOT STANDARD DRAWINGS

TITLE: ACCESSIBLE RAMP
REVISIONS: 09/03 JH, 02/08 ER
DET. NO.: ST-5.3

TOWN OF CHAPEL HILL
ENGINEERING DEPARTMENT
STANDARD DETAILS

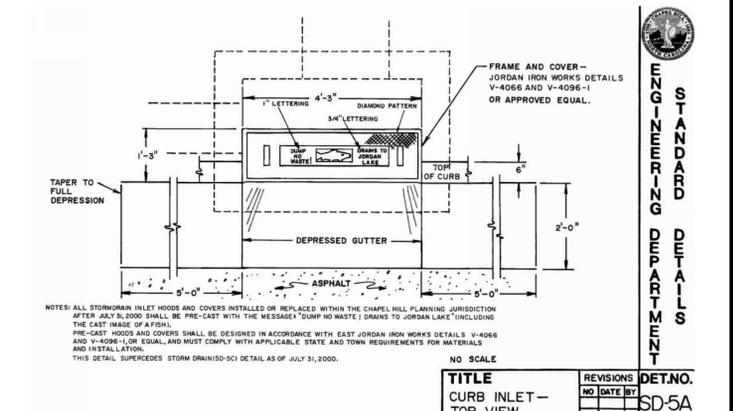


- GENERAL NOTES:
1. Use silt fence only when drainage area does not exceed 1/4 acre and never in areas of concentrated flow.
 2. Silt fence shall not be removed unless site is stabilized and inspected by Town of Chapel Hill staff.

NOTE: DRAWING NOT TO SCALE

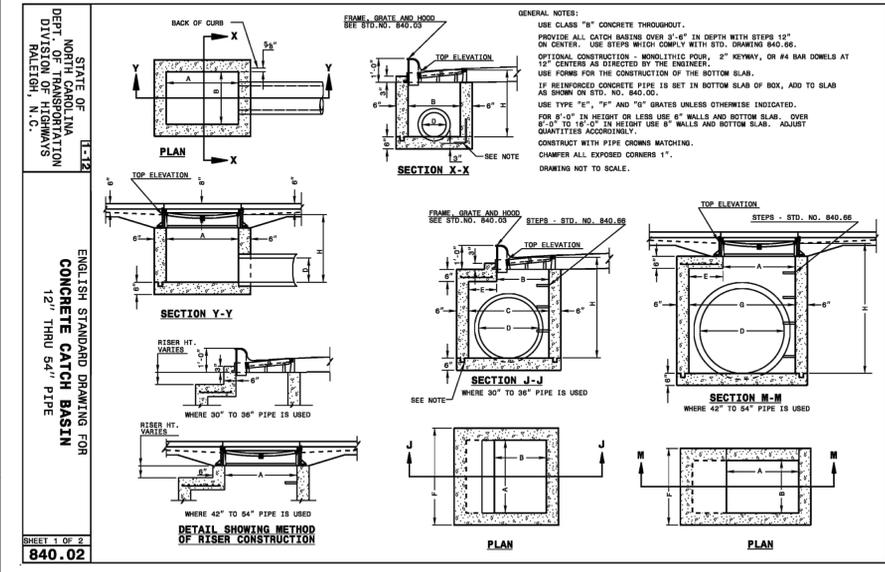
TITLE: SILT FENCE
REVISIONS: 08/13 JH, 15 ER
DET. NO.: SD-18

