

# SANCAR TURKISH CULTURAL AND COMMUNITY CENTER

## SPECIAL USE PERMIT CHAPEL HILL, NORTH CAROLINA

DEVELOPER (CONTRACT PURCHASER):  
AZIZ & GWEN SANCAR FOUNDATION  
311 WEST UNIVERSITY DRIVE  
CHAPEL HILL, NC 27516  
PHONE: 919-933-9154  
GWENDOLYN\_SANCAR@MED.UNC.EDU

OWNER:  
PIN: 9799046951 & 9799047995  
HPW PROPERTIES, LLC  
1001 WADE AVENUE  
RALEIGH, NC 27605

ARCHITECT:  
INNOVATIVE DESIGN INC.  
850 MORGAN STREET  
RALEIGH, NC 27603  
PHONE: 919-832-6303  
EMAIL: NICKLAS@INNOVATIVEDSIGN.NET

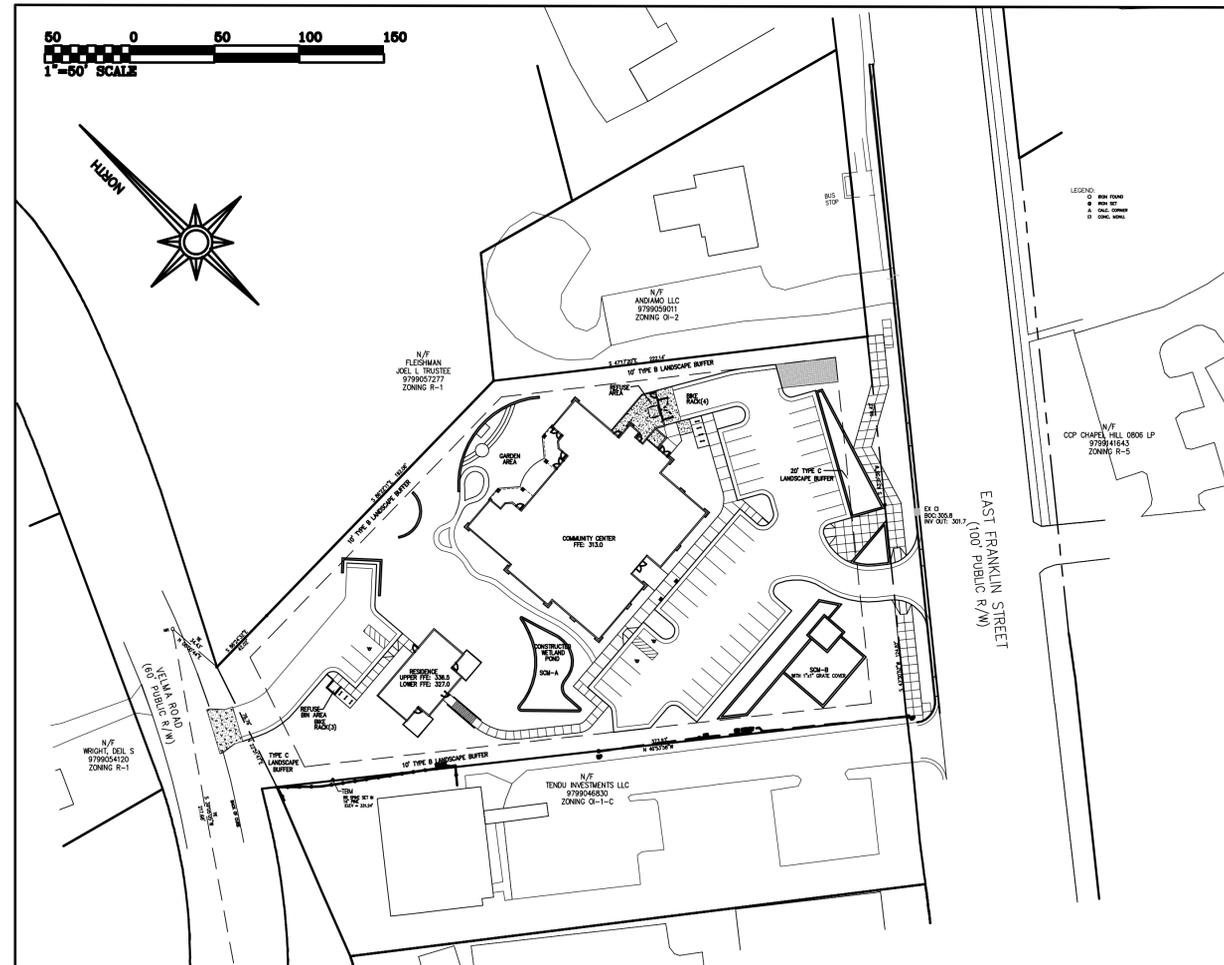
CIVIL ENGINEER:  
B&F CONSULTING, INC.  
2805 TOBERMORY LANE  
RALEIGH, NC 27606  
PHONE: 919-618-0180  
EMAIL: AMBER.FARRELLY@BANDFCONSULTING.COM

LANDSCAPE ARCHITECT:  
LANDIS, PLLC  
3908 BENTLEY BROOK DRIVE  
RALEIGH, NC 27612  
PHONE: 919-787-1617  
EMAIL: BARRETTKAYS@GMAIL.COM

SUBMITTALS  
CONCEPT PLAN SUBMITTAL..... FEB. 22, 2016  
COMMUNITY DESIGN COMMITTEE..... MAR. 22, 2016  
SUP PRE-APPLICATION MEETING..... APR. 5, 2016  
SUP SUBMITTAL..... MAY 26, 2016

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SITE DATA

PINS	9799046951
	9799047995
EXISTING ZONING	NC-C
PROPOSED ZONING	NC-C
EXISTING USE	RESIDENTIAL
PROPOSED USE	COMMERCIAL
SITE AREA	1.73 ACRES

PARKING REQUIRED

COMMUNITY CENTER PARKING	33.9 SPACES
MAX: 2032 SF DINING @ 15 SF/PERSON @ 4 PEOPLE/CAR	
GUEST HOUSE PARKING	2.5 SPACES
PER CODE OF ORDINANCES FOR RESIDENTIAL UNITS	
PARKING PROVIDED	
COMMUNITY CENTER PARKING	38 SPACES
GUEST HOUSE PARKING	4 SPACES
BICYCLE PARKING REQUIRED	
COMMUNITY CENTER PARKING	4 SPACES
GUEST HOUSE PARKING	1 SPACES
BICYCLE PARKING PROVIDED	
COMMUNITY CENTER PARKING	8 SPACES
GUEST HOUSE PARKING	6 SPACES

SETBACKS

FRONT	20 LF
SIDE	10 LF
SOLAR	11 LF

EXISTING IMPERVIOUS AREA 9,679 SF  
PROPOSED IMPERVIOUS AREA 37,252 SF  
FLOOR AREA ALLOWED (GLA \* FAR)  
GLA = NLA + CSA (N.T.E. 10% OF NLA)  
NLA = 75,271 SF  
CSA = (224.24\*50) + (78.76\*30) = 13,574 SF  
GLA = 75,271 SF + 7,527 SF = 82,798 SF  
FAR = 0.264 PER CODE OF ORDINANCES  
FLOOR AREA ALLOWED = 82,798 \* 0.264 = 21,858 SF  
FLOOR AREA PROPOSED = 9,642 SF + 2,909 SF = 12,551 SF  
PROPOSED FLOOR AREA RATIO: 12,551/82,798 = 0.152

DISTURBED AREA = 75,977 SF

- GENERAL NOTES:
- BOUNDARY INFORMATION IS TAKEN FROM A SURVEY BY FREEHOLD LAND SURVEYS, INC.
  - SITE TOPOGRAPHIC INFORMATION IS TAKEN FROM A COMBINATION OF GIS DATA AND A SURVEY BY FREEHOLD LAND SURVEYS, INC.
  - EXISTING STREETS AND BUILDINGS ARE TAKEN FROM A COMBINATION OF GIS DATA AND A SURVEY BY FREEHOLD LAND SURVEYS, INC.
  - ALL MATERIALS AND CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH THE TOWN OF CHAPEL HILL, OWASA, NCDOT, AND NCDENR STANDARDS AND SPECIFICATIONS.
  - FEMA DESIGNATED FLOOD ZONES ARE NOT LOCATED ON THIS PROPERTY.
  - STREAM BUFFERS AND WETLANDS ARE NOT LOCATED ON THIS PROPERTY.
  - THIS SITE IS NOT LOCATED WITHIN ANY RESOURCE CONSERVATION DISTRICT.



B&F CONSULTING  
B&F CONSULTING, INC.  
2805 Tobermory Lane  
Raleigh, NC 27606  
Phone : 919 618 0180  
NC License: C-2149



SUP SUBMITTAL  
SEAL: 5/26/2016

SANCAR TURKISH CULTURAL AND COMMUNITY CENTER  
1609 E. Franklin Street, Chapel Hill, NC 27514

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2		
1	SUP	5/26/2016
NO.	SUBMISSION	DATE

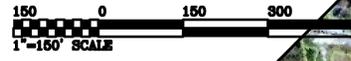
CHECKED BY: RJB

DRAWN BY: ARF

PROJECT NUMBER: 1602

SHEET NAME:

COVER  
SHEET NUMBER:  
1-01



**SITE DATA**

PINS	9799046951 9799047995
EXISTING ZONING	NC-C
PROPOSED ZONING	NC-C
EXISTING USE	RESIDENTIAL
PROPOSED USE	COMMERCIAL
SITE AREA	1.77 ACRES

DEVELOPER (CONTRACT PURCHASER):  
 AZIZ & GWEN SANCAR FOUNDATION  
 311 WEST UNIVERSITY DRIVE  
 CHAPEL HILL, NC 27516  
 PHONE: 919-966-2077  
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SUP SUBMITTAL  
 SEAL: 5/28/2016

**SANCAR TURKISH CULTURAL AND COMMUNITY CENTER**  
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DRAWN BY: **ARF**

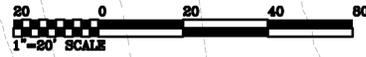
PROJECT NUMBER: **1602**

SHEET NAME:

AREA MAP

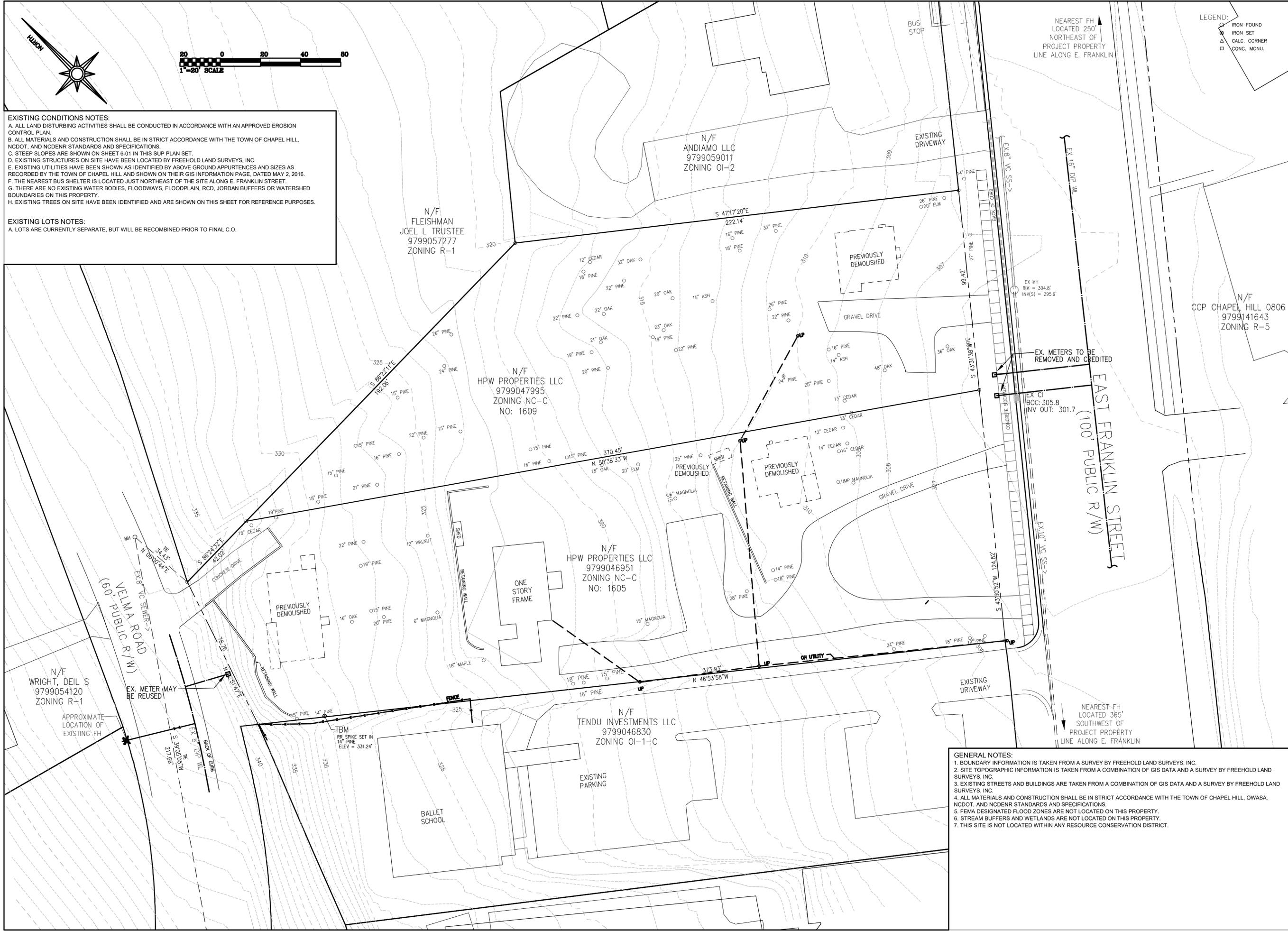
SHEET NUMBER:

**2-01**



**EXISTING CONDITIONS NOTES:**  
 A. ALL LAND DISTURBING ACTIVITIES SHALL BE CONDUCTED IN ACCORDANCE WITH AN APPROVED EROSION CONTROL PLAN.  
 B. ALL MATERIALS AND CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH THE TOWN OF CHAPEL HILL, NCDOT, AND NCDENR STANDARDS AND SPECIFICATIONS.  
 C. STEEP SLOPES ARE SHOWN ON SHEET 6-01 IN THIS SUP PLAN SET.  
 D. EXISTING STRUCTURES ON SITE HAVE BEEN LOCATED BY FREEHOLD LAND SURVEYS, INC.  
 E. EXISTING UTILITIES HAVE BEEN SHOWN AS IDENTIFIED BY ABOVE GROUND APPURTENANCES AND SIZES AS RECORDED BY THE TOWN OF CHAPEL HILL AND SHOWN ON THEIR GIS INFORMATION PAGE, DATED MAY 2, 2016.  
 F. THE NEAREST BUS SHELTER IS LOCATED JUST NORTHEAST OF THE SITE ALONG E. FRANKLIN STREET.  
 G. THERE ARE NO EXISTING WATER BODIES, FLOODWAYS, FLOODPLAIN, RCD, JORDAN BUFFERS OR WATERSHED BOUNDARIES ON THIS PROPERTY.  
 H. EXISTING TREES ON SITE HAVE BEEN IDENTIFIED AND ARE SHOWN ON THIS SHEET FOR REFERENCE PURPOSES.

**EXISTING LOTS NOTES:**  
 A. LOTS ARE CURRENTLY SEPARATE, BUT WILL BE RECOMBINED PRIOR TO FINAL C.O.



NEAREST FH LOCATED 250' NORTHEAST OF PROJECT PROPERTY LINE ALONG E. FRANKLIN

LEGEND:  
 ○ IRON FOUND  
 △ IRON SET  
 △ CALC. CORNER  
 □ CONC. MONU.



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 Phone : 919 618 0180  
 NC License: C-2149



SEAL:  
 PRELIMINARY - DO NOT USE FOR CONSTRUCTION

SUP SUBMITTAL  
 SEAL: 5/28/2016

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DRAWN BY: **ARF**

PROJECT NUMBER: **1602**

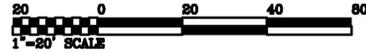
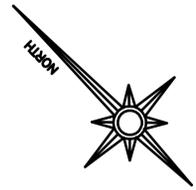
SHEET NAME:

EXISTING CONDITIONS

SHEET NUMBER: **2-02**

**GENERAL NOTES:**  
 1. BOUNDARY INFORMATION IS TAKEN FROM A SURVEY BY FREEHOLD LAND SURVEYS, INC.  
 2. SITE TOPOGRAPHIC INFORMATION IS TAKEN FROM A COMBINATION OF GIS DATA AND A SURVEY BY FREEHOLD LAND SURVEYS, INC.  
 3. EXISTING STREETS AND BUILDINGS ARE TAKEN FROM A COMBINATION OF GIS DATA AND A SURVEY BY FREEHOLD LAND SURVEYS, INC.  
 4. ALL MATERIALS AND CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH THE TOWN OF CHAPEL HILL, OWASA, NCDOT, AND NCDENR STANDARDS AND SPECIFICATIONS.  
 5. FEMA DESIGNATED FLOOD ZONES ARE NOT LOCATED ON THIS PROPERTY.  
 6. STREAM BUFFERS AND WETLANDS ARE NOT LOCATED ON THIS PROPERTY.  
 7. THIS SITE IS NOT LOCATED WITHIN ANY RESOURCE CONSERVATION DISTRICT.

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**PRELIMINARY LIGHTING LEGEND**

- SA AREA POLE LIGHT WITH FULL CUTOFF SHIELD (LED)
- SB
- HANDRAIL LIGHT - LIGHT UNDER THE TOP SURFACE OF HANDRAIL (LED)
- TRELLIS LIGHT - LIGHT UNDER TRELLIS (LED)
- SE LOW LEVEL PEDESTRIAN LIGHT APPROX. 10' HIGH (LED)
- FOUNTAIN LIGHT - LIGHT DIRECTED AT FOUNTAIN (RGBW-LED)

**SITE PLAN NOTES:**

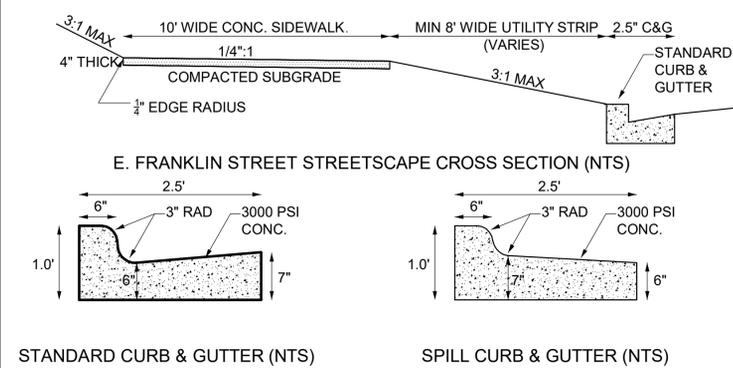
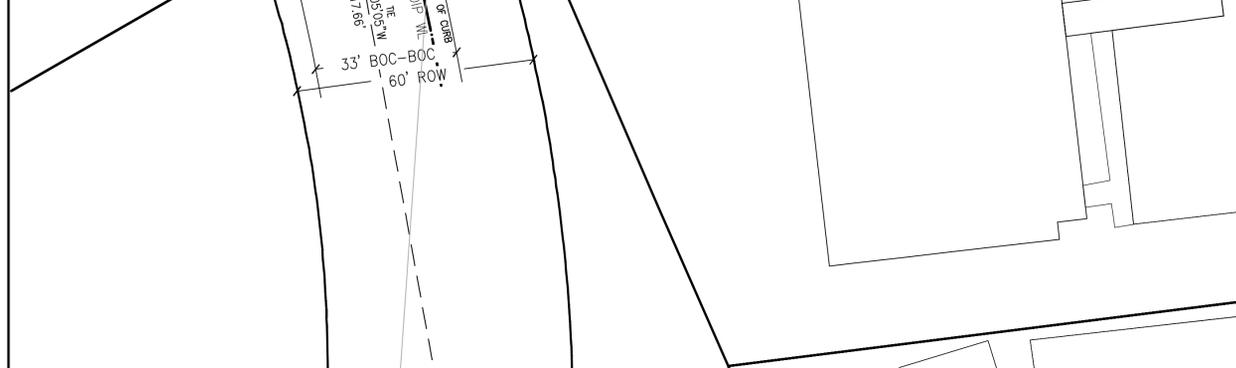
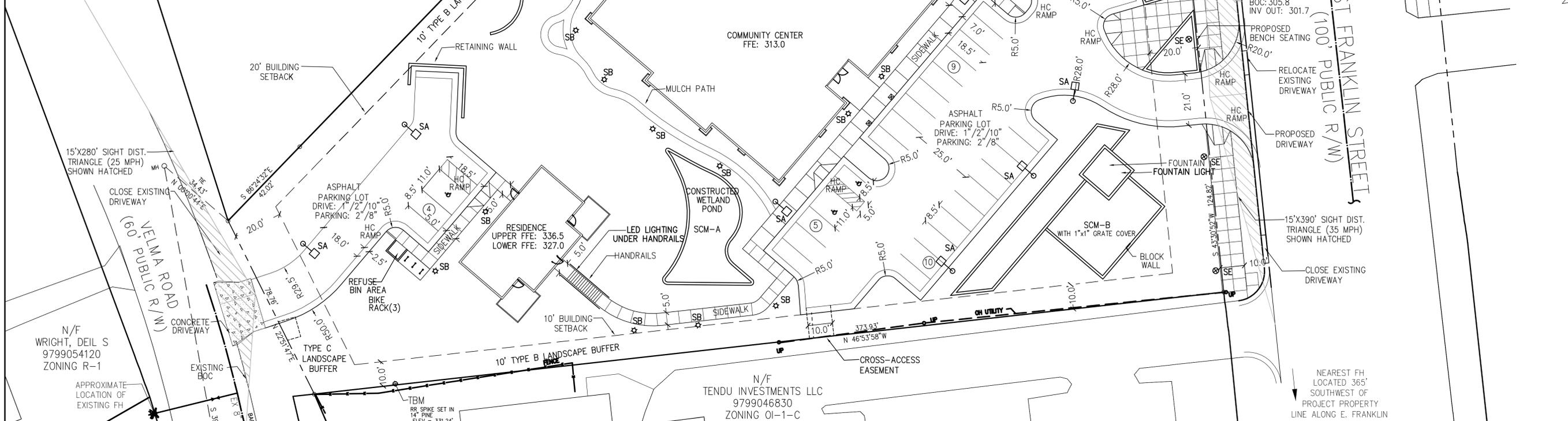
- A. ALL LAND DISTURBING ACTIVITIES SHALL BE CONDUCTED IN ACCORDANCE WITH AN APPROVED EROSION CONTROL PLAN.
- B. ALL MATERIALS AND CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH THE TOWN OF CHAPEL HILL, NCDOT, AND NCDENR STANDARDS AND SPECIFICATIONS.
- C. SPILL GUTTER TO BE INSTALLED IN AREAS AS REQUIRED TO PROVIDE ADEQUATE DRAINAGE AND TO PREVENT PONDING OF WATER.
- D. NO INFRASTRUCTURE TO BE CONSTRUCTED PRIOR TO CONSTRUCTION PLAN APPROVAL AND UTILITY PERMIT ISSUANCE BY THE TOWN OF CHAPEL HILL AND OWASA.
- E. LOCATIONS AND SIZES SHOWN FOR STORM WATER DEVICES ARE PRELIMINARY AND SUBJECT TO CHANGE PENDING FINAL LAYOUT AND DESIGN.
- F. THESE PLANS ARE FOR PRELIMINARY PURPOSES AND ARE NOT INTENDED AS A FINAL DESIGN.
- G. ALL STREETS SHOWN ON THESE PLANS SHALL HAVE THE FULL WIDTH OF THE STREET RIGHT-OF-WAY CLEARED AND GRADED WITHIN 50 FEET OF ALL STREET INTERSECTIONS.
- H. STRUCTURAL DESIGN OF ALL RETAINING WALLS AND/OR FOOTINGS TO BE PERFORMED BY OTHERS. RETAINING WALLS SHOWN ON THESE PLANS ARE FOR APPROXIMATE GRADE AND LOCATION PURPOSES ONLY.
- I. A HANDRAIL AND/OR FENCE SHOULD BE INSTALLED ALONG THE TOP OF ALL WALLS AS NOTED ON THE PLANS, OR ON ANY WALLS IN EXCESS OF 36 INCHES IN HEIGHT, OR AS DEEMED APPROPRIATE BY THE OWNER AND/OR CONTRACTOR BASED ON FINAL CONSTRUCTED FIELD CONDITIONS.

**SUP SITE INFORMATION NOTES:**

- A. ALL EXISTING BUILDINGS ON SITE TO BE REMOVED PRIOR TO NEW CONSTRUCTION.
- B. ADJACENT LAND USES ALONG/ACROSS E. FRANKLIN STREET ARE COMMERCIAL.
- C. ADJACENT LAND USE ALONG/ACROSS VELMA ROAD ARE COMMERCIAL AND RESIDENTIAL.
- D. CONSTRUCTION DETAILS ARE TO BE STANDARD TOWN OF CHAPEL HILL DETAILS.
- E. REQUIRED LANDSCAPE BUFFERS ARE SHOWN HERE AND FURTHER SHOWN ON PLANTING PLAN SHEET.
- F. REFUSE COLLECTION FACILITY IS SHOWN EAST OF THE BUILDING. THERE IS NO CARDBOARD DUMPSTER, AS OWNER WILL BE RESPONSIBLE FOR ANY CARDBOARD RECYCLING INDEPENDENT OF THIS PLAN.
- G. CONSTRUCTION PARKING, STAGING, STORAGE AREAS ARE SHOWN ON CONSTRUCTION MANAGEMENT PLAN SHEET.
- H. CLEARING AND CONSTRUCTION LIMITS ARE SHOWN ON THE GRADING AND EROSION CONTROL PLAN SHEET.
- I. THERE IS NO TRAFFIC CALMING IN ASSOCIATION WITH THIS PROJECT OTHER THAN THE PARKING AREAS/CONFIGURATION AS SHOWN ON THIS DRAWING.

**SUP SITE - RECREATION PLAN STATEMENT:**

NO RECREATION AREA IS REQUIRED WITH THIS PLAN, BUT GARDEN AREA IS PROVIDED TO THE NORTH OF THE COMMUNITY CENTER TO BE USED AS OUTDOOR SPACE FOR COMMUNITY CENTER VISITORS. THIS AREA WILL LIKELY CONSIST OF A GARDEN, FOUNTAIN AND WALKING PATHS ALONG WITH A SEATING WALL.



**GENERAL NOTES:**

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5. FEMA DESIGNATED FLOOD ZONES ARE NOT LOCATED ON THIS PROPERTY.
6. STREAM BUFFERS AND WETLANDS ARE NOT LOCATED ON THIS PROPERTY.
7. THIS SITE IS NOT LOCATED WITHIN ANY RESOURCE CONSERVATION DISTRICT.

**INNOVATIVE DESIGN**

850 W. MORGAN STREET  
RALEIGH, NORTH CAROLINA 27603  
919-852-6303 - 919-852-3339 FAX

**B&F CONSULTING**

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Phone : 919 618 0180  
NC License: C-2149

**SEAL**

NORTH CAROLINA PROFESSIONAL ENGINEER  
SEAL 02744  
ANDREW FARRELL  
PRELIMINARY - DO NOT USE FOR CONSTRUCTION

SUP SUBMITTAL  
SEAL: 5/28/2016

**SANCAR TURKISH CULTURAL AND COMMUNITY CENTER**

1609 E. Franklin Street, Chapel Hill, NC 27514

3		
2		
1	SUP	5/28/2016

CHECKED BY: **RJB**

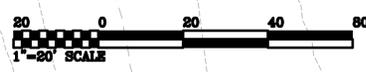
DRAWN BY: **ARF**

PROJECT NUMBER: **1602**

SHEET NAME:

**DETAILED SITE PLAN**

SHEET NUMBER: **3-01**



- LEGEND:
- IRON FOUND
  - ⊙ IRON SET
  - △ CALC. CORNER
  - CONC. MONU.

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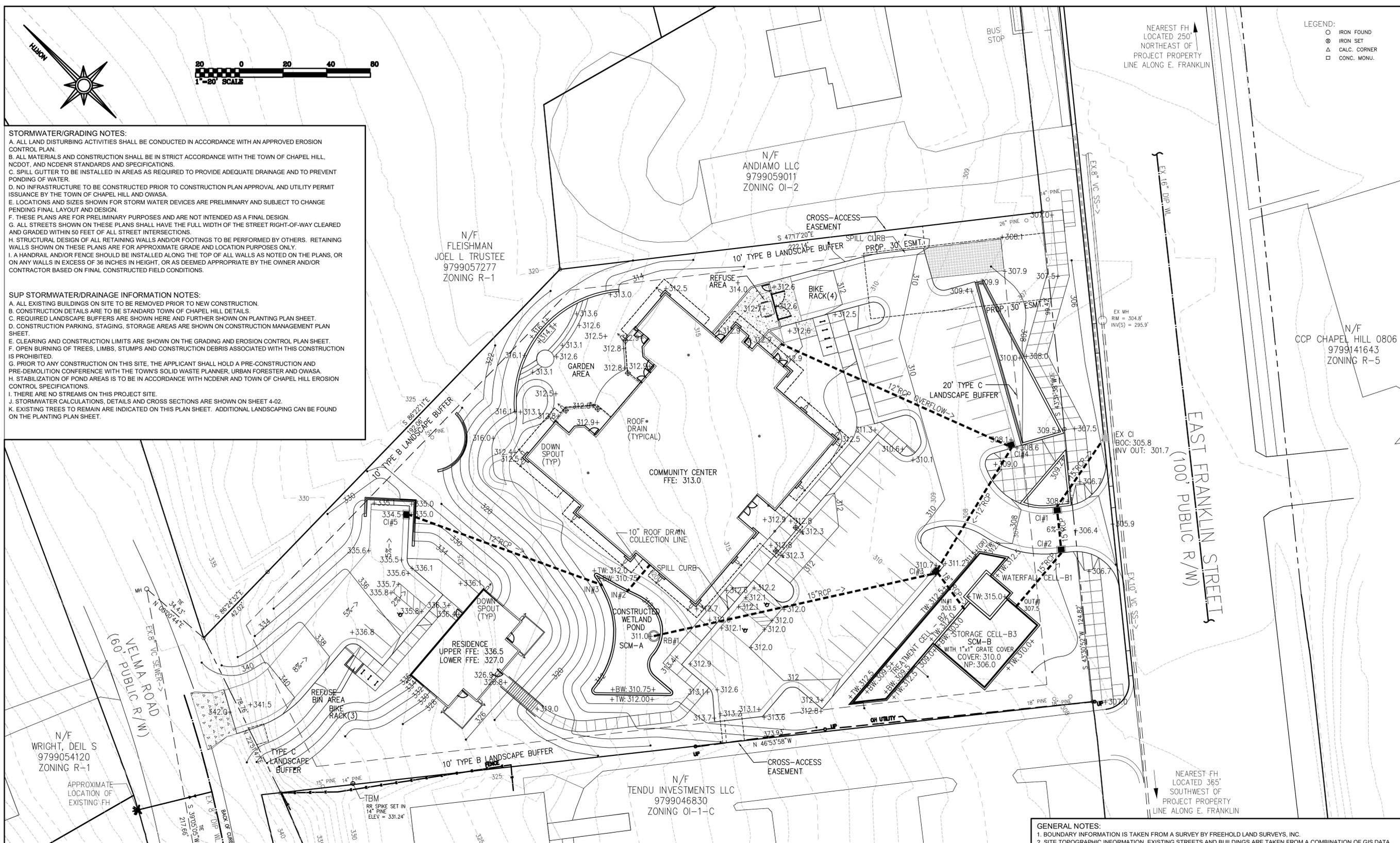
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SUP SUBMITTAL  
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**STORMWATER/GRADING NOTES:**  
 A. ALL LAND DISTURBING ACTIVITIES SHALL BE CONDUCTED IN ACCORDANCE WITH AN APPROVED EROSION CONTROL PLAN.  
 B. ALL MATERIALS AND CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH THE TOWN OF CHAPEL HILL, NCDOT, AND NCDENR STANDARDS AND SPECIFICATIONS.  
 C. SPILL GUTTER TO BE INSTALLED IN AREAS AS REQUIRED TO PROVIDE ADEQUATE DRAINAGE AND TO PREVENT PONDING OF WATER.  
 D. NO INFRASTRUCTURE TO BE CONSTRUCTED PRIOR TO CONSTRUCTION PLAN APPROVAL AND UTILITY PERMIT ISSUANCE BY THE TOWN OF CHAPEL HILL AND OWASA.  
 E. LOCATIONS AND SIZES SHOWN FOR STORM WATER DEVICES ARE PRELIMINARY AND SUBJECT TO CHANGE PENDING FINAL LAYOUT AND DESIGN.  
 F. THESE PLANS ARE FOR PRELIMINARY PURPOSES AND ARE NOT INTENDED AS A FINAL DESIGN.  
 G. ALL STREETS SHOWN ON THESE PLANS SHALL HAVE THE FULL WIDTH OF THE STREET RIGHT-OF-WAY CLEARED AND GRADED WITHIN 50 FEET OF ALL STREET INTERSECTIONS.  
 H. STRUCTURAL DESIGN OF ALL RETAINING WALLS AND/OR FOOTINGS TO BE PERFORMED BY OTHERS. RETAINING WALLS SHOWN ON THESE PLANS ARE FOR APPROXIMATE GRADE AND LOCATION PURPOSES ONLY.  
 I. A HANDRAIL AND/OR FENCE SHOULD BE INSTALLED ALONG THE TOP OF ALL WALLS AS NOTED ON THE PLANS, OR ON ANY WALLS IN EXCESS OF 36 INCHES IN HEIGHT, OR AS DEEMED APPROPRIATE BY THE OWNER AND/OR CONTRACTOR BASED ON FINAL CONSTRUCTED FIELD CONDITIONS.

**SUP STORMWATER/DRAINAGE INFORMATION NOTES:**  
 A. ALL EXISTING BUILDINGS ON SITE TO BE REMOVED PRIOR TO NEW CONSTRUCTION.  
 B. CONSTRUCTION DETAILS ARE TO BE STANDARD TOWN OF CHAPEL HILL DETAILS.  
 C. REQUIRED LANDSCAPE BUFFERS ARE SHOWN HERE AND FURTHER SHOWN ON PLANTING PLAN SHEET.  
 D. CONSTRUCTION PARKING, STAGING, STORAGE AREAS ARE SHOWN ON CONSTRUCTION MANAGEMENT PLAN SHEET.  
 E. CLEARING AND CONSTRUCTION LIMITS ARE SHOWN ON THE GRADING AND EROSION CONTROL PLAN SHEET.  
 F. OPEN BURNING OF TREES, LIMBS, STUMPS AND CONSTRUCTION DEBRIS ASSOCIATED WITH THIS CONSTRUCTION IS PROHIBITED.  
 G. PRIOR TO ANY CONSTRUCTION ON THIS SITE, THE APPLICANT SHALL HOLD A PRE-CONSTRUCTION AND PRE-DEMOLITION CONFERENCE WITH THE TOWN'S SOLID WASTE PLANNER, URBAN FORESTER AND OWASA.  
 H. STABILIZATION OF POND AREAS IS TO BE IN ACCORDANCE WITH NCDENR AND TOWN OF CHAPEL HILL EROSION CONTROL SPECIFICATIONS.  
 I. THERE ARE NO STREAMS ON THIS PROJECT SITE.  
 J. STORMWATER CALCULATIONS, DETAILS AND CROSS SECTIONS ARE SHOWN ON SHEET 4-02.  
 K. EXISTING TREES TO REMAIN ARE INDICATED ON THIS PLAN SHEET. ADDITIONAL LANDSCAPING CAN BE FOUND ON THE PLANTING PLAN SHEET.



**GENERAL NOTES:**  
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 3. ALL MATERIALS AND CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH THE TOWN OF CHAPEL HILL, OWASA, NCDOT, AND NCDENR STANDARDS AND SPECIFICATIONS.  
 4. FEMA DESIGNATED FLOOD ZONES ARE NOT LOCATED ON THIS PROPERTY.  
 5. STORMWATER DETENTION TO BE PROVIDED FOR PREDEVELOPMENT RELEASE RATES.  
 6. STORMWATER TREATMENT TO BE PROVIDED FOR 85% TSS REMOVAL FOR THE 1" STORM.

**Storm Drainage Summary - Sancar Turkish Center**  
 Summary of Pipes - 5/20/2016

From	To	Rational C	Intensity (in/hr)	Area (ac)	Q <sub>10</sub> (cfs)	Q (cfs)	Length (ft)	Diameter (inches)	DI <sub>A</sub> (inches)	Slope (%)	Invert (From)	Invert (To)	
EX CI	CI#1	0.90	7.31	0.02	0.1	9.5	38.0	15	RCP	15.2	2.00%	301.90	302.66
CI#1	CI#2	0.90	7.31	0.03	0.2	9.3	14.7	15	RCP	15.1	2.00%	302.86	303.15
CI#2	OUT#1					9.1	32.3	15	RCP	15.0	2.00%	303.35	304.00
IN#1	CI#3	0.90	7.31	0.21	1.4	7.7	20.5	18	RCP	16.0	1.00%	303.50	303.71
CI#3	CI#4	0.80	7.31	0.24	1.4	1.8	64.8	12	RCP	10.7	0.50%	303.91	304.23
CI#4	CISTERN	0.95	7.31	0.06	0.4	0.4	113.8	12	RCP	6.1	0.50%	304.43	305.00
CI#3	RB#1	0.60	7.31	0.52	2.3	4.5	131.2	15	RCP	10.1	4.00%	303.91	309.15
IN#2	ROOF	0.95	7.31	0.21	1.49	1.5	16.1	10	HDPE	9.8	0.50%	311.00	311.08
IN#3	CI#5	0.90	7.31	0.11	0.70	0.7	94.2	12	RCP	3.9	15.00%	311.00	325.13

**Storm Drainage Summary**  
 Summary of Structures

Structure	Type	Rational C	Intensity (in/hr)	Area (ac)	Q <sub>10</sub> (cfs)	Reference Elevation BOCTOP	Depth (ft)
CI#1	PIPE OUTLET	0.90	7.31	0.02	0.1	307.10	4.4
CI#2	PIPE OUTLET	0.90	7.31	0.03	0.2	307.10	3.9
OUT#1	PIPE OUTLET			0.00	0.00	310.00	6.0
CI#3	CURB INLET	0.90	7.31	0.21	1.4	311.20	7.5
CI#4	CURB INLET	0.80	7.31	0.24	1.4	308.60	4.4
CISTERN	CISTERN OUTLET	0.95	7.31	0.06	0.4	313.00	8.0
RB#1	RISER BARREL	0.60	7.31	0.52	2.3	311.50	2.3
ROOF	INVERT FROM PME	0.95	7.31	0.21	1.5	313.00	1.9
CI#5	CURB INLET	0.90	7.31	0.11	0.7	335.00	0.0

NO.	SUBMISSION	DATE
1	SUP	5/28/2016

CHECKED BY: **RJB**

DRAWN BY: **ARF**

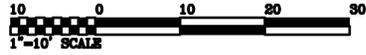
PROJECT NUMBER: **1602**

SHEET NAME:

**STORMWATER MANAGEMENT PLAN**

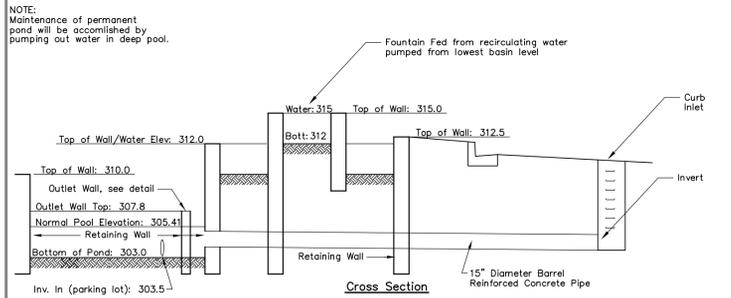
SHEET NUMBER:

**4-01**



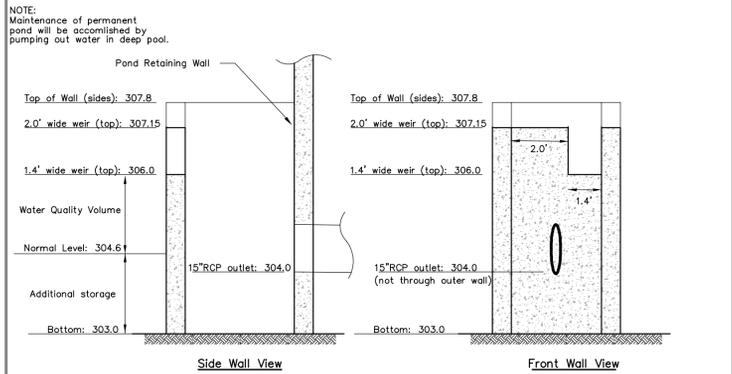
STORMWATER/GRADING NOTES:  
SEE SHEET 4-01