TOWN OF CHAPEL HILL
ENGINEERING DEPARTMENT
STANDARD DETAILS



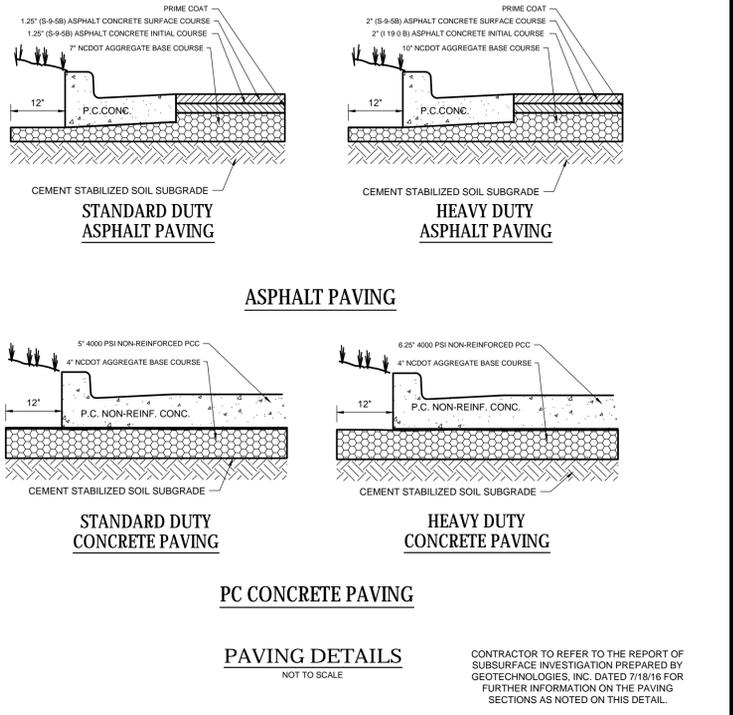
TITLE: CURB INLET - TOP VIEW
REVISIONS: NO DATE BY
DET. NO.: SD-5A

TOWN OF CHAPEL HILL
ENGINEERING DEPARTMENT
STANDARD DETAILS



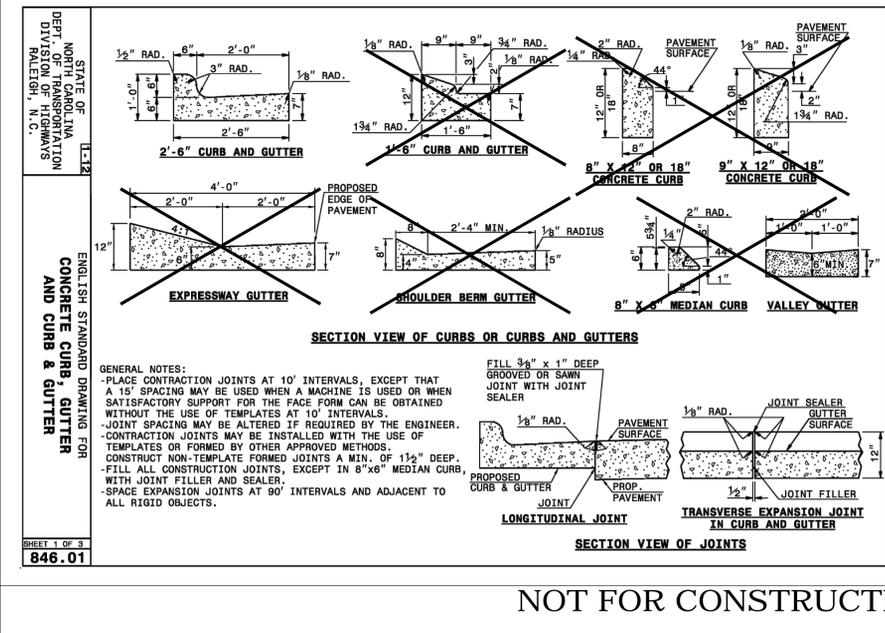
TITLE: ENGLISH STANDARD DRAWING FOR CONCRETE CATCH BASIN
REVISIONS: 12" THRU 54" PIPE
DET. NO.: 840.02

STATE OF NORTH CAROLINA
DEPT. OF TRANSPORTATION
DIVISION OF HIGHWAYS
RALEIGH, N.C.



TITLE: PAVING DETAILS
REVISIONS: NO DATE BY
DET. NO.: 846.01

TOWN OF CHAPEL HILL
ENGINEERING DEPARTMENT
STANDARD DETAILS



TITLE: ENGLISH STANDARD DRAWING FOR CONCRETE CURB, GUTTER AND GUTTER
REVISIONS: NO DATE BY
DET. NO.: 846.01

STATE OF NORTH CAROLINA
DEPT. OF TRANSPORTATION
DIVISION OF HIGHWAYS
RALEIGH, N.C.

Pennoni
Firm License F-1267
PENNONI ASSOCIATES INC.
401 Providence Road #200
Chapel Hill, NC 27514
T 919.929.1173 F 919.935.6548

REG. N.C. ENGINEER
SEAL
042486
J. N. B.

ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND OWNER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK

PROPOSED GROCERY STORE
1814 DURHAM-CHAPEL HILL BLVD
CHAPEL HILL, NC 27514

LEON CAPITAL GROUP
5970 FAIRVIEW ROAD, SUITE 450
CHARLOTTE, NC 28210

REVISIONS PER TOWN OF CHAPEL HILL COMMENTS

NO.	DATE	REVISIONS	BY
1	03/15/2017		SAK

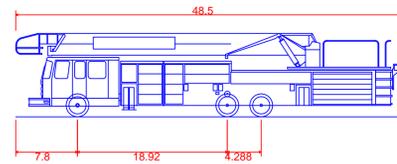
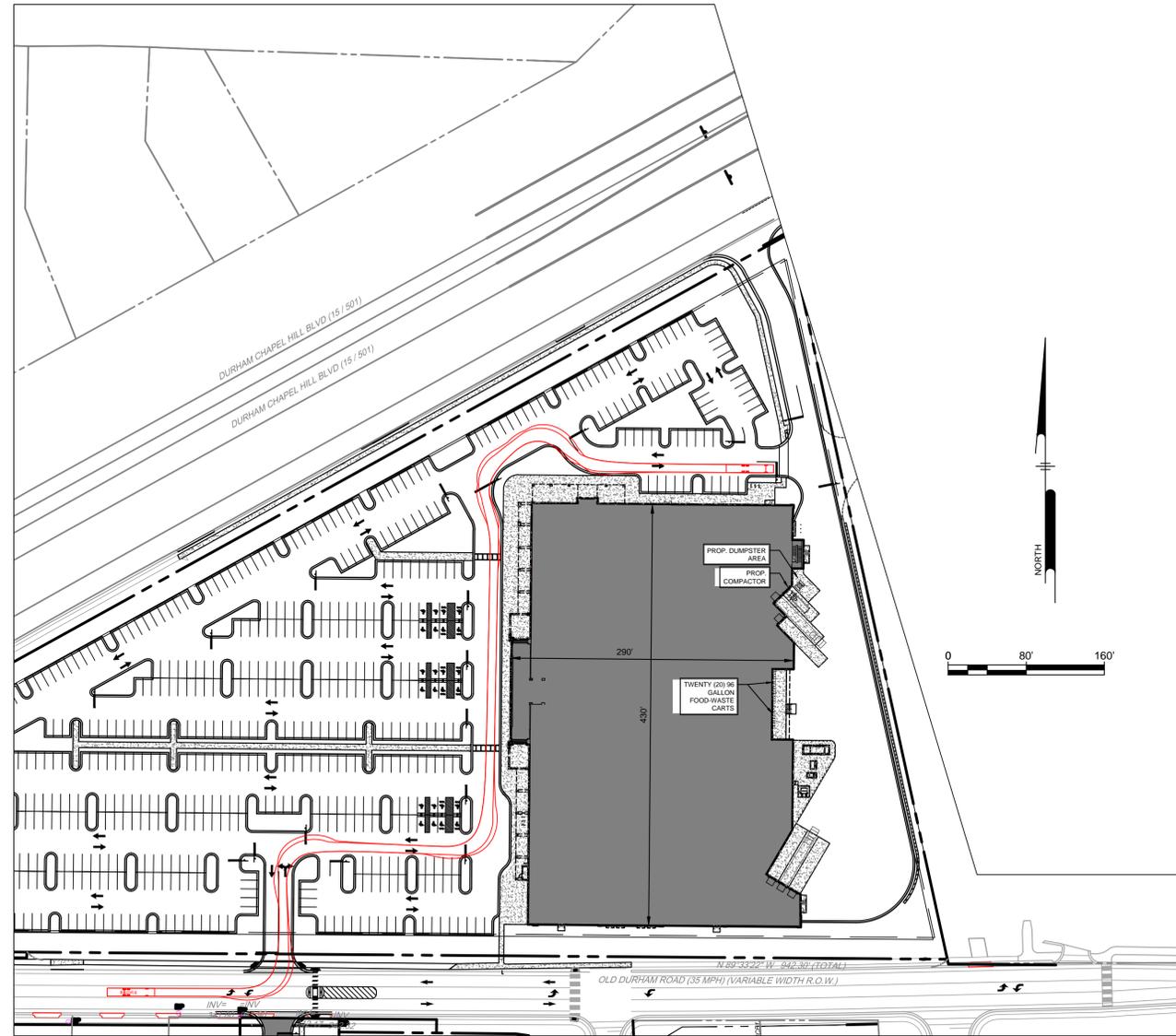
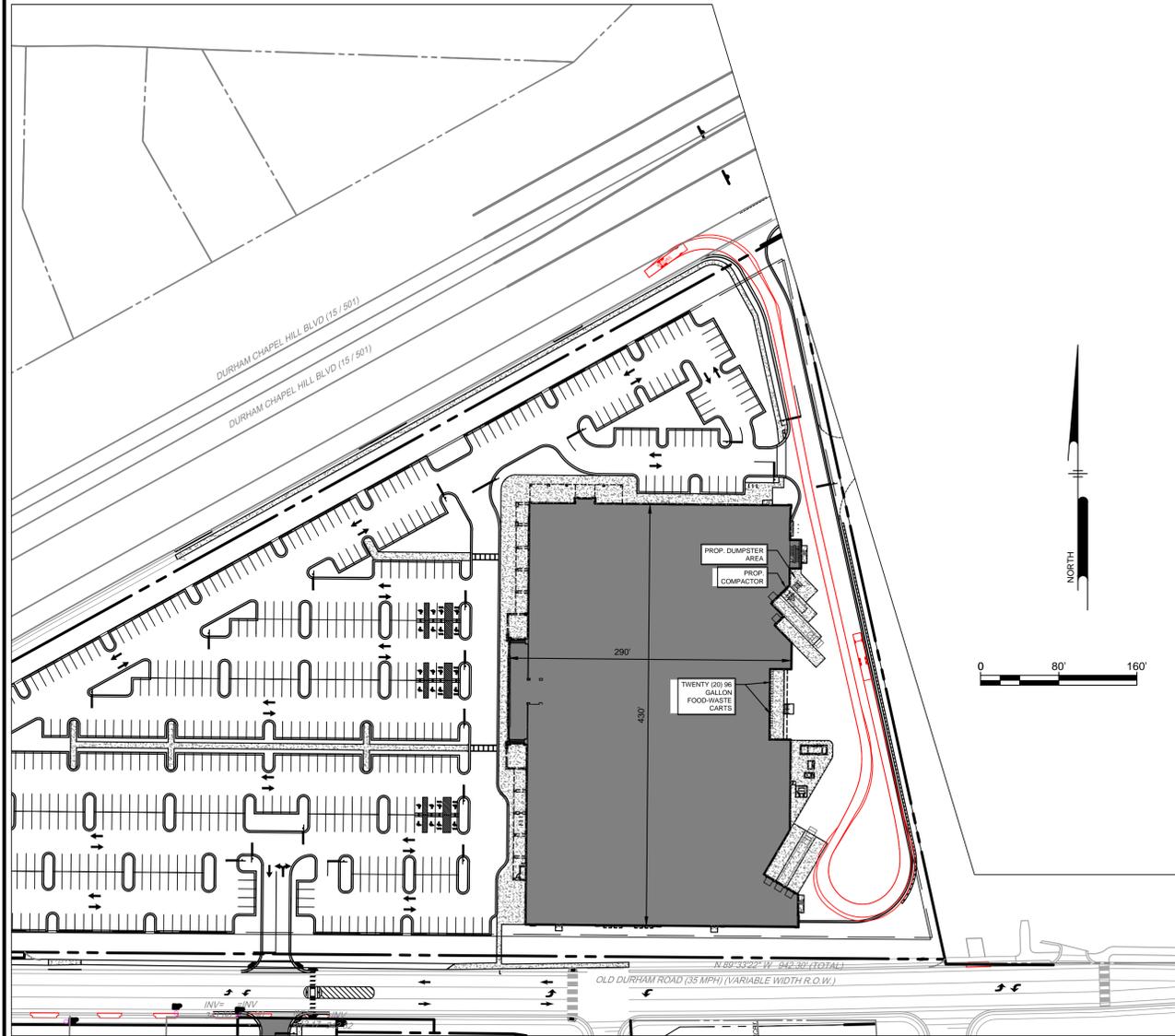
CS6001
SHEET 12 OF 15