SUP STORMWATER/DRAINAGE INFORMATION NOTES:  
SEE SHEET 4-01



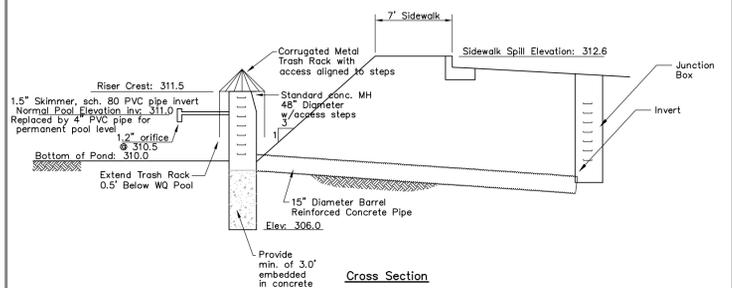
CONSTRUCTED SCM POND B

NTS



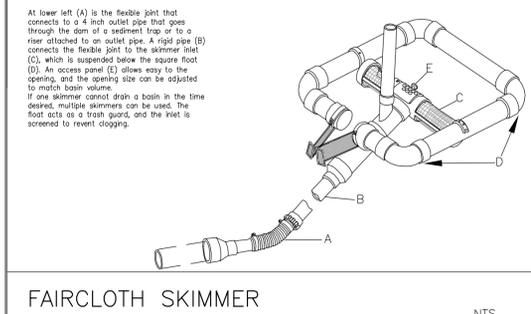
CONSTRUCTED SCM POND B OUTLET

NTS



CONSTRUCTED SCM POND A/SED BASIN

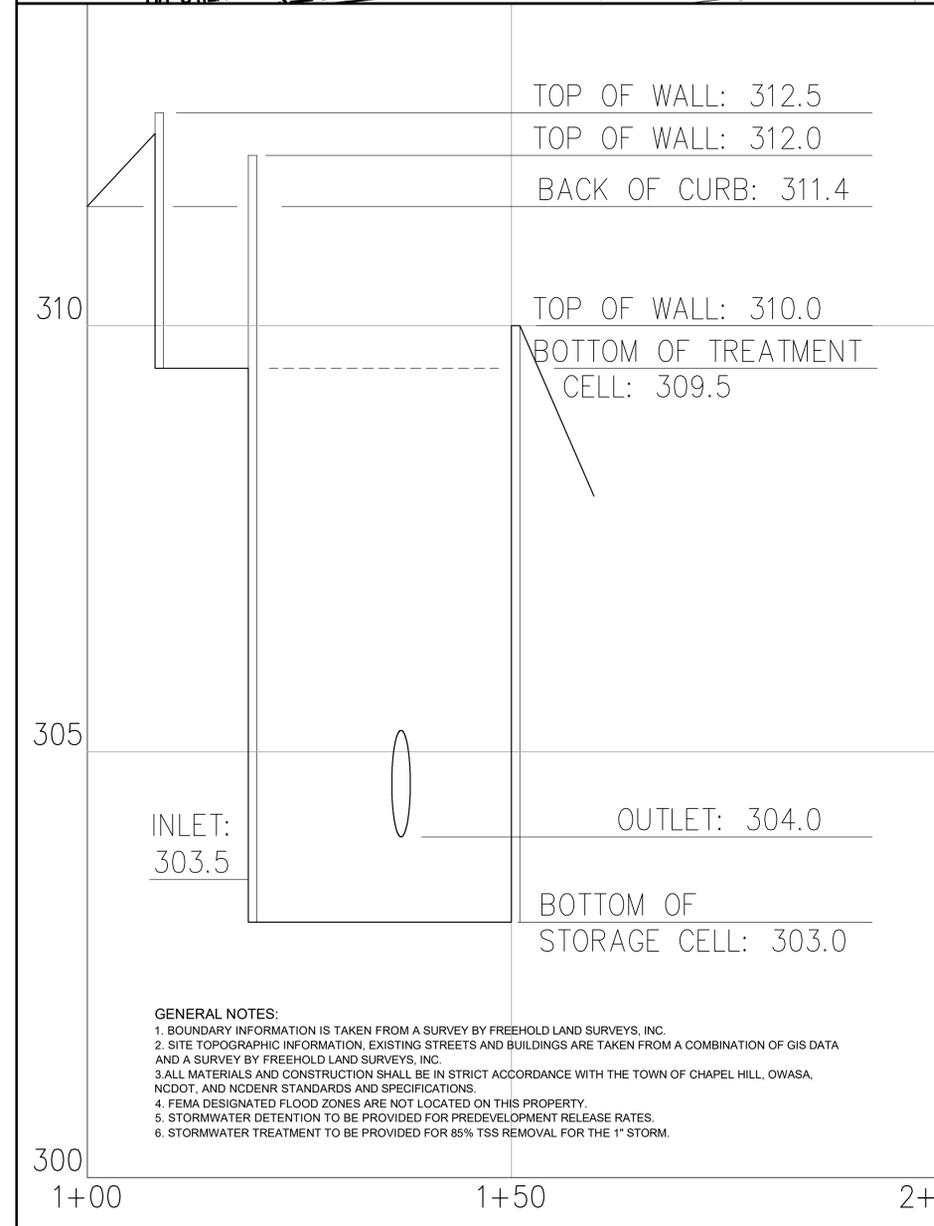
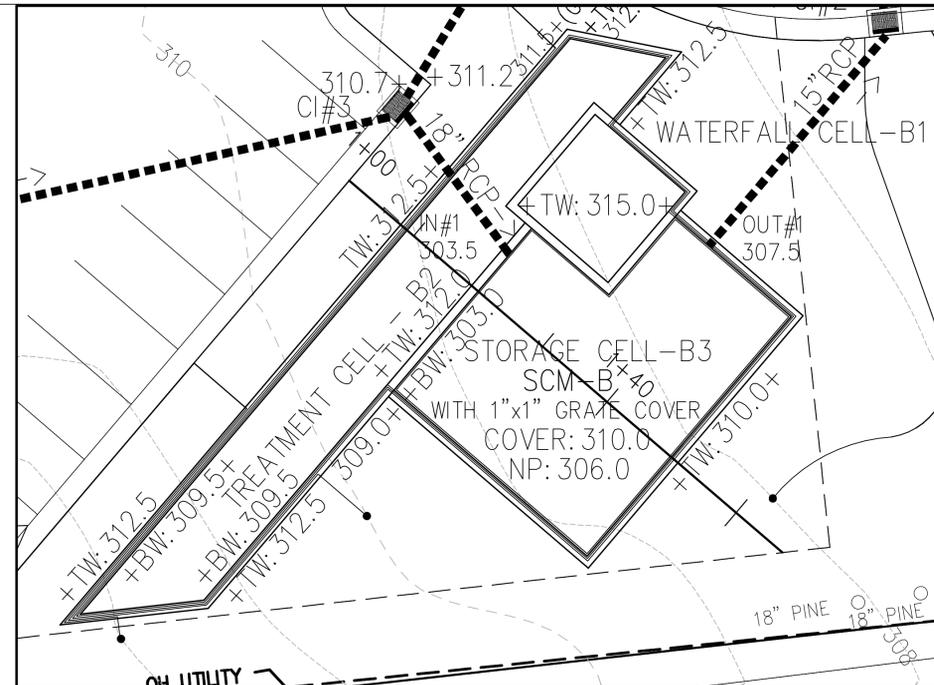
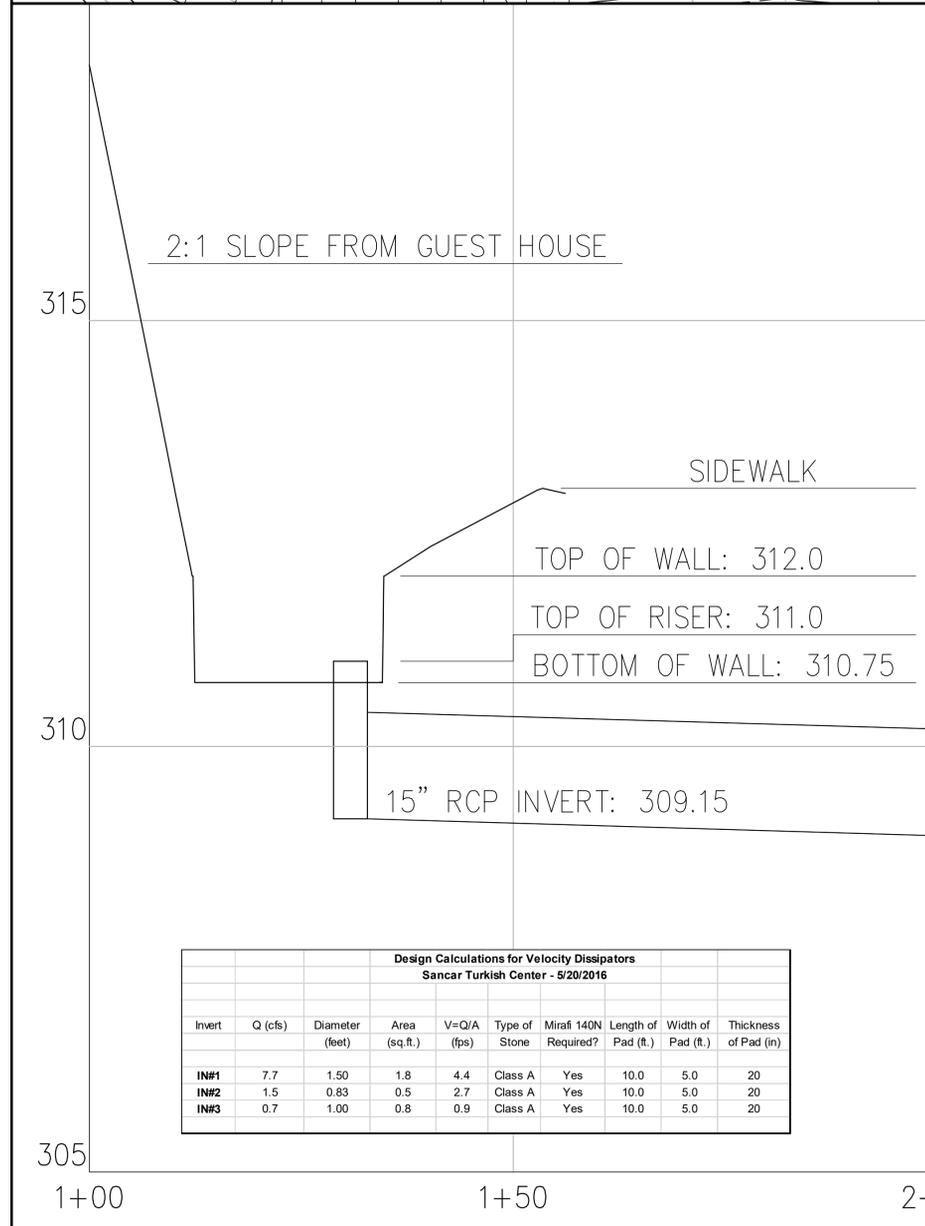
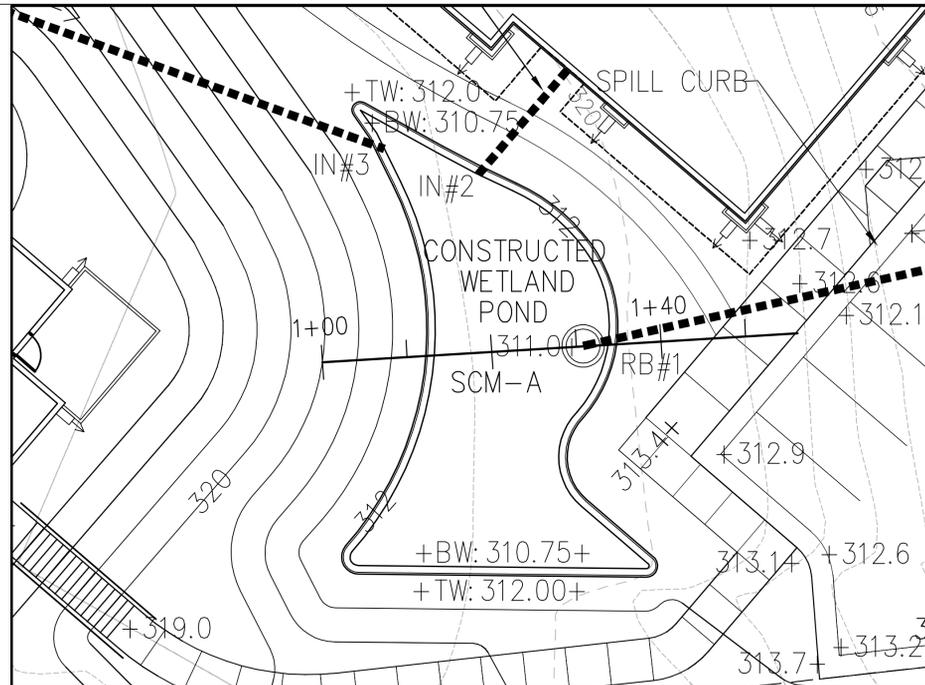
NTS



ABBREVIATION LEGEND	
JB	JUNCTION BOX
CI	CURB INLET
FES	FLARED END SECTION
DS	DOWNSPOUT
RB	RISER/BARREL

Design Calculations for Velocity Dissipators  
Sancar Turkish Center - 5/20/2016

Invert	Q (cfs)	Diameter (feet)	Area (sq.ft.)	V=Q/A (fps)	Type of Stone	Mirafi 140N Required?	Length of Pad (ft.)	Width of Pad (ft.)	Thickness of Pad (in)
IN#1	7.7	1.50	1.8	4.4	Class A	Yes	10.0	5.0	20
IN#2	1.5	0.83	0.5	2.7	Class A	Yes	10.0	5.0	20
IN#3	0.7	1.00	0.8	0.9	Class A	Yes	10.0	5.0	20



- GENERAL NOTES:
- BOUNDARY INFORMATION IS TAKEN FROM A SURVEY BY FREEHOLD LAND SURVEYS, INC.
  - SITE TOPOGRAPHIC INFORMATION, EXISTING STREETS AND BUILDINGS ARE TAKEN FROM A COMBINATION OF GIS DATA AND A SURVEY BY FREEHOLD LAND SURVEYS, INC.
  - ALL MATERIALS AND CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH THE TOWN OF CHAPEL HILL, OWASA, NCDOT, AND NCDENR STANDARDS AND SPECIFICATIONS.
  - FEMA DESIGNATED FLOOD ZONES ARE NOT LOCATED ON THIS PROPERTY.
  - STORMWATER DETENTION TO BE PROVIDED FOR PREDEVELOPMENT RELEASE RATES.
  - STORMWATER TREATMENT TO BE PROVIDED FOR 85% TSS REMOVAL FOR THE 1" STORM.



850 W. MORGAN STREET  
RALEIGH, NORTH CAROLINA 27603  
919-852-6303 - 919-852-3339 FAX

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2805 Tobemory Lane  
Raleigh, NC 28606  
Phone : 919 618 0180  
NC License: C-2149



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SUP SUBMITTAL

5/28/2016

SANCAR TURKISH CULTURAL AND COMMUNITY CENTER  
1609 E. Franklin Street, Chapel Hill, NC 27514

NO.	SUBMISSION	DATE
1	SUP	5/28/2016

CHECKED BY: RJB

DRAWN BY: ARF

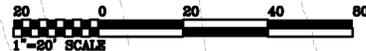
PROJECT NUMBER: 1602

SHEET NAME:

STORMWATER MANAGEMENT PLAN

SHEET NUMBER:

4-02



**STORMWATER/GRADING NOTES:**

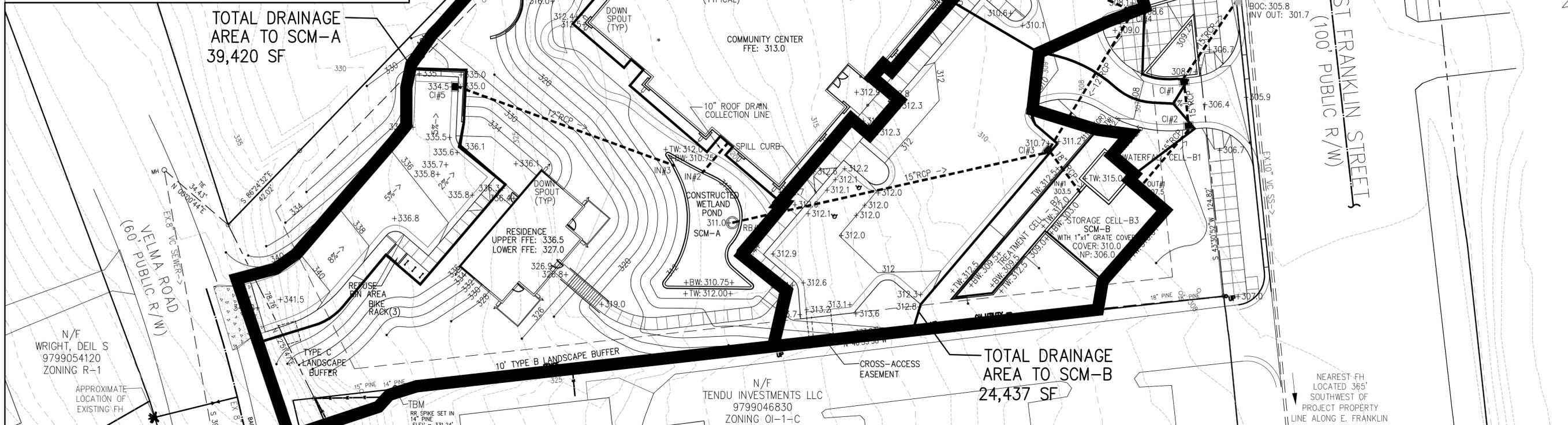
- ALL LAND DISTURBING ACTIVITIES SHALL BE CONDUCTED IN ACCORDANCE WITH AN APPROVED EROSION CONTROL PLAN.
- ALL MATERIALS AND CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH THE TOWN OF CHAPEL HILL, NCDOT, AND NCDENR STANDARDS AND SPECIFICATIONS.
- SPILL GUTTER TO BE INSTALLED IN AREAS AS REQUIRED TO PROVIDE ADEQUATE DRAINAGE AND TO PREVENT PONDING OF WATER.
- NO INFRASTRUCTURE TO BE CONSTRUCTED PRIOR TO CONSTRUCTION PLAN APPROVAL AND UTILITY PERMIT ISSUANCE BY THE TOWN OF CHAPEL HILL AND OWASA.
- LOCATIONS AND SIZES SHOWN FOR STORM WATER DEVICES ARE PRELIMINARY AND SUBJECT TO CHANGE PENDING FINAL LAYOUT AND DESIGN.
- THESE PLANS ARE FOR PRELIMINARY PURPOSES AND ARE NOT INTENDED AS A FINAL DESIGN.
- ALL STREETS SHOWN ON THESE PLANS SHALL HAVE THE FULL WIDTH OF THE STREET RIGHT-OF-WAY CLEARED AND GRADED WITHIN 50 FEET OF ALL STREET INTERSECTIONS.
- STRUCTURAL DESIGN OF ALL RETAINING WALLS AND/OR FOOTINGS TO BE PERFORMED BY OTHERS. RETAINING WALLS SHOWN ON THESE PLANS ARE FOR APPROXIMATE GRADE AND LOCATION PURPOSES ONLY.
- A HANDRAIL AND/OR FENCE SHOULD BE INSTALLED ALONG THE TOP OF ALL WALLS AS NOTED ON THE PLANS, OR ON ANY WALLS IN EXCESS OF 36 INCHES IN HEIGHT, OR AS DEEMED APPROPRIATE BY THE OWNER AND/OR CONTRACTOR BASED ON FINAL CONSTRUCTED FIELD CONDITIONS.

**SUP STORMWATER/DRAINAGE INFORMATION NOTES:**

- ALL EXISTING BUILDINGS ON SITE TO BE REMOVED PRIOR TO NEW CONSTRUCTION.
- CONSTRUCTION DETAILS ARE TO BE STANDARD TOWN OF CHAPEL HILL DETAILS.
- REQUIRED LANDSCAPE BUFFERS ARE SHOWN HERE AND FURTHER SHOWN ON PLANTING PLAN SHEET.
- CONSTRUCTION PARKING, STAGING, STORAGE AREAS ARE SHOWN ON CONSTRUCTION MANAGEMENT PLAN SHEET.
- CLEARING AND CONSTRUCTION LIMITS ARE SHOWN ON THE GRADING AND EROSION CONTROL PLAN SHEET.
- OPEN BURNING OF TREES, LIMBS, STUMPS AND CONSTRUCTION DEBRIS ASSOCIATED WITH THIS CONSTRUCTION IS PROHIBITED.
- PRIOR TO ANY CONSTRUCTION ON THIS SITE, THE APPLICANT SHALL HOLD A PRE-CONSTRUCTION AND PRE-DEMOLITION CONFERENCE WITH THE TOWN'S SOLID WASTE PLANNER, URBAN FORESTER AND OWASA.
- STABILIZATION OF POND AREAS IS TO BE IN ACCORDANCE WITH NCDENR AND TOWN OF CHAPEL HILL EROSION CONTROL SPECIFICATIONS.
- THERE ARE NO STREAMS ON THIS PROJECT SITE.
- STORMWATER CALCULATIONS, DETAILS AND CROSS SECTIONS ARE SHOWN ON SHEET 4-02.
- EXISTING TREES TO REMAIN ARE INDICATED ON THIS PLAN SHEET. ADDITIONAL LANDSCAPING CAN BE FOUND ON THE PLANTING PLAN SHEET.

**TOTAL DRAINAGE AREA TO SCM-A**  
39,420 SF

**TOTAL DRAINAGE AREA TO SCM-B**  
24,437 SF



N/F WRIGHT, DEIL S  
9799054120  
ZONING R-1

N/F FLEISHMAN  
JOEL L TRUSTEE  
9799057277  
ZONING R-1

N/F ANDIAMO LLC  
9799059011  
ZONING OI-2

N/F TENDU INVESTMENTS LLC  
9799046830  
ZONING OI-1-C

N/F CCP CHAPEL HILL 0806  
9799141643  
ZONING R-5

NEAREST FH LOCATED 250' NORTHEAST OF PROJECT PROPERTY LINE ALONG E. FRANKLIN

NEAREST FH LOCATED 365' SOUTHWEST OF PROJECT PROPERTY LINE ALONG E. FRANKLIN

**INNOVATIVE DESIGN**  
850 W. MORGAN STREET  
RALEIGH, NORTH CAROLINA 27603  
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**B&F CONSULTING**  
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Raleigh, NC 28606  
Phone : 919 618 0180  
NC License: C-2149

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SUP SUBMITTAL  
SEAL: 5/28/2016

**SANCAR TURKISH CULTURAL AND COMMUNITY CENTER**  
1609 E. Franklin Street, Chapel Hill, NC 27514

3		
2		
1	SUP	5/28/2016
NO.	SUBMISSION	DATE

CHECKED BY: **RJB**

DRAWN BY: **ARF**

PROJECT NUMBER: **1602**

SHEET NAME:

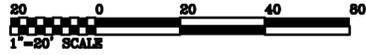
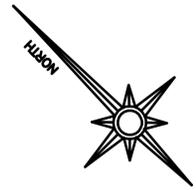
**STORMWATER DRAINAGE AREAS**

SHEET NUMBER:

**4-03**

**GENERAL NOTES:**

- BOUNDARY INFORMATION IS TAKEN FROM A SURVEY BY FREEHOLD LAND SURVEYS, INC.
- SITE TOPOGRAPHIC INFORMATION, EXISTING STREETS AND BUILDINGS ARE TAKEN FROM A COMBINATION OF GIS DATA AND A SURVEY BY FREEHOLD LAND SURVEYS, INC.
- ALL MATERIALS AND CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH THE TOWN OF CHAPEL HILL, OWASA, NCDOT, AND NCDENR STANDARDS AND SPECIFICATIONS.
- FEMA DESIGNATED FLOOD ZONES ARE NOT LOCATED ON THIS PROPERTY.
- STORMWATER DETENTION TO BE PROVIDED FOR PREDEVELOPMENT RELEASE RATES.
- STORMWATER TREATMENT TO BE PROVIDED FOR 85% TSS REMOVAL FOR THE 1" STORM.



**GENERAL NOTES:**

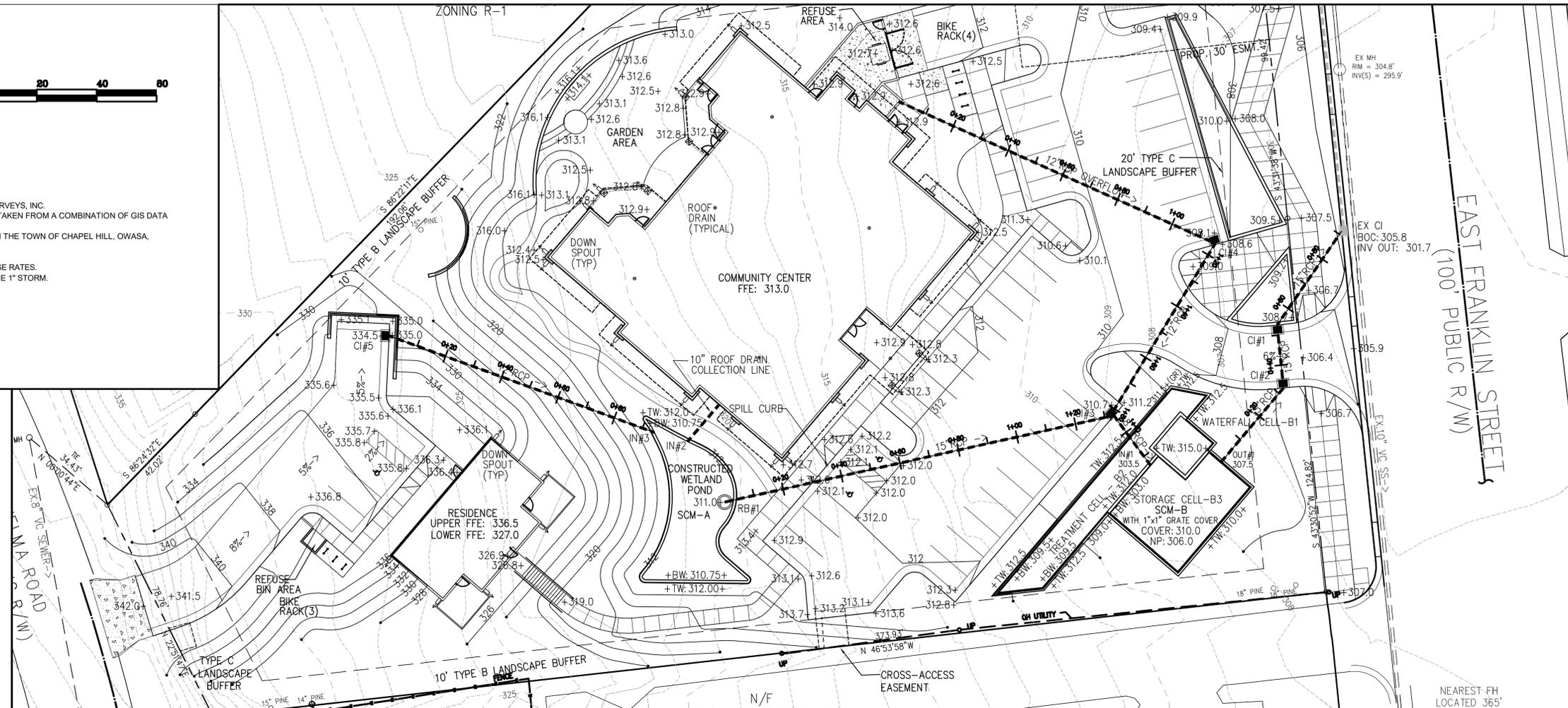
1. BOUNDARY INFORMATION IS TAKEN FROM A SURVEY BY FREEHOLD LAND SURVEYS, INC.
2. SITE TOPOGRAPHIC INFORMATION, EXISTING STREETS AND BUILDINGS ARE TAKEN FROM A COMBINATION OF GIS DATA AND A SURVEY BY FREEHOLD LAND SURVEYS, INC.
3. ALL MATERIALS AND CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH THE TOWN OF CHAPEL HILL, OWASA, NCDOT, AND NCDENR STANDARDS AND SPECIFICATIONS.
4. FEMA DESIGNATED FLOOD ZONES ARE NOT LOCATED ON THIS PROPERTY.
5. STORMWATER DETENTION TO BE PROVIDED FOR PREDEVELOPMENT RELEASE RATES.
6. STORMWATER TREATMENT TO BE PROVIDED FOR 85% TSS REMOVAL FOR THE 1" STORM.

**STORMWATER/GRADING NOTES:**

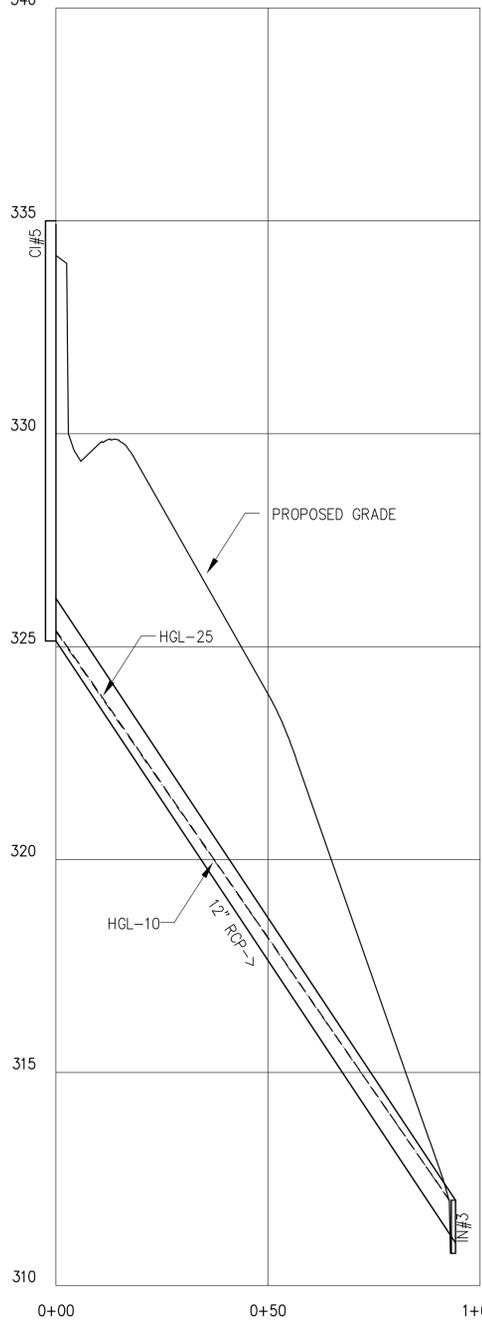
SEE SHEET 4-01

**SUP STORMWATER/DRAINAGE INFORMATION NOTES:**

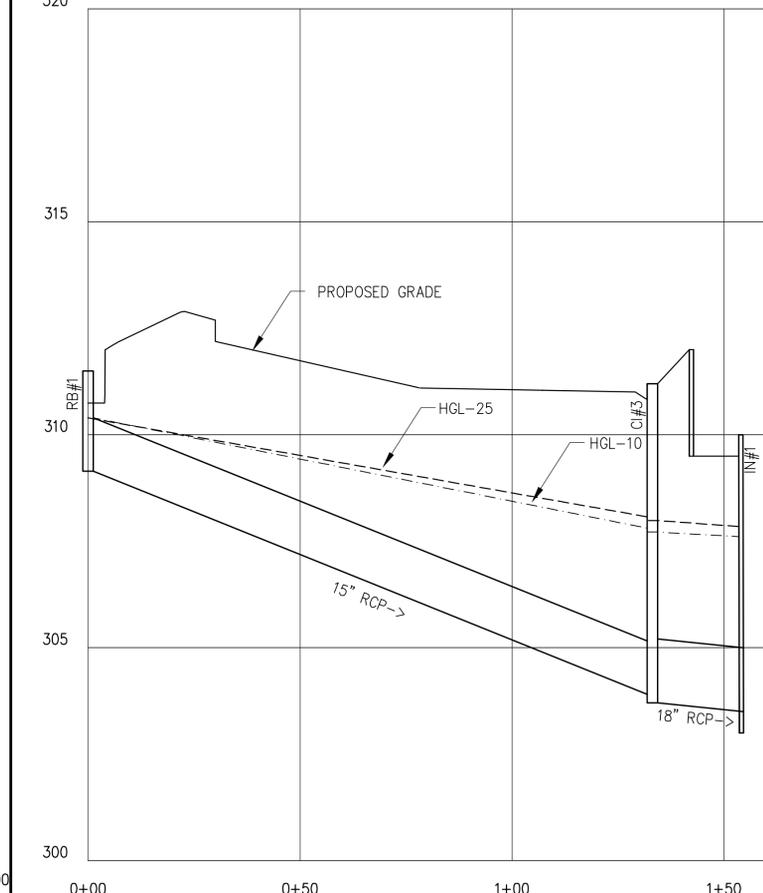
SEE SHEET 4-01



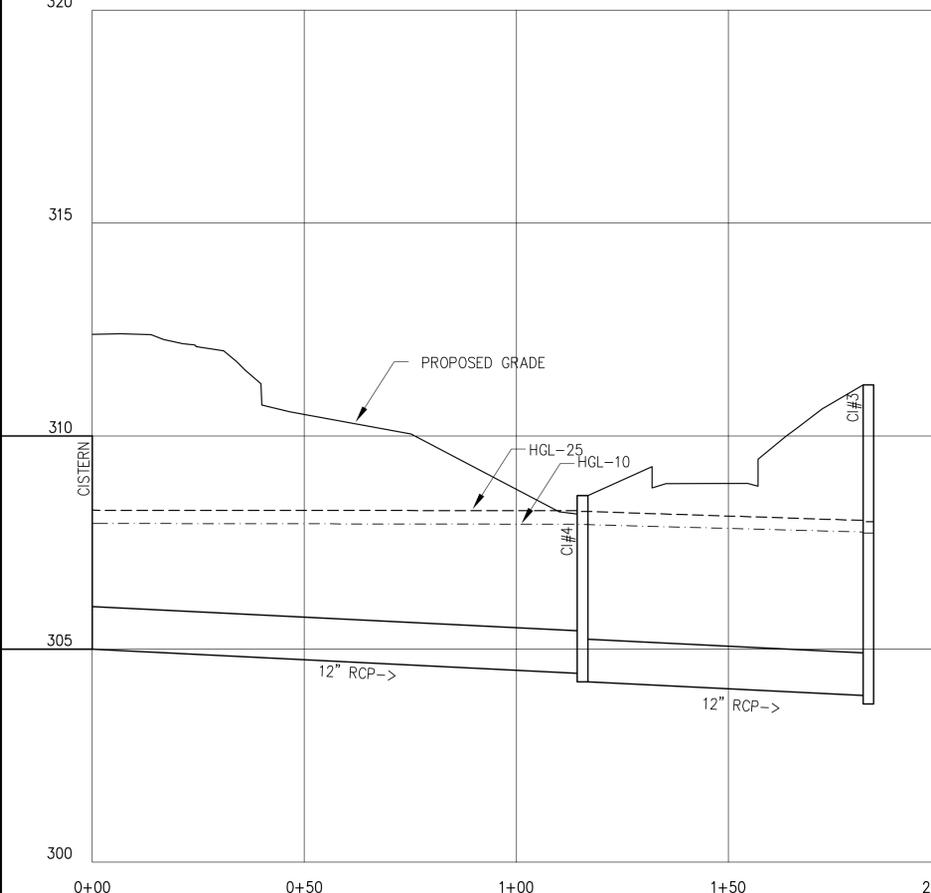
**PROFILE CI#5 TO IN#3**



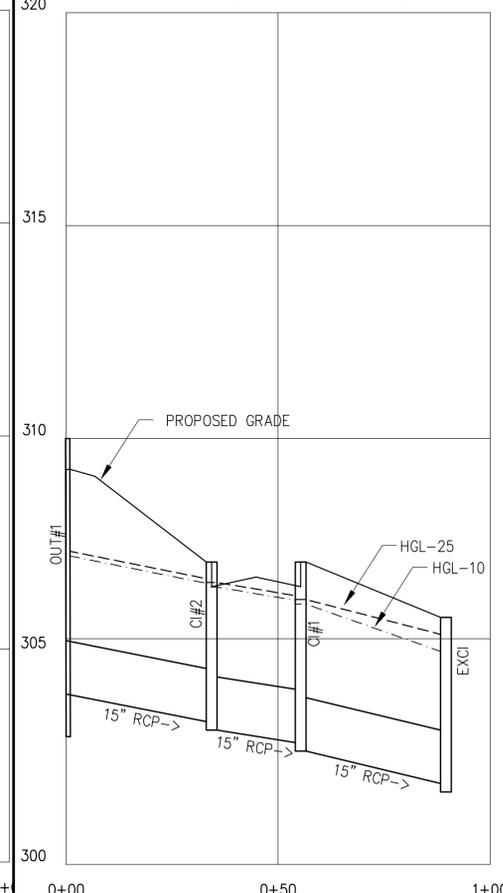
**PROFILE RB#1 TO IN#1**



**PROFILE CISTERN TO CB#3**



**PROFILE OUT#1 TO EXCI**



**INNOVATIVE DESIGN**  
850 W. MORGAN STREET  
RALEIGH, NORTH CAROLINA 27603  
919-852-6303 - 919-852-3339 FAX

**B&F CONSULTING**

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2805 Tobemary Lane  
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Phone : 919 618 0180  
NC License: C-2149



SEAL: PRELIMINARY - DO NOT USE FOR CONSTRUCTION

SUP SUBMITTAL

SEAL: 5/28/2016

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1609 E. Franklin Street, Chapel Hill, NC 27514

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1	SUP	5/28/2016

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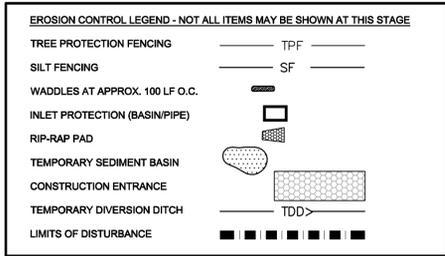
PROJECT NUMBER: **1602**

SHEET NAME:

**STORMWATER PROFILES**

SHEET NUMBER:

**4-04**

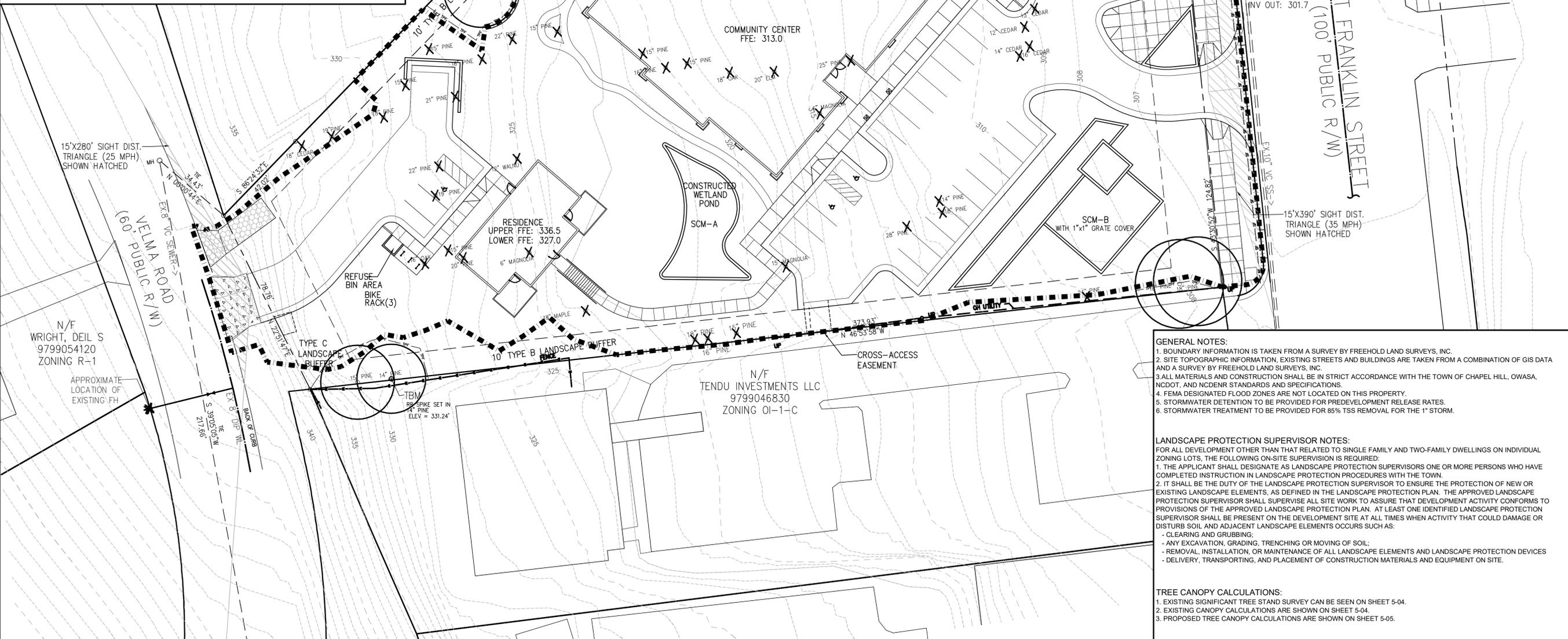


**LANDSCAPE PROTECTION NOTES:**

- ALL LAND DISTURBING ACTIVITIES SHALL BE CONDUCTED IN ACCORDANCE WITH AN APPROVED EROSION CONTROL PLAN.
- ALL MATERIALS AND CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH THE TOWN OF CHAPEL HILL, NCDOT, AND NCDENR STANDARDS AND SPECIFICATIONS.
- THESE PLANS ARE FOR PRELIMINARY PURPOSES AND ARE NOT INTENDED AS A FINAL DESIGN.
- ANY TREE ROOTS EXPOSED BY CONSTRUCTION SHALL BE SEVERED CLEANLY WITH A PRUNING TOOL.
- DO NOT DISPOSE OF ANY CHEMICALS OR REMOVE ANY SOIL OUTSIDE OF THE LIMIT OF WORK.
- WHEN INSTALLING NEW LANDSCAPE PLANTS, DO NOT DRIVE EQUIPMENT UPON OR DISTURB THE SOIL WITHIN THE CRITICAL ROOT ZONE OF EXISTING TREES.
- ALL CLEARING LIMIT LINES NOT DESIGNATED AS BEING FENCED WILL BE FLAGGED WITH A CONTINUOUS STRAND OF SURVEY TAPE TO BE INSTALLED BY THE OWNER AND MAINTAINED BY THE OWNER DURING ALL INFRASTRUCTURE CONSTRUCTION.
- ANY TREES DAMAGED BY CONSTRUCTION ACTIVITY WILL, AT THE RECOMMENDATION OF THE TOWN MANAGER, BE REMOVED BY THE APPLICANT ON ALL PUBLIC RIGHT OF WAYS AND COMMON AREA FOR MAINTENANCE BY TOWN.
- THE PREPARATION OF A REVISED LANDSCAPE PROTECTION PLAN INCLUDING THE INSTALLATION OF ADDITIONAL TREE PROTECTION FENCING MAY BE REQUIRED OF THE APPLICANT IF RARE OR SPECIMEN TREES ARE LOCATED ON THE SITE DURING INFRASTRUCTURE CONSTRUCTION THAT ARE NOT SHOWN OR SHOWN INCORRECTLY LOCATED ON THE PLANS.
- ADDITIONAL TREE PROTECTION MEASURE AND CONSTRUCTION SEQUENCE SHALL BE APPROVED BY THE TOWN'S URBAN FORESTER PRIOR TO THE ISSUANCE OF A Z.C.P.
- A PRE-CONSTRUCTION CONFERENCE MUST BE HELD BY THE TOWN'S URBAN FORESTER BEFORE ANY SITE WORK BEGINS.
- THE CRITICAL ROOT ZONE (CRZ) OF RARE AND SPECIMEN TREES WHICH MAY BE DAMAGED DURING CONSTRUCTION SHALL BE FENCED.

**SUP LANDSCAPE PROTECTION PLAN INFORMATION NOTES:**

- CONSTRUCTION DETAILS ARE TO BE STANDARD TOWN OF CHAPEL HILL DETAILS.
- REQUIRED LANDSCAPE BUFFERS ARE SHOWN HERE AND FURTHER SHOWN ON PLANTING PLAN SHEET.
- CLEARING AND CONSTRUCTION LIMITS ARE REFERENCED ON THIS PLAN AND ALSO SHOWN ON THE GRADING AND EROSION CONTROL PLAN SHEET.
- PRIOR TO THE COMMENCEMENT OF ANY ACTIVITIES REQUIRING A Z.C.P., A PRE-CONSTRUCTION CONFERENCE WITH THE TOWN'S URBAN FORESTER OR LANDSCAPE ARCHITECT SHALL TAKE PLACE TO REVIEW PROCEDURES FOR PROTECTION AND MANAGEMENT OF ALL PROTECTED LANDSCAPE ELEMENTS IDENTIFIED ON THE LANDSCAPE PROTECTION PLAN. OPEN BURNING OF TREES, LIMBS, STUMPS AND CONSTRUCTION DEBRIS ASSOCIATED WITH THIS CONSTRUCTION IS PROHIBITED.
- STABILIZATION OF POND AREAS IS TO BE IN ACCORDANCE WITH NCDENR AND TOWN OF CHAPEL HILL EROSION CONTROL SPECIFICATIONS.
- EXISTING TREES TO REMAIN ARE INDICATED ON THIS PLAN SHEET. ADDITIONAL LANDSCAPING CAN BE FOUND ON THE PLANTING PLAN SHEET.
- CRITICAL ROOT ZONES ARE SHOWN ON TREES TO REMAIN. TREES TO BE REMOVED ARE NOTED WITH AN "X".



- GENERAL NOTES:**
- BOUNDARY INFORMATION IS TAKEN FROM A SURVEY BY FREEHOLD LAND SURVEYS, INC.
  - SITE TOPOGRAPHIC INFORMATION, EXISTING STREETS AND BUILDINGS ARE TAKEN FROM A COMBINATION OF GIS DATA AND A SURVEY BY FREEHOLD LAND SURVEYS, INC.
  - ALL MATERIALS AND CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH THE TOWN OF CHAPEL HILL, OWASA, NCDOT, AND NCDENR STANDARDS AND SPECIFICATIONS.
  - FEMA DESIGNATED FLOOD ZONES ARE NOT LOCATED ON THIS PROPERTY.
  - STORMWATER DETENTION TO BE PROVIDED FOR PREDEVELOPMENT RELEASE RATES.
  - STORMWATER TREATMENT TO BE PROVIDED FOR 85% TSS REMOVAL FOR THE 1" STORM.