PROJECT: LCGR1601
DATE: 2016-11-22
DRAWING SCALE: AS SHOWN
DRAWN BY: SAK
APPROVED BY: JUB

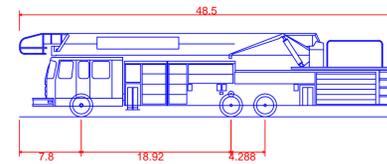
NOT FOR CONSTRUCTION

FIRE TRUCK REAR CIRCULATION

FIRE TRUCK FRONT CIRCULATION



FIRE TRUCK CHAPEL HILL
 Overall Length 48.500ft
 Overall Width 8.167ft
 Overall Body Height 10.461ft
 Min Body Ground Clearance 0.891ft
 Track Width 8.167ft
 Lock-to-lock time 5.00s
 Curb to Curb Turning Radius 41.500ft



FIRE TRUCK CHAPEL HILL
 Overall Length 48.500ft
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 Min Body Ground Clearance 0.891ft
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P:\Projects\CS9802\ALC\Drawings\Sheet\CS9802_Sheet1.dwg 1/15/2017 10:12 AM By: Scott Woodall PLOT STYLE: PenmonNCS.ctb PROJECT STATUS: CONCEPTUAL

Penmoni
 Firm License F-1267
PENNONI ASSOCIATES INC.
 401 Providence Road #200
 Chapel Hill, NC 27514
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ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND OWNER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK

PROPOSED GROCERY STORE
 1814 DURHAM-CHAPEL HILL BLVD
 CHAPEL HILL, NC 27514

FIRE TRUCK CIRCULATION

LEON CAPITAL GROUP
 5970 FAIRVIEW ROAD, SUITE 450
 CHARLOTTE, NC 28210

NO.	DATE	REVISIONS	BY
1	03/15/2017	REVISIONS PER TOWN OF CHAPEL HILL COMMENTS	SAK

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PROJECT **LCGR1601**
 DATE 2017-01-09
 DRAWING SCALE 1" = 80'
 DRAWN BY SAK
 APPROVED BY JUB

CS9802
 SHEET 15 OF 15

NOT FOR CONSTRUCTION