- LANDSCAPE PROTECTION SUPERVISOR NOTES:**
- FOR ALL DEVELOPMENT OTHER THAN THAT RELATED TO SINGLE FAMILY AND TWO-FAMILY DWELLINGS ON INDIVIDUAL ZONING LOTS, THE FOLLOWING ON-SITE SUPERVISION IS REQUIRED:
- THE APPLICANT SHALL DESIGNATE AS LANDSCAPE PROTECTION SUPERVISORS ONE OR MORE PERSONS WHO HAVE COMPLETED INSTRUCTION IN LANDSCAPE PROTECTION PROCEDURES WITH THE TOWN.
  - IT SHALL BE THE DUTY OF THE LANDSCAPE PROTECTION SUPERVISOR TO ENSURE THE PROTECTION OF NEW OR EXISTING LANDSCAPE ELEMENTS, AS DEFINED IN THE LANDSCAPE PROTECTION PLAN. THE APPROVED LANDSCAPE PROTECTION SUPERVISOR SHALL SUPERVISE ALL SITE WORK TO ASSURE THAT DEVELOPMENT ACTIVITY CONFORMS TO PROVISIONS OF THE APPROVED LANDSCAPE PROTECTION PLAN. AT LEAST ONE IDENTIFIED LANDSCAPE PROTECTION SUPERVISOR SHALL BE PRESENT ON THE DEVELOPMENT SITE AT ALL TIMES WHEN ACTIVITY THAT COULD DAMAGE OR DISTURB SOIL AND ADJACENT LANDSCAPE ELEMENTS OCCURS SUCH AS:
    - CLEARING AND GRUBBING;
    - ANY EXCAVATION, GRADING, TRENCHING OR MOVING OF SOIL;
    - REMOVAL, INSTALLATION, OR MAINTENANCE OF ALL LANDSCAPE ELEMENTS AND LANDSCAPE PROTECTION DEVICES
    - DELIVERY, TRANSPORTING, AND PLACEMENT OF CONSTRUCTION MATERIALS AND EQUIPMENT ON SITE.

- TREE CANOPY CALCULATIONS:**
- EXISTING SIGNIFICANT TREE STAND SURVEY CAN BE SEEN ON SHEET 5-04.
  - EXISTING CANOPY CALCULATIONS ARE SHOWN ON SHEET 5-04.
  - PROPOSED TREE CANOPY CALCULATIONS ARE SHOWN ON SHEET 5-05.

**INNOVATIVE DESIGN**  
 850 W. MORGAN STREET  
 RALEIGH, NORTH CAROLINA, 27603  
 919-852-6303 - 919-852-3339 FAX

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 2805 Tobemory Lane  
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SEAL: [Professional Engineer Seal]  
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SUP SUBMITTAL  
 SEAL: 5/28/2016

**SANCAR TURKISH CULTURAL AND COMMUNITY CENTER**  
 1609 E. Franklin Street, Chapel Hill, NC 27514

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2		
1	SUP	5/28/2016
NO.	SUBMISSION	DATE
CHECKED BY: RJB		
DRAWN BY: ARF		
PROJECT NUMBER: 1602		

SHEET NAME:  
**LANDSCAPE PROTECTION PLAN**  
 SHEET NUMBER:  
**5-01**



INNOVATIVE DESIGN

850 W. MORGAN STREET  
RALEIGH, NORTH CAROLINA 27603  
919-832-6303 - 919-832-3339 FAX



LANDIS, PLLC

3908 Bentley Brook Dr.  
Raleigh, NC 27612  
Phone: 919 787 1617  
NC License: LA-304  
SS#: 1005



SUP Plans

SEAL:

Sancar Turkish Cultural and Community Center  
Center  
Sancar Foundation  
1609 E. Franklin St. Chapel Hill, NC 27514

Sancar Turkish Cultural & Community Center  
Landscape Plant & Soil Lists

Table with columns: Code, Botanical Name, Common Name, Quantity, Size, Height, Width, Fruit/Nut. Includes Deciduous trees like Forest Pansy Redbud, American Hazelnut, Brown Turkey Fig, Golden Rain Tree, Bing Sweet Cherry, Crimson Pointe Flowering Plum, Fruiting Pomegranate, Live Oak.

Table with columns: Code, Botanical Name, Common Name, Quantity, Size, Height, Width, Fruit/Nut. Includes Evergreen trees like Windmill Palm, Decodar Cedar, Nellie R. Stevens Holly, Spartan Juniper, Bronze Lquat.

Table with columns: Code, Botanical Name, Common Name, Quantity, Size, Height, Width, Fruit/Nut. Includes Evergreen shrubs like Mediterranean Fan Palm, Georgia Petite Indian Hawthorn, Arp Rosemary, Foxtail Rosemary.

Table with columns: Code, Botanical Name, Common Name, Quantity, Size, Height, Width, Fruit/Nut. Includes Perennials like Paprika Common Yarrow, Raspberry Summer Hyssop, Certe's Rose Yarrow, Bennerup Blue Siberian Iris, Butter & Sugar Iris, Goldstrum Black Eyed Susan, Magic Carpet Thyme, Twilight Speedwell.

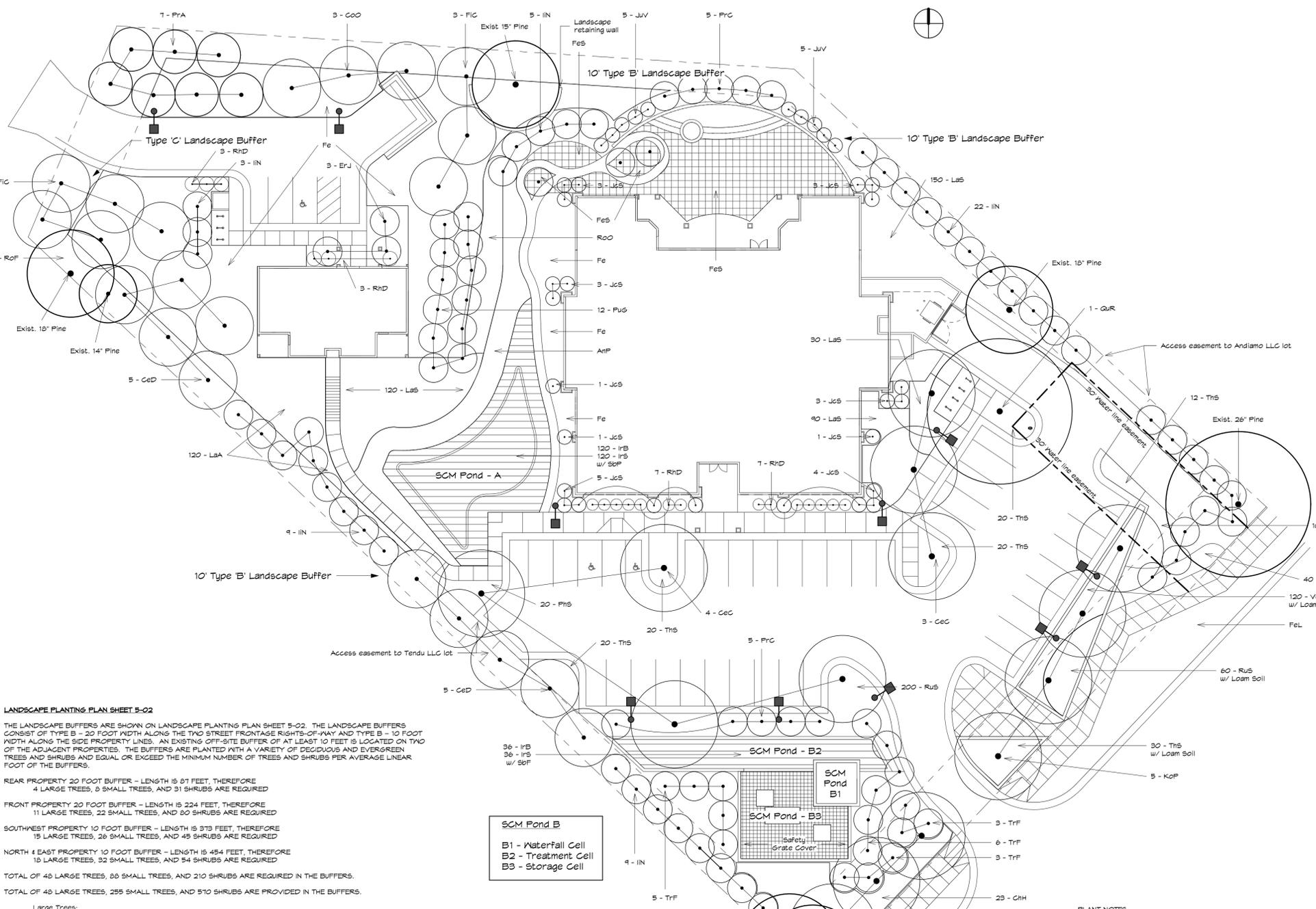
Table with columns: Code, Botanical Name, Common Name, Quantity, Size, Height, Width, Fruit/Nut. Includes Vines like Madison Jasmine.

Table with columns: Code, Botanical Name, Common Name, Quantity, Size, Height, Width, Fruit/Nut. Includes Groundcover like Blue Ice Bog Rosemary, Winter Bee Spanish Lavender, Folgate English Lavender.

Table with columns: Code, Botanical Name, Common Name, Quantity, Size, Height, Width, Fruit/Nut. Includes Groundcover Grass like Creeping Red Fescue, Sod w/ SbS, Creeping Red Fescue Sod, K-31 Fescue Seed.

Landscape Soil List table with columns: Code, Soil Material, Notes, Layer, Depth. Lists various soil types like Sand-Based Structural Soil, Loam, and Other Site Soils with their respective specifications and depths.

- PLANT NOTES: 1. LANDSCAPE CONTRACTOR SHALL PROVIDE TWENTY-FOUR (24) 18 INCH DIAMETER CLAY ROSE POTS PLANTED EACH WITH A DOZEN WILD TULIP BULBS RED GEM AND PLACED IN GARDEN STORAGE AREA. 2. LANDSCAPE CONTRACTOR SHALL PROVIDE TWENTY-FOUR (24) 18 INCH DIAMETER CLAY ROSE POTS PLANTED EACH WITH A DOZEN WILD WHITE ATAMASCO LILIES AND PLACED IN GARDEN STORAGE AREA.
- GENERAL NOTES: 1. CONTRACTOR SHALL SCHEDULE PRE-CONSTRUCTION DEMOLITION CONFERENCE WITH PROJECT'S LANDSCAPE ARCHITECT. CONTRACTOR SHALL SELECT A LANDSCAPE PROTECTION SUPERVISOR TO WORK CLOSELY WITH PROJECT LANDSCAPE ARCHITECT IN PROTECTION OF SIX LARGE EXISTING TREES ON SITE. 2. TREE PROTECTION FENCING MUST BE INSTALLED PRIOR TO CUTTING ANY OTHER TREES OR VEGETATION ON THE SITE. 3. CONTRACTOR SHALL REMOVE ALL BAMBOO TOPS AND ROOTS AND SEND THEM TO A SITE APPROVED FOR BURNING. 4. BOUNDARY INFORMATION IS TAKEN FROM A SURVEY BY FREEHOLD LAND SURVEYS, INC. 5. SITE TOPOGRAPHY INFORMATION, EXISTING STREETS AND BUILDINGS ARE TAKEN FROM A COMBINATION OF GIS DATA AND A SURVEY BY FREEHOLD LAND SURVEYS, INC. 6. ALL MATERIALS AND CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH THE TOWN OF CHAPEL HILL, ONYASA, NCDOT, AND NCDENR STANDARDS AND SPECIFICATIONS. 7. FEMA DESIGNATED FLOOD ZONES ARE NOT LOCATED ON THIS PROPERTY. 8. STORMWATER DETENTION TO BE PROVIDED FOR PREDEVELOPMENT RELEASE RATES. 9. STORMWATER TREATMENT TO BE PROVIDED FOR 95% TSS REMOVAL FOR THE 1" STORM. 10. 4" TRIPLE SHREDDED HARDWOOD MULCH IN ALL LANDSCAPE BEDS EXCEPT GRASS, POND AND POOL AREAS.



LANDSCAPE PLANTING PLAN SHEET 5-02  
THE LANDSCAPE BUFFERS ARE SHOWN ON LANDSCAPE PLANTING PLAN SHEET 5-02. THE LANDSCAPE BUFFERS CONSIST OF TYPE B - 20 FOOT WIDTH ALONG THE TWO STREET FRONTAGE RIGHTS-OF-WAY AND TYPE C - 10 FOOT WIDTH ALONG THE SIDE PROPERTY LINES. AN EXISTING OFF-SITE BUFFER OF AT LEAST 10 FEET IS LOCATED ON TWO OF THE ADJACENT PROPERTIES. THE BUFFERS ARE PLANTED WITH A VARIETY OF DECIDUOUS AND EVERGREEN TREES AND SHRUBS AND EQUAL OR EXCEED THE MINIMUM NUMBER OF TREES AND SHRUBS PER AVERAGE LINEAR FOOT OF THE BUFFERS.

REAR PROPERTY 20 FOOT BUFFER - LENGTH IS 97 FEET, THEREFORE 4 LARGE TREES, 8 SMALL TREES, AND 31 SHRUBS ARE REQUIRED

FRONT PROPERTY 20 FOOT BUFFER - LENGTH IS 224 FEET, THEREFORE 11 LARGE TREES, 22 SMALL TREES, AND 80 SHRUBS ARE REQUIRED

SOUTHWEST PROPERTY 10 FOOT BUFFER - LENGTH IS 373 FEET, THEREFORE 19 LARGE TREES, 26 SMALL TREES, AND 45 SHRUBS ARE REQUIRED

NORTH 4 EAST PROPERTY 10 FOOT BUFFER - LENGTH IS 454 FEET, THEREFORE 18 LARGE TREES, 32 SMALL TREES, AND 54 SHRUBS ARE REQUIRED

TOTAL OF 48 LARGE TREES, 88 SMALL TREES, AND 210 SHRUBS ARE REQUIRED IN THE BUFFERS.

TOTAL OF 49 LARGE TREES, 255 SMALL TREES, AND 570 SHRUBS ARE PROVIDED IN THE BUFFERS.

- Large Trees: 1 Large existing pine trees, 2 Corylus americana, 3 Ficus carica 'Brown Turkey', 4 Koeleruteria paniculata, 5 Prunus avium 'Bing', 5 Prunus x cerasifera 'Crispizom', 3 Cedrus decodara, 12 Ilex x Nellie Stevens, 40 Subtotal.
- Small Trees: 23 Chamaerops humilis, 25 Ilex x Nellie Stevens, 200\*\* Rosmarinus officinalis 'Arp', 7 Trachycarpus fortune, 255 Subtotal.
- Shrubs: 100 Achillea millefolium 'Paprika', 40 Achillea millefolium 'Certe's', 200 Rosmarinus officinalis 'Arp', 200 Rosmarinus officinalis 'Foxtail', 30 Thymus serpyllum 'Magic Carpet', 570 Subtotal.

Note: \* Some of the Nellie Stevens are used as small trees.  
Note: \*\* Some of the Arp Rosemary are used as small trees (6 - 8)



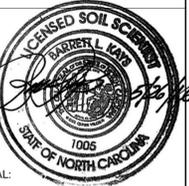
**INNOVATIVE DESIGN**

850 W. MORGAN STREET  
RALEIGH, NORTH CAROLINA, 27603  
919-832-6303 - 919-832-3339 FAX



**LANDIS, PLLC**

3908 Bentley Brook Dr.  
Raleigh, NC 27612  
Phone : 919 787 1617  
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SS#: 1005



SUP Plans

SEAL:

**Sancar Turkish Cultural and Community Center**  
**Sancar Foundation**  
1609 E. Franklin St. Chapel Hill, NC 27514

1 SUP 5/26/16

NO. SUBMISSION DATE

CHECKED BY: BK

DRAWN BY: LG

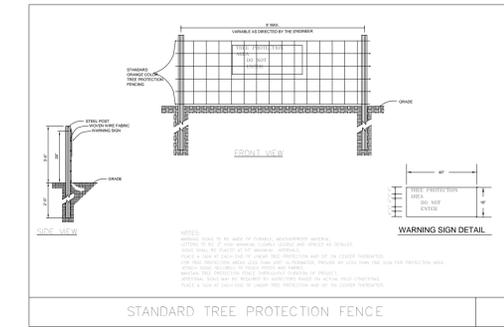
PROJECT NUMBER: 1602

SHEET NAME:

**TREE PROTECTION PLAN**

SHEET NUMBER: 5-03

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2 Tree Protection Detail  
3/4" = 1'-0"

**Legend**

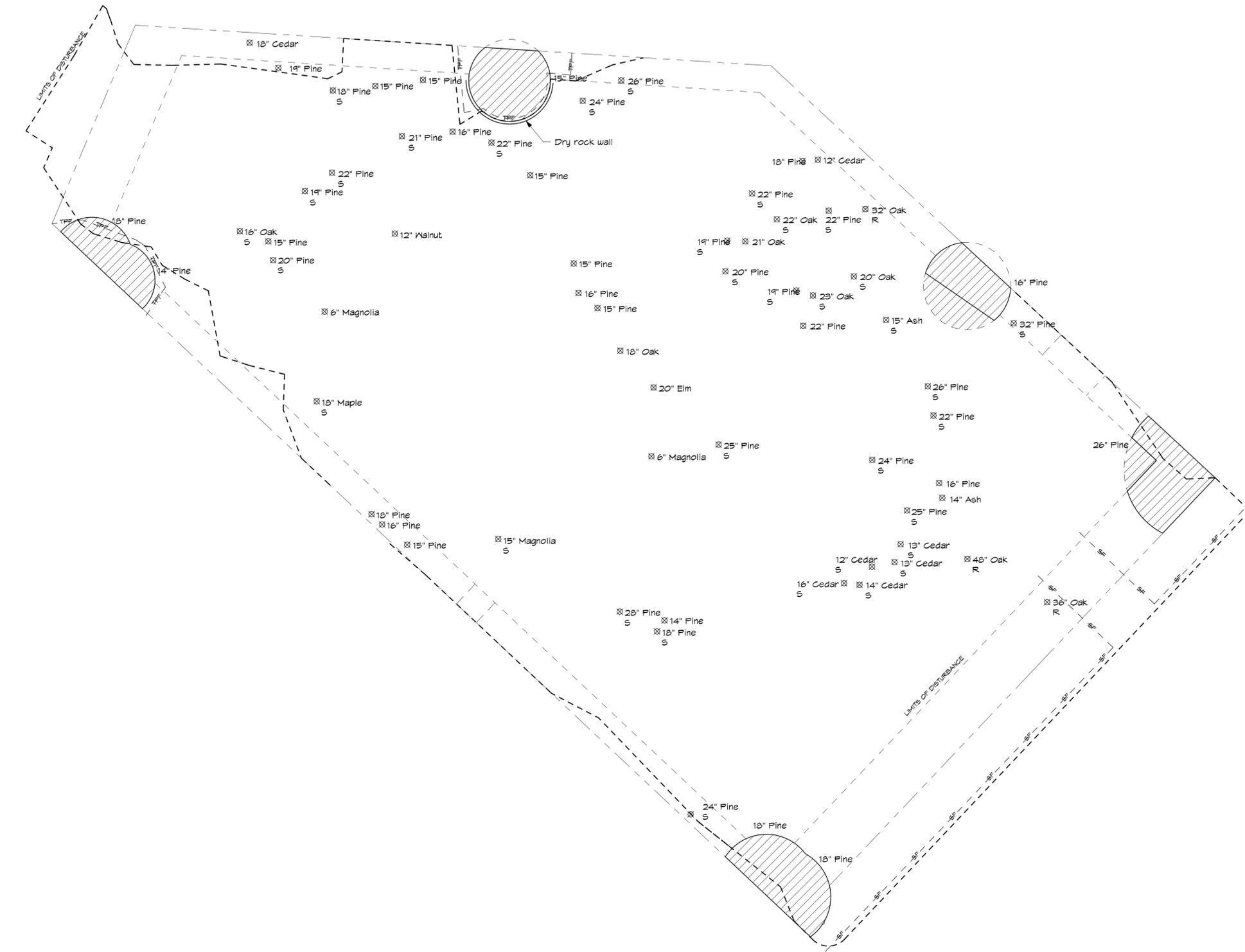
- Critical Root Zone
- Tree Protection Area Bounded by Tree Protection Fence
- Proposed Encroachment
- Off Site CRZ

Rare Trees	3
Specimen Trees	50
Other Trees	12
Trees to be Protected	7
Trees to be Removed	66

- -SF-- SILT FENCE
- - - - LIMITS OF DISTURBANCE
- -TPF-- TREE PROTECTION FENCE

**Tree Protection Plan Sheet 5-03**

THE TREE PROTECTION PLAN SHOWS SEVEN RARE, SPECIMEN, AND SUBSTANTIAL TREES TO BE SAVED ON THE SITE. BASED UPON THE REDUCTION IN THE CANOPY COVERAGE ON THE SITE, THE LANDSCAPE PLAN IS REQUIRED TO INCLUDE 66 NEW CANOPY TREES OF SUFFICIENT CALIBER. THE LANDSCAPE PLANTING PLAN SHOWS A TOTAL OF 113 NEW CANOPY TREES TO BE PLANTED ON THE SITE.



1 Tree Protection Plan  
1" = 20'-0"



Tract Area	77,101 SF
Existing Tree Canopy	42,692 SF
Difference =	34,409 SF
@ 500 SF =	69 Trees
Protected =	8 Trees
Req. C. Trees =	61 Trees
Pro. C. Trees =	161 Trees

NOTE: TREE SURVEY PROVIDED BY SELLER OF PROPERTY AND WAS USED IN PREVIOUS SUP SUBMITTAL TO THE TOWN OF CHAPEL HILL. THE PROJECT LANDSCAPE ARCHITECT HAS VERIFIED THE EXISTING TREES TO BE SAVED.

THE CZR FOR ALL EXISTING RARE, SPECIMEN AND OTHER SIGNIFICANT TREES ARE SHOWN. SEVEN TREES ARE PROPOSED TO BE SAVED AND ARE SHOWN ON SHEET 5-03.

**EXISTING CANOPY TREES PLAN SHEET 5-04**

THE EXISTING SITE CONTAIN 3 RARE, 50 SPECIMEN, AND 12 OTHER LARGE TREES, TOTALING 65 CANOPY TREES. THE EXISTING CANOPY TREE COVERAGE TOTALS 42,692 SF OR 55.4% OF THE SITE. THE PLAN IS TO PROTECT AND SAVE 7 CANOPY TREES, IN ADDITION 113 NEW CANOPY TREES WILL BE PLANTED FOR A TOTAL OF 120 CANOPY TREES ON THE SITE.

1 Existing Canopy Trees  
1" = 20'-0"



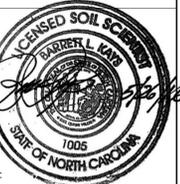
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SUP Plans

SEAL:

**Sancar Turkish Cultural and Community Center**  
**Sancar Foundation**  
 1609 E. Franklin St. Chapel Hill, NC 27514

1	SUP	5/26/16
NO.	SUBMISSION	DATE

CHECKED BY: **BK**

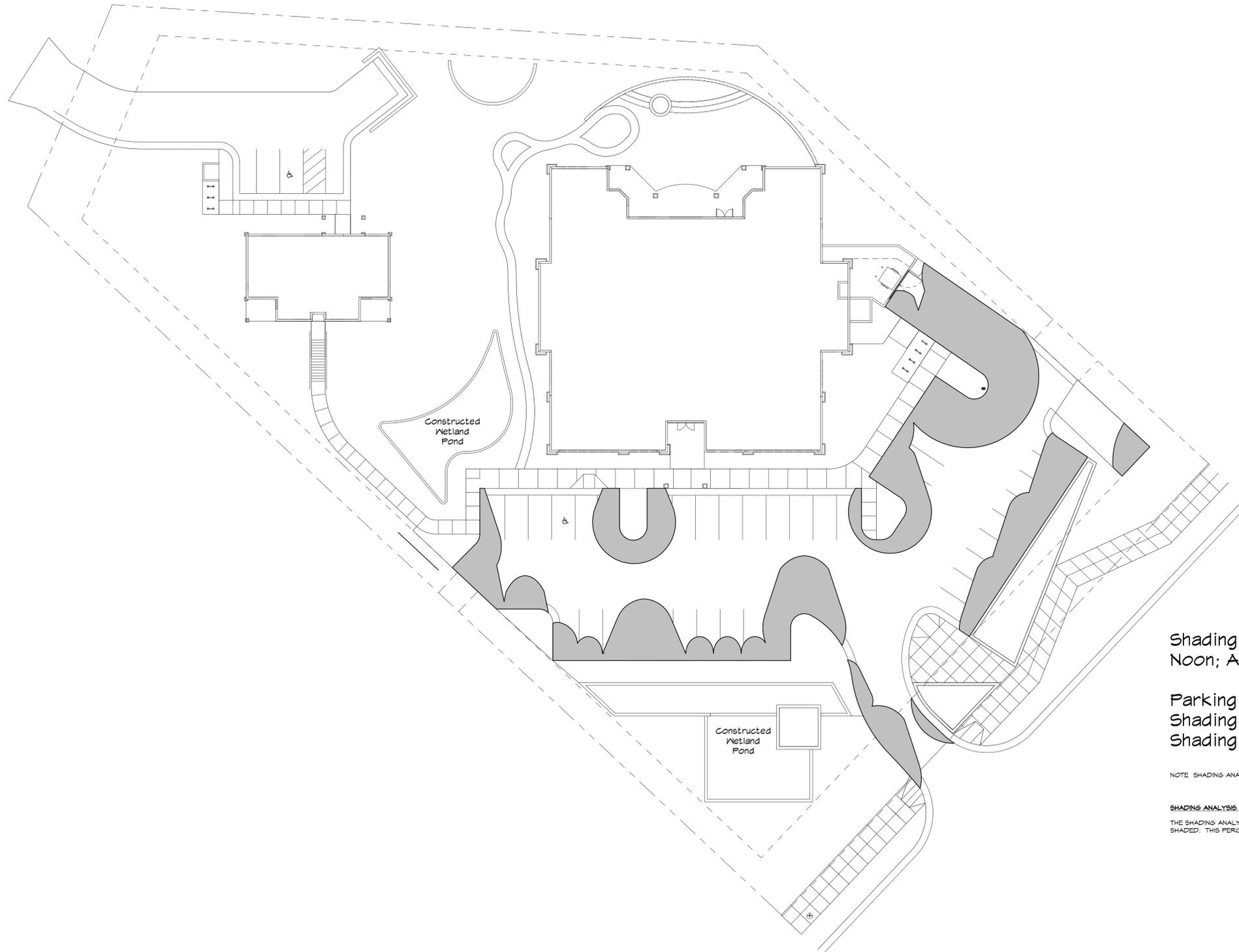
DRAWN BY: **LG**

PROJECT NUMBER: **1602**

SHEET NAME:

**EXISTING CANOPY TREES**

SHEET NUMBER:  
**5-04**



Shading of Parking Lot at 12:00  
Noon; August 21st

Parking Lot 15,469 SF  
Shading Area 6,453 SF  
Shading Percentage 41.7%

NOTE: SHADING ANALYSIS WAS PERFORMED BY PROJECT LANDSCAPE ARCHITECT

SHADING ANALYSIS PLAN SHEET 5-05  
THE SHADING ANALYSIS SHOWS THAT ON AUGUST 21ST AT NOON 41.7% OF THE MAIN PARKING LOT WILL BE SHADED. THIS PERCENT SHADING EXCEEDS THE MINIMUM REQUIRED BY THE TOWN OF CHAPEL HILL.

1 Shading Analysis  
1" = 20'-0"



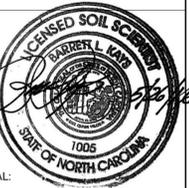
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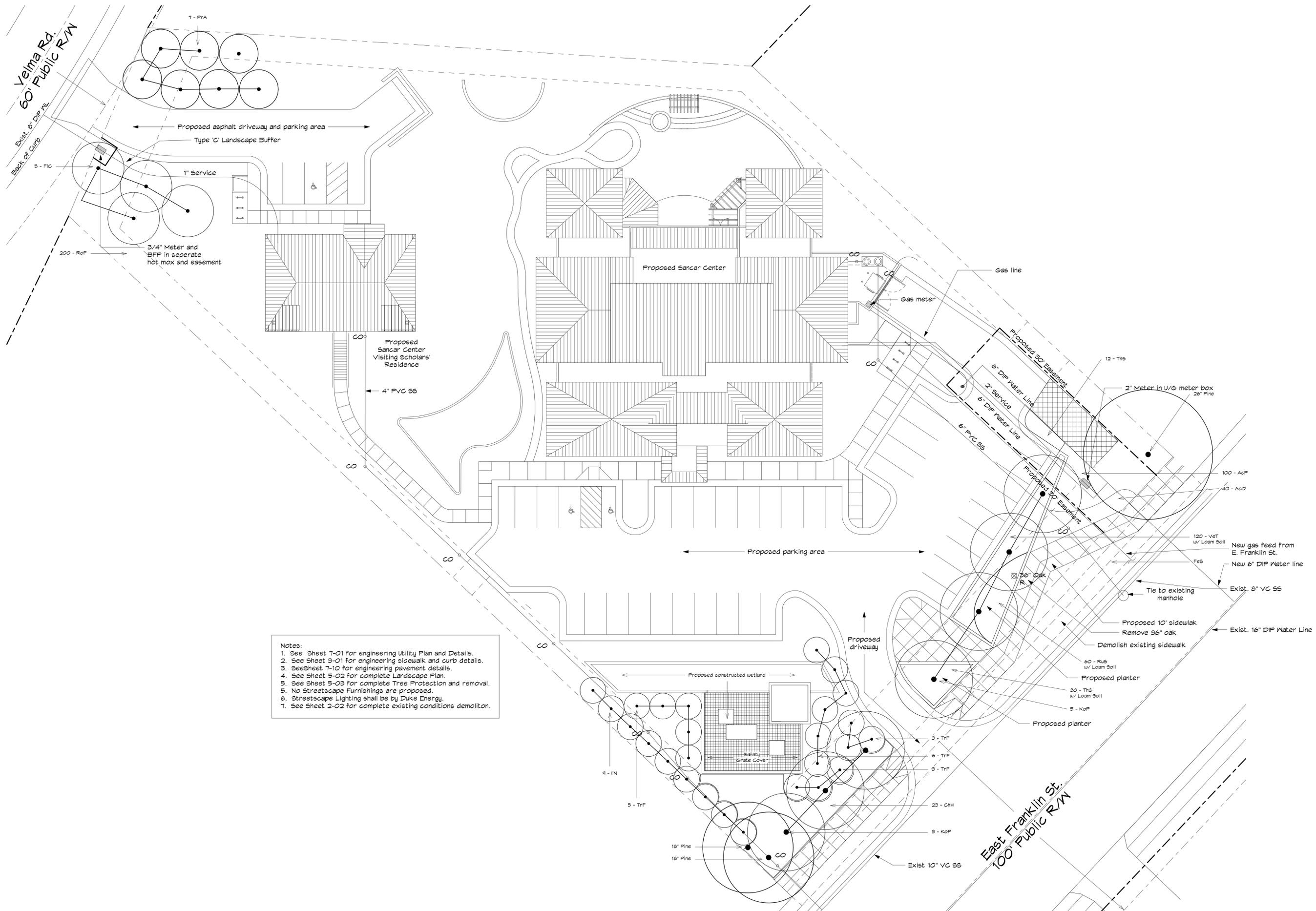
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PROJECT NUMBER: 1602

SHEET NAME:

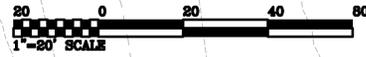
**SHADING  
ANALYSIS**

SHEET NUMBER:  
**5-05**



Notes:  
 1. See Sheet T-01 for engineering Utility Plan and Details.  
 2. See Sheet S-01 for engineering sidewalk and curb details.  
 3. See Sheet T-10 for engineering pavement details.  
 4. See Sheet S-02 for complete Landscape Plan.  
 5. See Sheet S-03 for complete Tree Protection and removal.  
 6. No Streetscape Furnishings are proposed.  
 7. Streetscape Lighting shall be by Duke Energy.  
 8. See Sheet 2-02 for complete existing conditions demolition.

3		
2		
1	SUP	5/26/16
NO.	SUBMISSION	DATE
CHECKED BY: LG		
DRAWN BY: LG		
PROJECT NUMBER: 1602		
SHEET NAME:		
<b>STREETSCAPE PLAN</b>		
SHEET NUMBER: 5-06		



**STEEP SLOPE PLAN SUP NOTES:**  
 A. ALL LAND DISTURBING ACTIVITIES SHALL BE CONDUCTED IN ACCORDANCE WITH AN APPROVED EROSION CONTROL PLAN.  
 B. ALL MATERIALS AND CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH THE TOWN OF CHAPEL HILL, NCDOT, AND NCDENR STANDARDS AND SPECIFICATIONS.  
 C. THERE ARE NO EXISTING WATER BODIES, FLOODWAYS, FLOODPLAIN, RCD, JORDAN BUFFERS OR WATERSHED BOUNDARIES ON THIS PROPERTY.  
 D. SITE DESIGN WILL UTILIZE SILT FENCE, TEMPORARY DIVERSION DITCHES AND SEDIMENT BASINS FOR TEMPORARY EROSION CONTROL AND FILL WILL BE ADJUSTED ONSITE TO ALLEVIATE STEEP SLOPE AREAS DURING ROUGH GRADING CONSTRUCTION TIMEFRAME.

**EXISTING SLOPE KEY AND AREAS OF DISTURBANCE WITHIN ZONES**

	<b>SLOPES GREATER THAN 25%</b>	<b>TOTAL AREA: 0.06 AC 3.4% OF TOTAL SITE</b>
	<b>SLOPES RANGING FROM 15%-25%</b>	<b>TOTAL AREA: 0.15 AC 8.4% OF TOTAL SITE</b>
	<b>SLOPES RANGING FROM 10%-15%</b>	<b>TOTAL AREA: 0.21 AC 12.1% OF TOTAL SITE</b>
	<b>SLOPES LESS THAN 10%</b>	<b>TOTAL AREA: 1.31 AC 76.2% OF TOTAL SITE</b>



NEAREST FH LOCATED 250' NORTHEAST OF PROJECT PROPERTY LINE ALONG E. FRANKLIN

- LEGEND:**
- IRON FOUND
  - ⊙ IRON SET
  - △ CALC. CORNER
  - CONC. MONU.

**INNOVATIVE DESIGN**  
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SEAL: PRELIMINARY - DO NOT USE FOR CONSTRUCTION

SUP SUBMITTAL  
 SEAL: 5/28/2016

**SANCAR TURKISH CULTURAL AND COMMUNITY CENTER**  
 1609 E. Franklin Street, Chapel Hill, NC 27514

NO.	SUBMISSION	DATE
1	SUP	5/28/2016

CHECKED BY: **RJB**

DRAWN BY: **ARF**

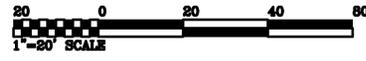
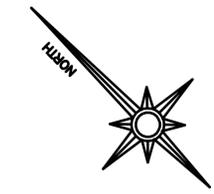
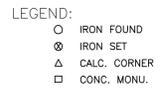
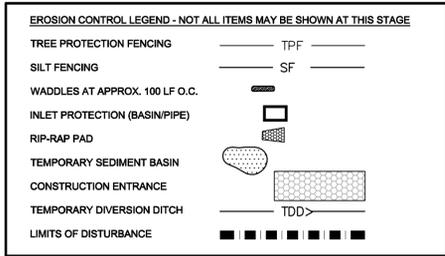
PROJECT NUMBER: **1602**

SHEET NAME:

**STEEP SLOPE PLAN**

SHEET NUMBER: **6-01**

- GENERAL NOTES:**
- BOUNDARY INFORMATION IS TAKEN FROM A SURVEY BY FREEHOLD LAND SURVEYS, INC.
  - SITE TOPOGRAPHIC INFORMATION IS TAKEN FROM A COMBINATION OF GIS DATA AND A SURVEY BY FREEHOLD LAND SURVEYS, INC.
  - EXISTING STREETS AND BUILDINGS ARE TAKEN FROM A COMBINATION OF GIS DATA AND A SURVEY BY FREEHOLD LAND SURVEYS, INC.
  - ALL MATERIALS AND CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH THE TOWN OF CHAPEL HILL, OWASA, NCDOT, AND NCDENR STANDARDS AND SPECIFICATIONS.
  - FEMA DESIGNATED FLOOD ZONES ARE NOT LOCATED ON THIS PROPERTY.
  - STREAM BUFFERS AND WETLANDS ARE NOT LOCATED ON THIS PROPERTY.
  - THIS SITE IS NOT LOCATED WITHIN ANY RESOURCE CONSERVATION DISTRICT.

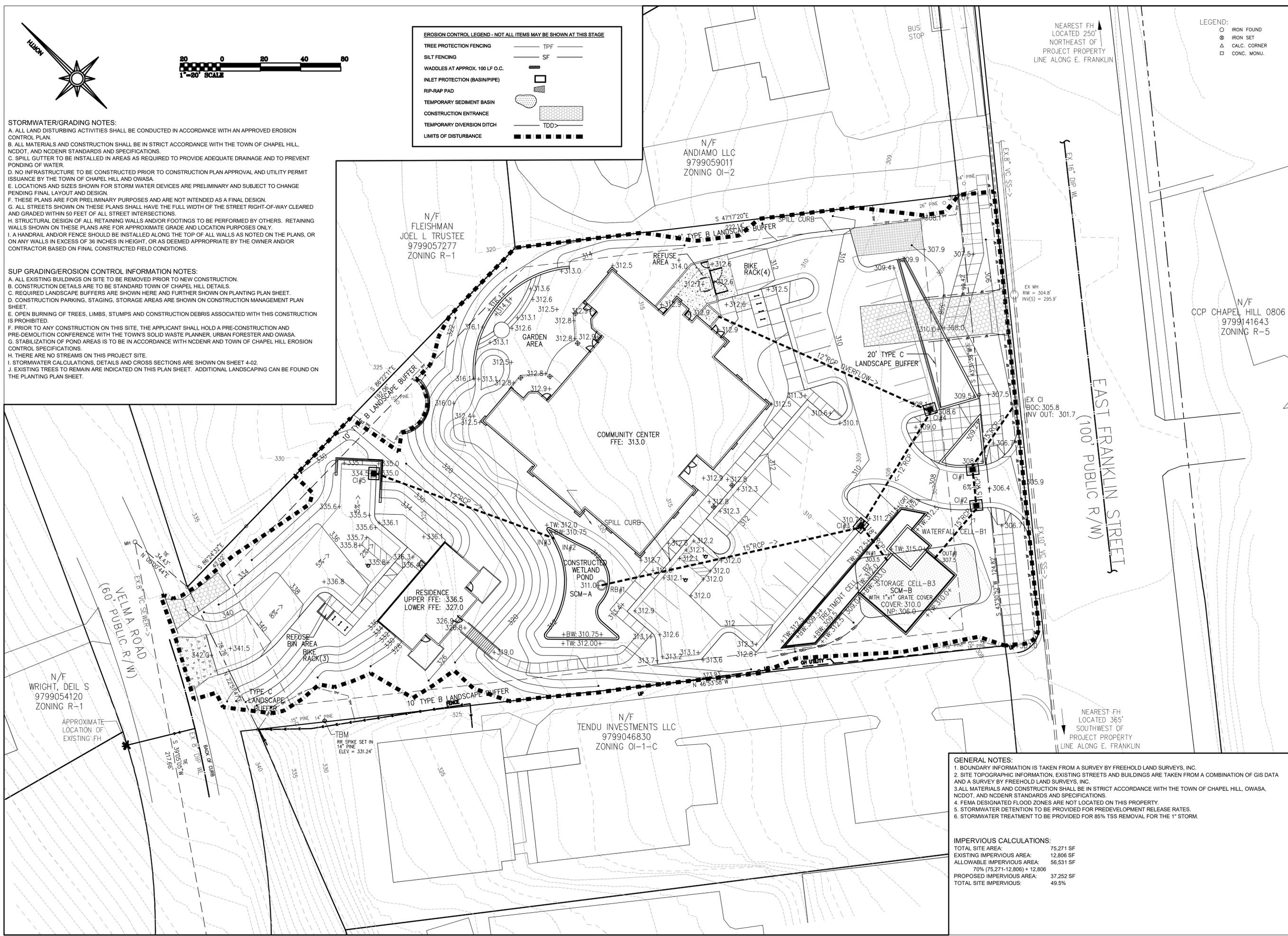


**STORMWATER/GRADING NOTES:**

- ALL LAND DISTURBING ACTIVITIES SHALL BE CONDUCTED IN ACCORDANCE WITH AN APPROVED EROSION CONTROL PLAN.
- ALL MATERIALS AND CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH THE TOWN OF CHAPEL HILL, NCDOT, AND NCDENR STANDARDS AND SPECIFICATIONS.
- SPILL GUTTER TO BE INSTALLED IN AREAS AS REQUIRED TO PROVIDE ADEQUATE DRAINAGE AND TO PREVENT PONDING OF WATER.
- NO INFRASTRUCTURE TO BE CONSTRUCTED PRIOR TO CONSTRUCTION PLAN APPROVAL AND UTILITY PERMIT ISSUANCE BY THE TOWN OF CHAPEL HILL AND OWASA.
- LOCATIONS AND SIZES SHOWN FOR STORM WATER DEVICES ARE PRELIMINARY AND SUBJECT TO CHANGE PENDING FINAL LAYOUT AND DESIGN.
- THESE PLANS ARE FOR PRELIMINARY PURPOSES AND ARE NOT INTENDED AS A FINAL DESIGN.
- ALL STREETS SHOWN ON THESE PLANS SHALL HAVE THE FULL WIDTH OF THE STREET RIGHT-OF-WAY CLEARED AND GRADED WITHIN 50 FEET OF ALL STREET INTERSECTIONS.
- STRUCTURAL DESIGN OF ALL RETAINING WALLS AND/OR FOOTINGS TO BE PERFORMED BY OTHERS. RETAINING WALLS SHOWN ON THESE PLANS ARE FOR APPROXIMATE GRADE AND LOCATION PURPOSES ONLY.
- A HANDRAIL AND/OR FENCE SHOULD BE INSTALLED ALONG THE TOP OF ALL WALLS AS NOTED ON THE PLANS, OR ON ANY WALLS IN EXCESS OF 36 INCHES IN HEIGHT, OR AS DEEMED APPROPRIATE BY THE OWNER AND/OR CONTRACTOR BASED ON FINAL CONSTRUCTED FIELD CONDITIONS.

**SUP GRADING/EROSION CONTROL INFORMATION NOTES:**

- ALL EXISTING BUILDINGS ON SITE TO BE REMOVED PRIOR TO NEW CONSTRUCTION.
- CONSTRUCTION DETAILS ARE TO BE STANDARD TOWN OF CHAPEL HILL DETAILS.
- REQUIRED LANDSCAPE BUFFERS ARE SHOWN HERE AND FURTHER SHOWN ON PLANTING PLAN SHEET.
- CONSTRUCTION PARKING, STAGING, STORAGE AREAS ARE SHOWN ON CONSTRUCTION MANAGEMENT PLAN SHEET.
- OPEN BURNING OF TREES, LIMBS, STUMPS AND CONSTRUCTION DEBRIS ASSOCIATED WITH THIS CONSTRUCTION IS PROHIBITED.
- PRIOR TO ANY CONSTRUCTION ON THIS SITE, THE APPLICANT SHALL HOLD A PRE-CONSTRUCTION AND PRE-DEMOLITION CONFERENCE WITH THE TOWN'S SOLID WASTE PLANNER, URBAN FORESTER AND OWASA.
- STABILIZATION OF POND AREAS IS TO BE IN ACCORDANCE WITH NCDENR AND TOWN OF CHAPEL HILL EROSION CONTROL SPECIFICATIONS.
- THERE ARE NO STREAMS ON THIS PROJECT SITE.
- STORMWATER CALCULATIONS, DETAILS AND CROSS SECTIONS ARE SHOWN ON SHEET 4-02.
- EXISTING TREES TO REMAIN ARE INDICATED ON THIS PLAN SHEET. ADDITIONAL LANDSCAPING CAN BE FOUND ON THE PLANTING PLAN SHEET.



**GENERAL NOTES:**

- BOUNDARY INFORMATION IS TAKEN FROM A SURVEY BY FREEHOLD LAND SURVEYS, INC.
- SITE TOPOGRAPHIC INFORMATION, EXISTING STREETS AND BUILDINGS ARE TAKEN FROM A COMBINATION OF GIS DATA AND A SURVEY BY FREEHOLD LAND SURVEYS, INC.
- ALL MATERIALS AND CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH THE TOWN OF CHAPEL HILL, OWASA, NCDOT, AND NCDENR STANDARDS AND SPECIFICATIONS.
- FEMA DESIGNATED FLOOD ZONES ARE NOT LOCATED ON THIS PROPERTY.
- STORMWATER DETENTION TO BE PROVIDED FOR PREDEVELOPMENT RELEASE RATES.
- STORMWATER TREATMENT TO BE PROVIDED FOR 85% TSS REMOVAL FOR THE 1" STORM.

**IMPERVIOUS CALCULATIONS:**

TOTAL SITE AREA:	75,271 SF
EXISTING IMPERVIOUS AREA:	12,806 SF
ALLOWABLE IMPERVIOUS AREA:	56,531 SF
70% (75,271-12,806) + 12,806	
PROPOSED IMPERVIOUS AREA:	37,252 SF
TOTAL SITE IMPERVIOUS:	49.5%



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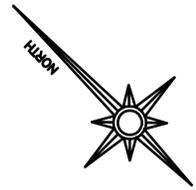
NO.	SUBMISSION	DATE
1	SUP	5/28/2016

CHECKED BY: **RJB**  
 DRAWN BY: **ARF**  
 PROJECT NUMBER: **1602**

SHEET NAME:  
**GRADING AND EROSION CONTROL PLAN**  
 SHEET NUMBER:

**6-02**

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**PRELIMINARY LIGHTING LEGEND**

SA ○ □ AREA POLE LIGHT WITH FULL CUTOFF SHIELD (LED)

SB ☆ 42" HIGH ROUND FULL CUTOFF BOLLARD (LED)

HANDRAIL LIGHT - LIGHT UNDER THE TOP SURFACE OF HANDRAIL (LED)

TRELLIS LIGHT - LIGHT UNDER TRELLIS (LED)

SE ⊙ LOW LEVEL PEDESTRIAN LIGHT APPROX. 10' HIGH (LED)

FOUNTAIN LIGHT - LIGHT DIRECTED AT FOUNTAIN (RGBW-LED)

**UTILITY NOTES:**

A. ALL LAND DISTURBING ACTIVITIES SHALL BE CONDUCTED IN ACCORDANCE WITH AN APPROVED EROSION CONTROL PLAN.

B. ALL MATERIALS AND CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH THE TOWN OF CHAPEL HILL, NCDOT, AND NCDENR STANDARDS AND SPECIFICATIONS.

C. HORIZONTAL RELATION OF WATER MAINS TO SEWERS: WATER MAINS SHALL BE LAID AT LEAST 10 FEET LATERALLY FROM EXISTING OR PROPOSED SEWERS, UNLESS LOCAL CONDITIONS OF BARRIERS PREVENT A 10 FOOT LATERAL SEPARATION - IN WHICH CASE:

1. THE WATER MAIN IS LAID IN A SEPARATE TRENCH, WITH THE ELEVATION OF THE BOTTOM OF THE SEWER MAIN AT LEAST 18 INCHES ABOVE THE TOP OF THE SEWER, OR

2. THE WATER MAIN IS LAID IN THE SAME TRENCH AS THE SEWER WITH THE WATER MAIN LOCATED AT ONE SIDE ON A BENCH OF DISTURBED EARTH, AND WITH THE ELEVATION OF THE BOTTOM OF THE WATER MAIN AT LEAST 18 INCHES ABOVE THE TOP OF THE SEWER.

D. VERTICAL RELATION OF WATER MAINS TO SEWERS: WHENEVER IT IS NECESSARY TO CROSS A WATER MAIN OVER A SEWER, THE WATER MAIN SHALL BE LAID AT SUCH AN ELEVATION THAT THE BOTTOM OF THE WATER MAIN IS AT LEAST 18 INCHES ABOVE THE TOP OF THE SEWER, UNLESS LOCAL CONDITIONS OR BARRIERS PREVENT AN 18 INCH VERTICAL SEPARATION - IN WHICH CASE BOTH THE WATER MAIN AND SEWER SHALL BE CONSTRUCTED OF FERROUS MATERIALS AND WITH JOINTS THAT ARE EQUIVALENT TO WATER MAIN STANDARDS FOR A DISTANCE OF 10 FEET ON EACH SIDE OF THE POINT OF CROSSING. WHENEVER IT IS NECESSARY FOR A WATER MAIN TO CROSS UNDER A SEWER, BOTH THE WATER MAIN AND THE SEWER SHALL BE CONSTRUCTED OF FERROUS MATERIALS AND WITH JOINTS EQUIVALENT TO WATER MAIN STANDARDS FOR A DISTANCE OF 10 FEET ON EACH SIDE OF THE POINT OF CROSSING. A SECTION OF WATER MAIN PIPE SHALL BE CENTERED AT THE POINT OF CROSSING.

E. VERTICAL RELATION OF SANITARY SEWER MAINS TO STORM SEWER: WHEN A SANITARY SEWER IS CROSSING OVER OR UNDER A STORM SEWER, A VERTICAL SEPARATION OF 24 INCHES SHALL BE MAINTAINED UNLESS BOTH LINES ARE OF A FERROUS MATERIAL.

F. GENERAL VERTICAL CLEARANCE: WHEN OTHER UNDERGROUND UTILITIES ARE ENCOUNTERED, 12 INCHES OF SEPARATION SHALL BE MAINTAINED.

G. EXISTING UTILITIES: EXISTING UTILITIES SHOWN ARE APPROXIMATE AND ALL MAY NOT BE SHOWN. CONTRACTOR SHALL VERIFY EXACT LOCATION AND GRADE OF ALL EXISTING UTILITIES AND COORDINATE ANY REQUIRED RELOCATION OF EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION.

H. ALL PRIVATE STORM SEWER LINES TO BE LOCATED WITHIN A PRIVATE EASEMENT DEPENDING ON SIZE, DEPTH AND LOCATION.

I. SPILL GUTTER TO BE INSTALLED IN AREAS AS REQUIRED TO PROVIDE ADEQUATE DRAINAGE AND TO PREVENT PONDING OF WATER.

J. NO INFRASTRUCTURE TO BE CONSTRUCTED PRIOR TO CONSTRUCTION PLAN APPROVAL AND UTILITY PERMIT ISSUANCE BY THE TOWN OF CHAPEL HILL AND OWASA.

K. LOCATIONS AND SIZES SHOWN FOR STORM WATER DEVICES ARE PRELIMINARY AND SUBJECT TO CHANGE PENDING FINAL LAYOUT AND DESIGN.

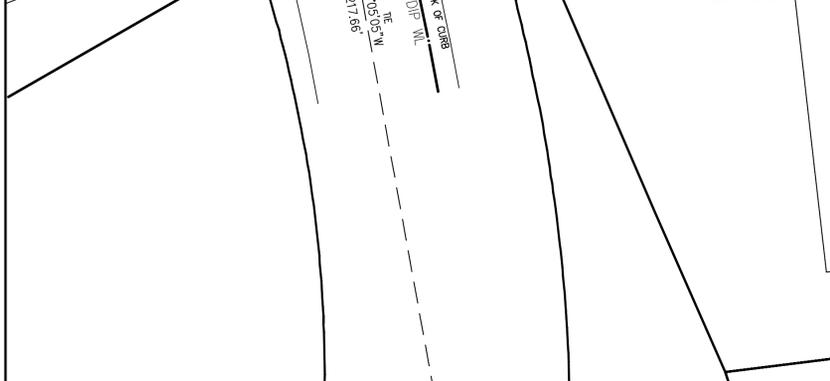
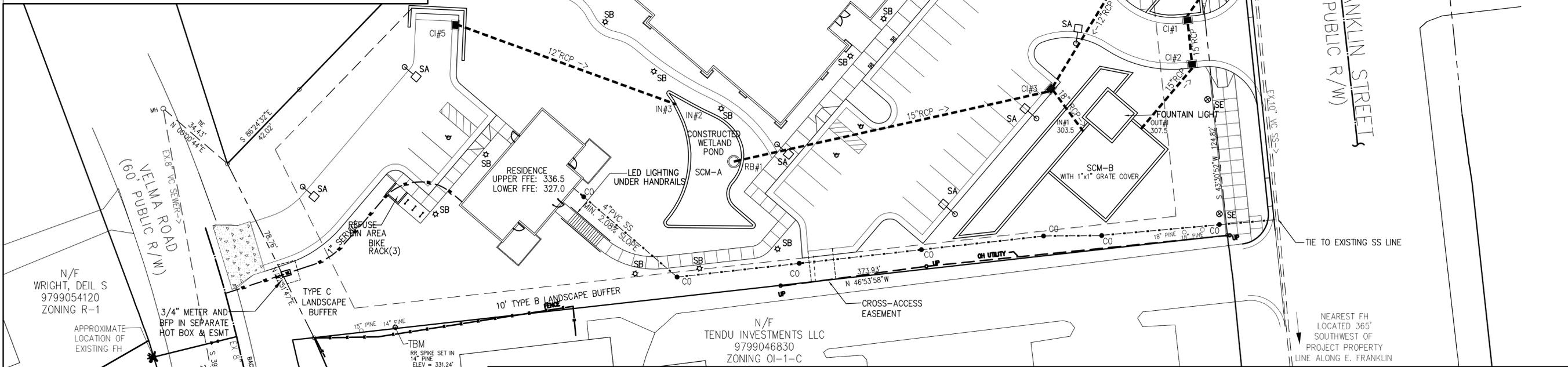
L. THESE PLANS ARE FOR PRELIMINARY PURPOSES AND ARE NOT INTENDED AS A FINAL DESIGN.

M. PROPOSED GRADES SHOWN ARE PRELIMINARY AND SUBJECT TO CHANGE PENDING FINAL CONSTRUCTION DRAWINGS.

N. ALL STREETS SHOWN ON THESE PLANS SHALL HAVE THE FULL WIDTH OF THE STREET RIGHT-OF-WAY CLEARED AND GRADED WITHIN 50 FEET OF ALL STREET INTERSECTIONS.

O. EXISTING UTILITIES: CONTRACTOR TO WORK CLOSELY WITH ALL UTILITY COMPANIES TO ENSURE THAT ONCE FINAL GRADES HAVE BEEN ESTABLISHED, PROPER DEPTH AND COVER IS MAINTAINED ON ALL EXISTING UTILITY LINES. CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF ANY NECESSARY RELOCATIONS OF EXISTING UTILITIES.

P. EXISTING WATER METERS(2) ON E. FRANKLIN STREET WILL BE REMOVED AND CREDITED TO THE PROJECT. EXISTING WATER METER ON VELMA DRIVE MAY BE REUSED, OR REMOVED AND REPLACED IF NECESSARY. SEE SHEET 2-02.



**NOTES:**

1. PROVIDE PARKING STRIPING AS PER PLANS

1. PROVIDE PARKING STRIPING AS PER PLANS

1. PROVIDE PARKING STRIPING AS PER PLANS

2. AREAS SHOWN AS CONCRETE HATCH NOTATION

**GENERAL NOTES:**

- BOUNDARY INFORMATION IS TAKEN FROM A SURVEY BY FREEHOLD LAND SURVEYS, INC.
- SITE TOPOGRAPHIC INFORMATION, EXISTING STREETS AND BUILDINGS ARE TAKEN FROM A COMBINATION OF GIS DATA AND A SURVEY BY FREEHOLD LAND SURVEYS, INC.
- ALL MATERIALS AND CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH THE TOWN OF CHAPEL HILL, OWASA, NCDOT, AND NCDENR STANDARDS AND SPECIFICATIONS.
- FEMA DESIGNATED FLOOD ZONES ARE NOT LOCATED ON THIS PROPERTY.
- STORMWATER DETENTION TO BE PROVIDED FOR PREDEVELOPMENT RELEASE RATES.
- STORMWATER TREATMENT TO BE PROVIDED FOR 85% TSS REMOVAL FOR THE 1" STORM.

**SOLID WASTE MANAGEMENT PLAN SUP NOTES:**

- COMMUNITY CENTER REFUSE AREA IS FOR TRASH ONLY. NO CARDBOARD RECYCLING DUMPSTER PROVIDED.
- RESIDENTIAL CENTER WILL HAVE ROLL OUT BIN FOR TRASH COLLECTION, STORED AS NOTED.

**INNOVATIVE DESIGN**

850 W. MORGAN STREET  
RALEIGH, NORTH CAROLINA 27603  
919-852-6303 - 919-852-3339 FAX

**B&F CONSULTING**

B&F CONSULTING, INC.  
2805 Tobermorgan Lane  
Raleigh, NC 27606  
Phone : 919 618 0180  
NC License: C-2149

**SEAL:**

PRELIMINARY - DO NOT USE FOR CONSTRUCTION

SUP SUBMITTAL

SEAL: 5/28/2016

**SANCAR TURKISH CULTURAL AND COMMUNITY CENTER**

1609 E. Franklin Street, Chapel Hill, NC 27514

3		
2		
1	SUP	5/28/2016

CHECKED BY: **RJB**

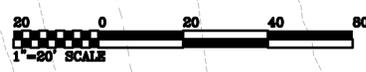
DRAWN BY: **ARF**

PROJECT NUMBER: **1602**

SHEET NAME:

**UTILITIES AND SOLID WASTE PLAN**

SHEET NUMBER: **7-01**

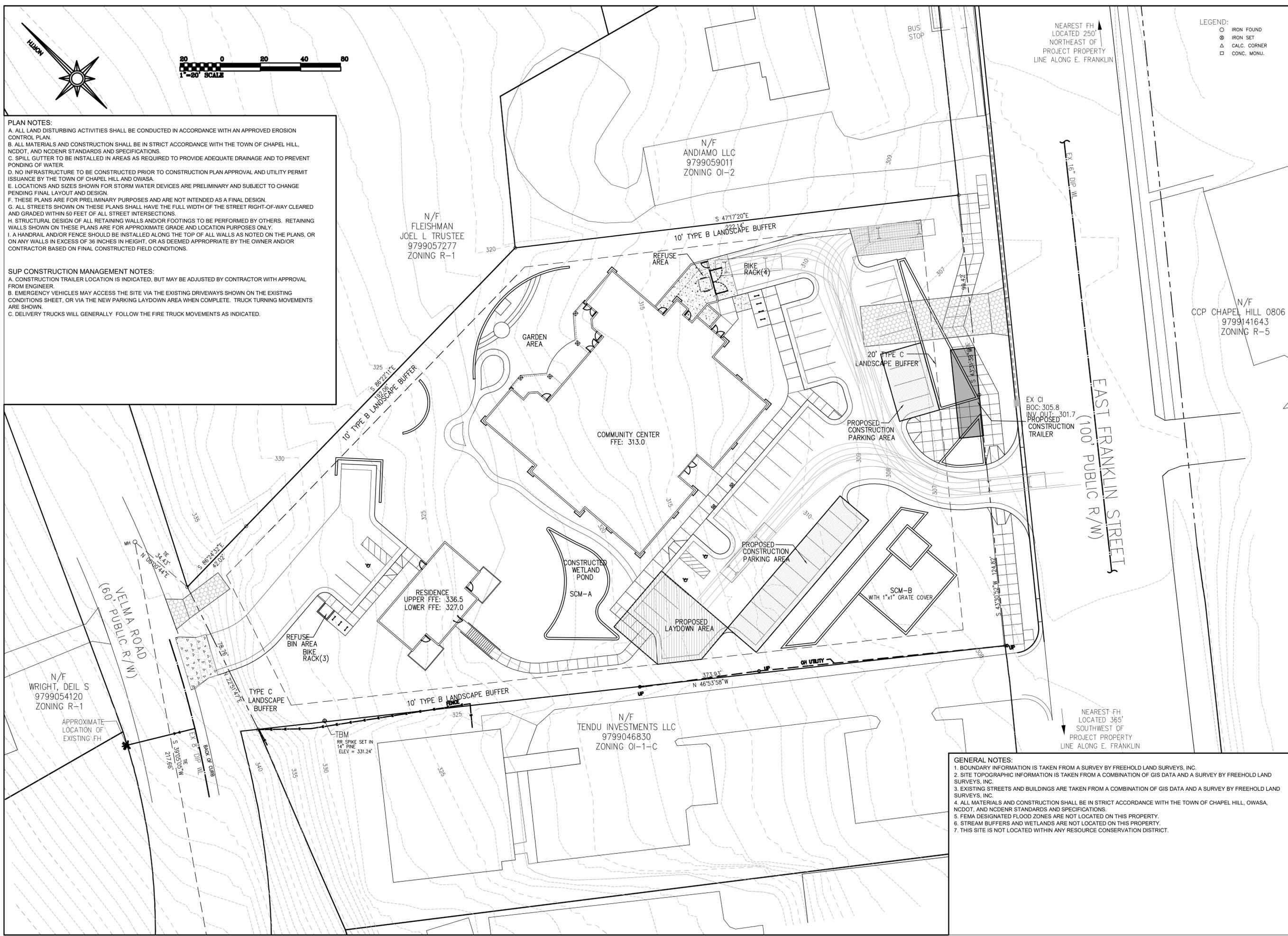


**PLAN NOTES:**

- ALL LAND DISTURBING ACTIVITIES SHALL BE CONDUCTED IN ACCORDANCE WITH AN APPROVED EROSION CONTROL PLAN.
- ALL MATERIALS AND CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH THE TOWN OF CHAPEL HILL, NCDOT, AND NCDENR STANDARDS AND SPECIFICATIONS.
- SPILL GUTTER TO BE INSTALLED IN AREAS AS REQUIRED TO PROVIDE ADEQUATE DRAINAGE AND TO PREVENT PONDING OF WATER.
- NO INFRASTRUCTURE TO BE CONSTRUCTED PRIOR TO CONSTRUCTION PLAN APPROVAL AND UTILITY PERMIT ISSUANCE BY THE TOWN OF CHAPEL HILL AND OWASA.
- LOCATIONS AND SIZES SHOWN FOR STORM WATER DEVICES ARE PRELIMINARY AND SUBJECT TO CHANGE PENDING FINAL LAYOUT AND DESIGN.
- THESE PLANS ARE FOR PRELIMINARY PURPOSES AND ARE NOT INTENDED AS A FINAL DESIGN.
- ALL STREETS SHOWN ON THESE PLANS SHALL HAVE THE FULL WIDTH OF THE STREET RIGHT-OF-WAY CLEARED AND GRADED WITHIN 50 FEET OF ALL STREET INTERSECTIONS.
- STRUCTURAL DESIGN OF ALL RETAINING WALLS AND/OR FOOTINGS TO BE PERFORMED BY OTHERS. RETAINING WALLS SHOWN ON THESE PLANS ARE FOR APPROXIMATE GRADE AND LOCATION PURPOSES ONLY.
- A HANDRAIL AND/OR FENCE SHOULD BE INSTALLED ALONG THE TOP OF ALL WALLS AS NOTED ON THE PLANS, OR ON ANY WALLS IN EXCESS OF 36 INCHES IN HEIGHT, OR AS DEEMED APPROPRIATE BY THE OWNER AND/OR CONTRACTOR BASED ON FINAL CONSTRUCTED FIELD CONDITIONS.

**SUP CONSTRUCTION MANAGEMENT NOTES:**

- CONSTRUCTION TRAILER LOCATION IS INDICATED, BUT MAY BE ADJUSTED BY CONTRACTOR WITH APPROVAL FROM ENGINEER.
- EMERGENCY VEHICLES MAY ACCESS THE SITE VIA THE EXISTING DRIVEWAYS SHOWN ON THE EXISTING CONDITIONS SHEET, OR VIA THE NEW PARKING LAYDOWN AREA WHEN COMPLETE. TRUCK TURNING MOVEMENTS ARE SHOWN.
- DELIVERY TRUCKS WILL GENERALLY FOLLOW THE FIRE TRUCK MOVEMENTS AS INDICATED.



NEAREST FH LOCATED 250' NORTHEAST OF PROJECT PROPERTY LINE ALONG E. FRANKLIN

**LEGEND:**  
 ○ IRON FOUND  
 ⊙ IRON SET  
 △ CALC. CORNER  
 □ CONC. MONU.

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 850 W. MORGAN STREET  
 RALEIGH, NORTH CAROLINA 27603  
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**B&F CONSULTING**  
 B&F CONSULTING, INC.  
 2805 Tobemory Lane  
 Raleigh, NC 28606  
 Phone : 919 618 0180  
 NC License: C-2149

**SEAL:**  
 NORTH CAROLINA PROFESSIONAL ENGINEER  
 SEAL 02744  
 MEMBER FARRRELL  
 PRELIMINARY - DO NOT USE FOR CONSTRUCTION

**SUP SUBMITTAL**  
 SEAL: 5/28/2016

**SANCAR TURKISH CULTURAL AND COMMUNITY CENTER**  
 1609 E. Franklin Street, Chapel Hill, NC 27514

**GENERAL NOTES:**

- BOUNDARY INFORMATION IS TAKEN FROM A SURVEY BY FREEHOLD LAND SURVEYS, INC.
- SITE TOPOGRAPHIC INFORMATION IS TAKEN FROM A COMBINATION OF GIS DATA AND A SURVEY BY FREEHOLD LAND SURVEYS, INC.
- EXISTING STREETS AND BUILDINGS ARE TAKEN FROM A COMBINATION OF GIS DATA AND A SURVEY BY FREEHOLD LAND SURVEYS, INC.
- ALL MATERIALS AND CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH THE TOWN OF CHAPEL HILL, OWASA, NCDOT, AND NCDENR STANDARDS AND SPECIFICATIONS.
- FEMA DESIGNATED FLOOD ZONES ARE NOT LOCATED ON THIS PROPERTY.
- STREAM BUFFERS AND WETLANDS ARE NOT LOCATED ON THIS PROPERTY.
- THIS SITE IS NOT LOCATED WITHIN ANY RESOURCE CONSERVATION DISTRICT.

3		
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1	SUP	5/28/2016
NO.	SUBMISSION	DATE

CHECKED BY: **RJB**

DRAWN BY: **ARF**

PROJECT NUMBER: **1602**

SHEET NAME:

**CONSTRUCTION MANAGEMENT PLAN**

SHEET NUMBER: **7-02**



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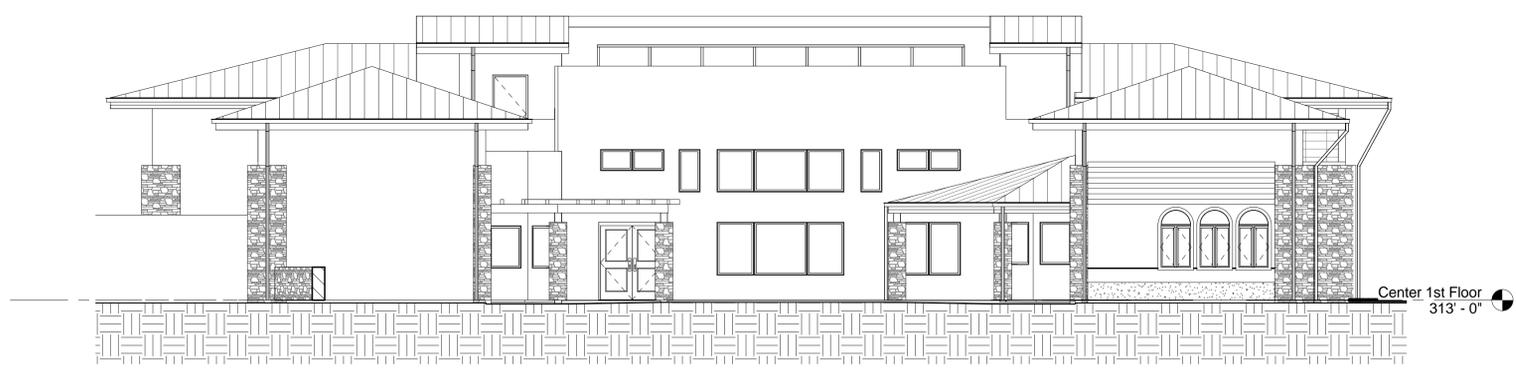


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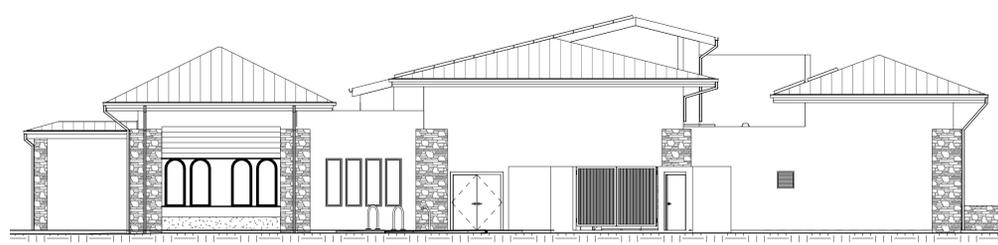
SUP Plans  
SEAL:



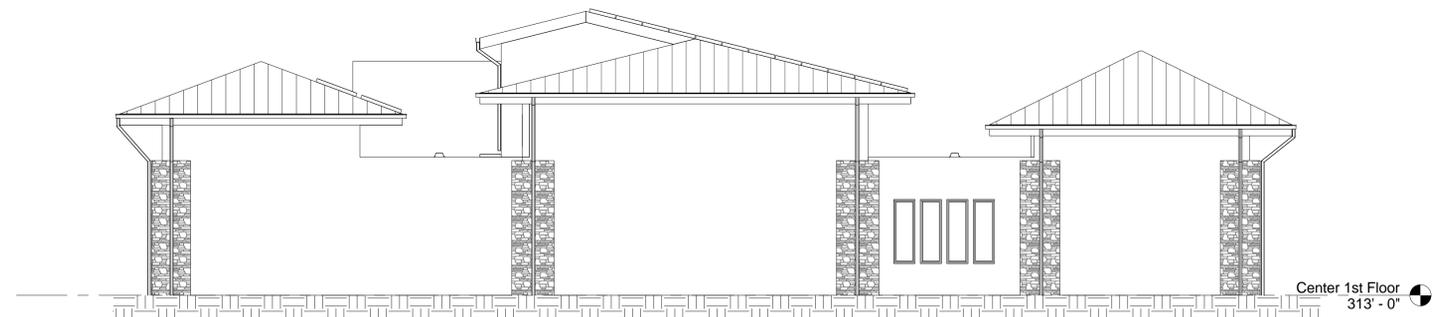
① Center - South Elevation  
3/32" = 1'-0"



② Center - North Elevation  
1/8" = 1'-0"



③ Center - East Elevation  
3/32" = 1'-0"



④ Center - West Elevation  
1/8" = 1'-0"

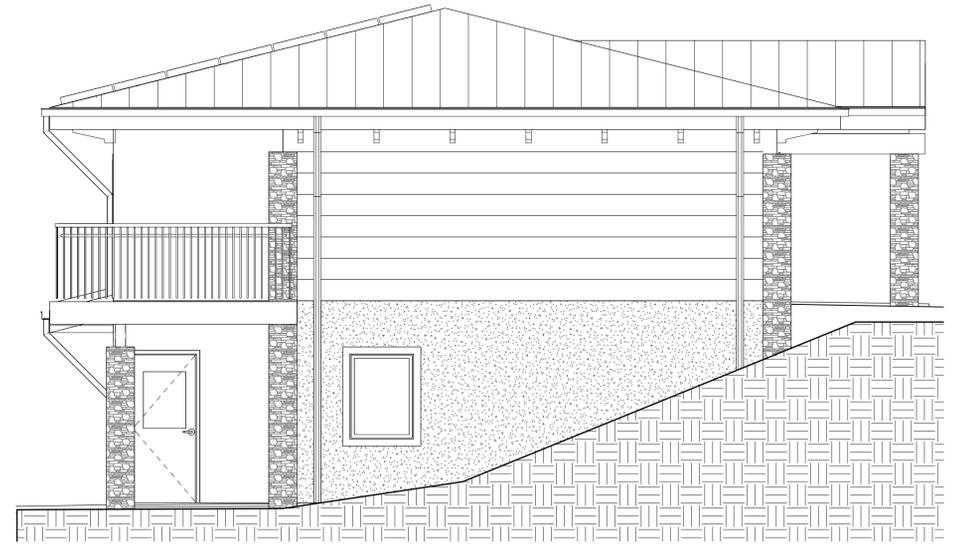
Sancar Turkish Cultural and Community  
Center  
Sancar Foundation  
1609 E. Franklin St. Chapel Hill, NC 27514

3		
2		
1	SUP	5/26/16
NO.	SUBMISSION	DATE
CHECKED BY:		LG
DRAWN BY:		LG/PR
PROJECT NUMBER:		1602
SHEET NAME: EXTERIOR BUILDING ELEVATIONS - CENTER		
SHEET NUMBER: <b>8-01</b>		

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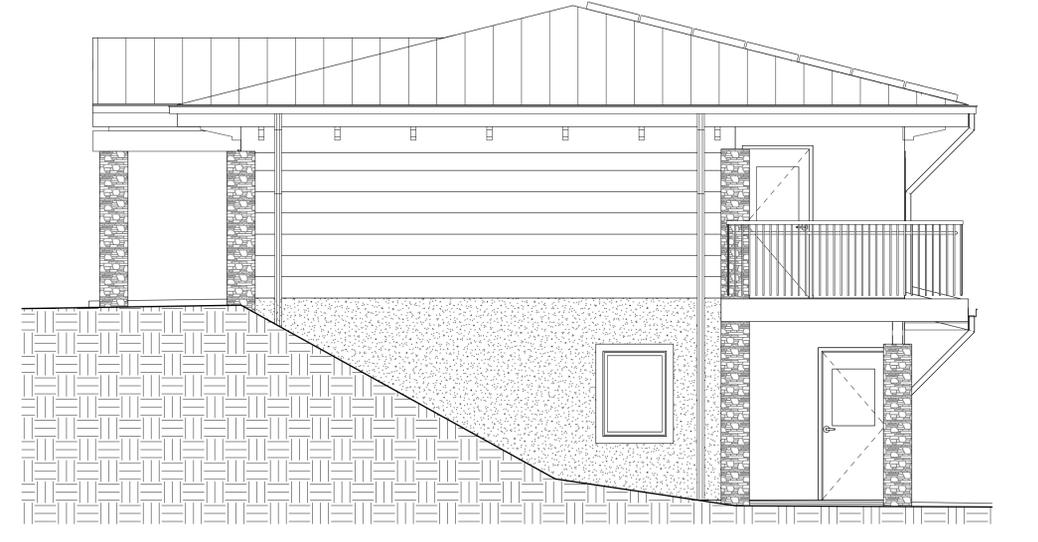
1 Guest House - South Elevation  
1/4" = 1'-0"



3 Guest House - East Elevation  
1/4" = 1'-0"



2 Guest House - North Elevation  
1/4" = 1'-0"

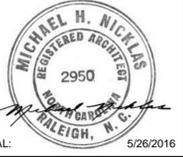


4 Guest House - West Elevation  
1/4" = 1'-0"



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SUP Plans

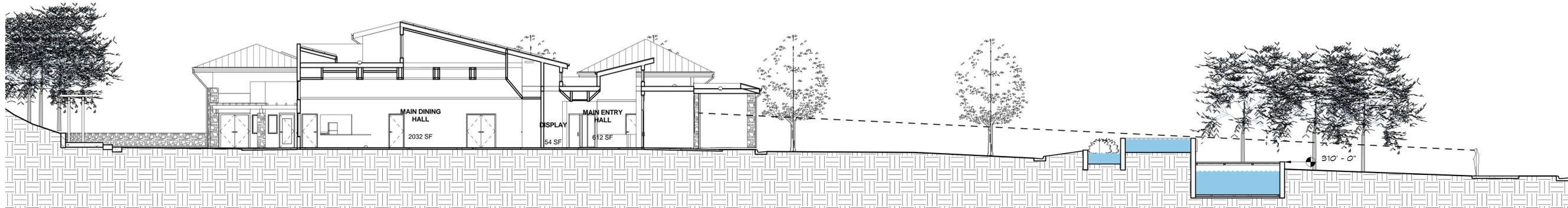
SEAL:

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Sancar Foundation  
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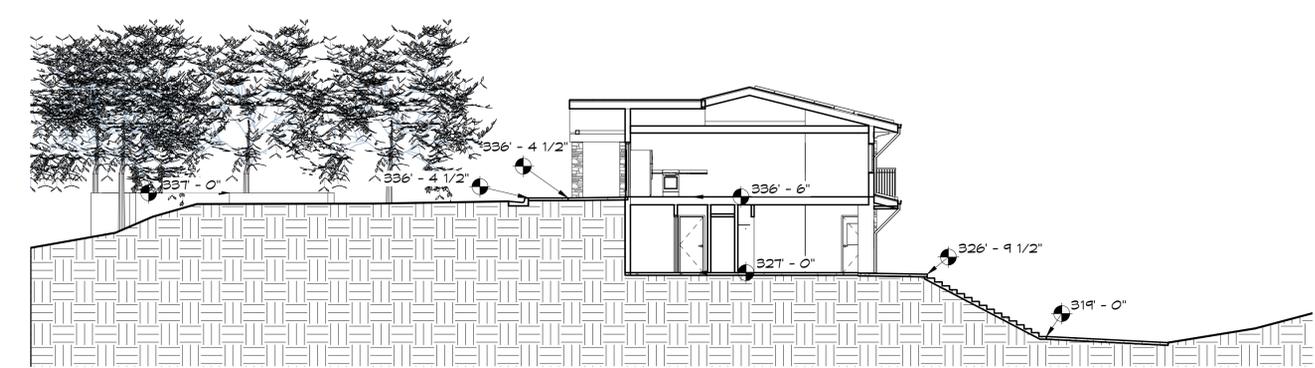
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2		
1	SUP	5/26/16
NO.	SUBMISSION	DATE
CHECKED BY:		LG
DRAWN BY:		LG/PR
PROJECT NUMBER:		1602

SHEET NAME:  
**EXTERIOR BUILDING ELEVATIONS-GUEST HOUSE**

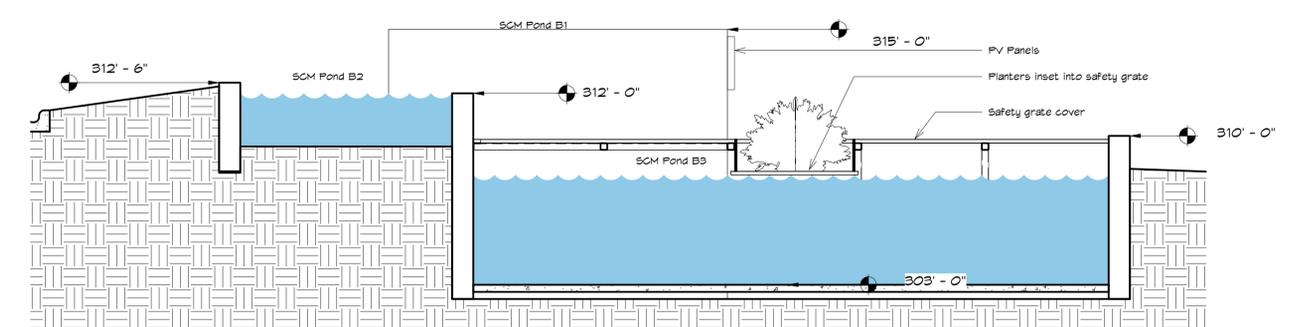
SHEET NUMBER:  
**8-02**



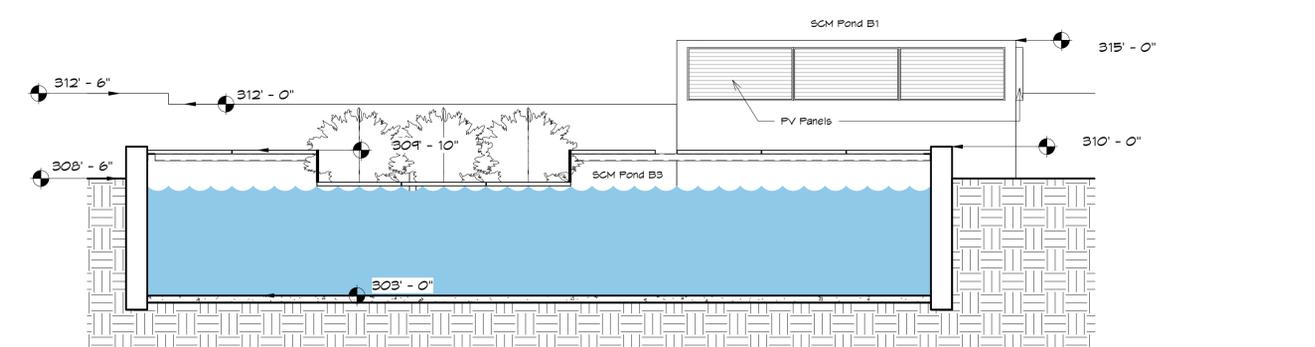
1 Site Section Through Center  
3/32" = 1'-0"



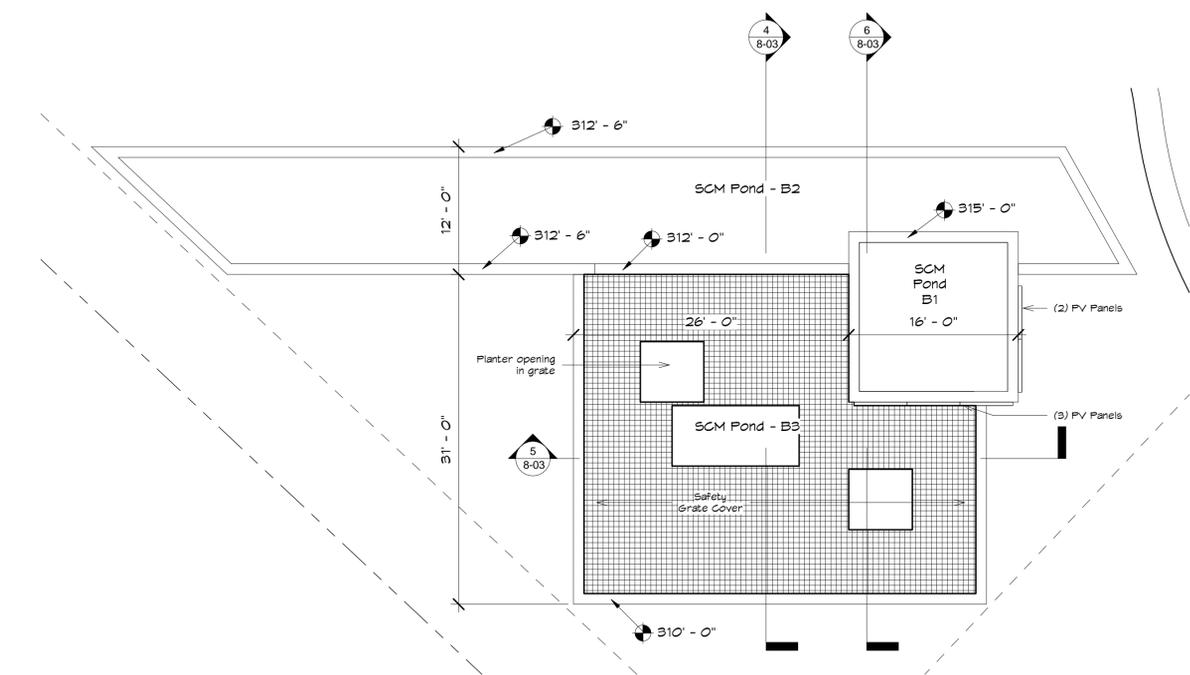
2 Site Section Through Guest House  
3/32" = 1'-0"



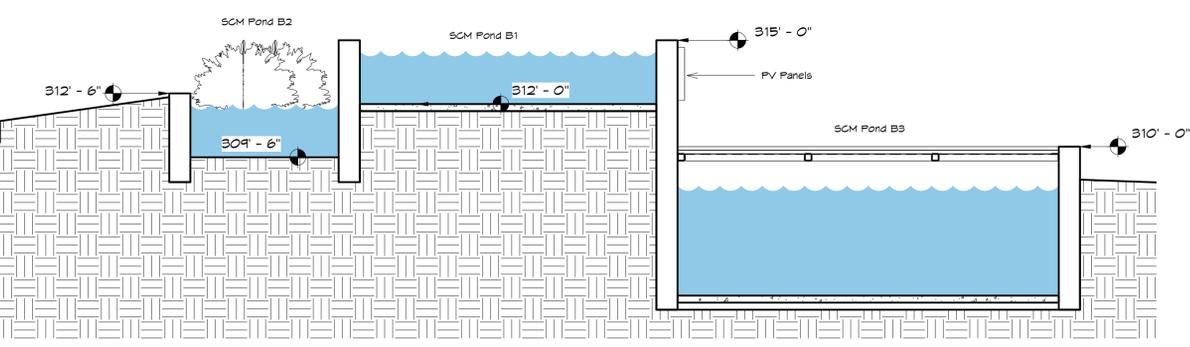
4 Wetland Section 1  
1/4" = 1'-0"



5 Wetland Section 2  
1/4" = 1'-0"



3 Wetland Plan Detail  
1/8" = 1'-0"



6 Wetland Section 3  
1/4" = 1'-0"

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SEAL: SUP Plans

SUP Plans

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1	SUP	5/26/16
NO.	SUBMISSION	DATE
CHECKED BY:		LG
DRAWN BY:		LG
PROJECT NUMBER:		1602
SHEET NAME:		
ARCHITECTURAL SITE SECTIONS		
SHEET NUMBER:		8-03



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1	SUP	5/26/16
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PROJECT NUMBER: **1602**

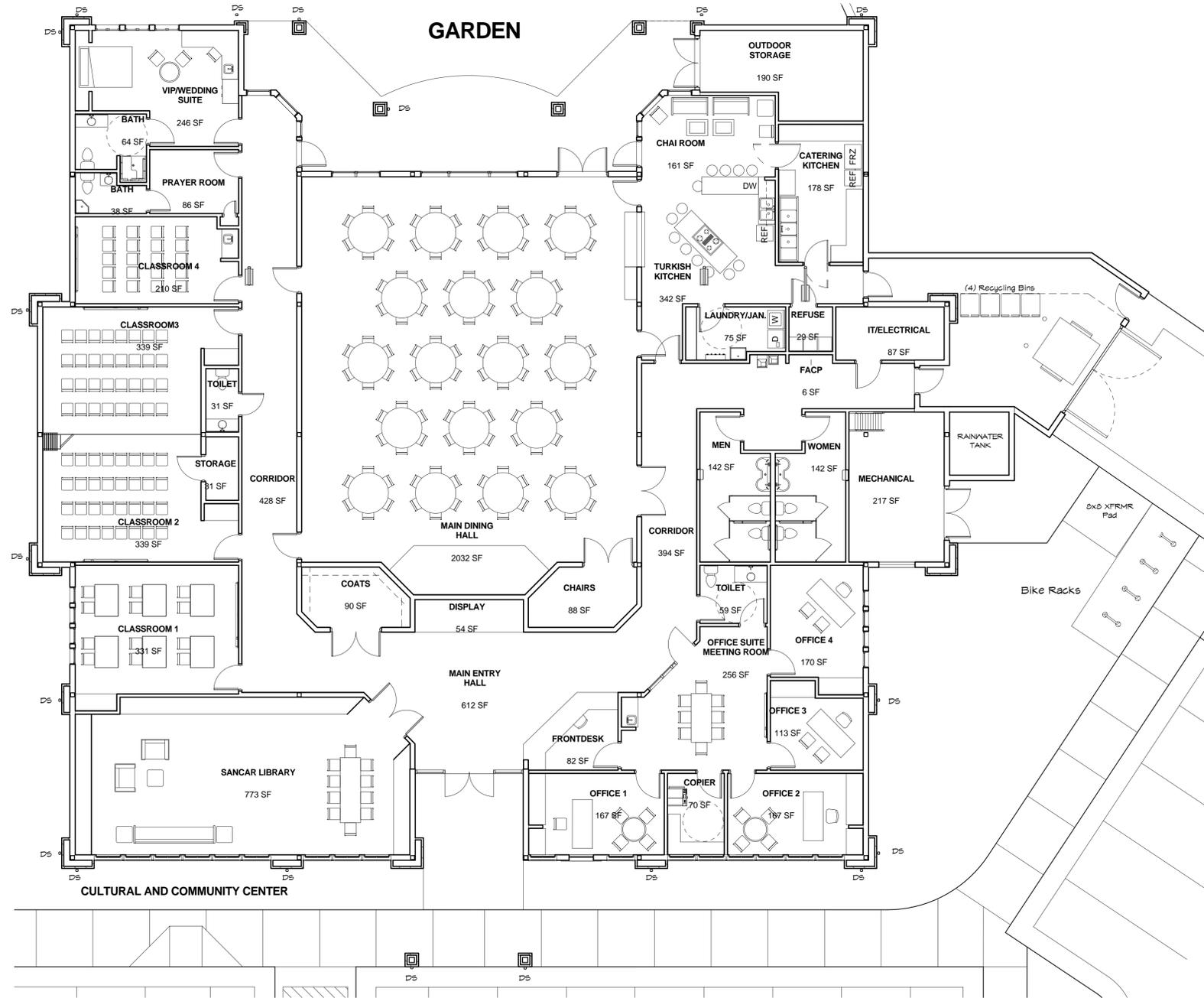
SHEET NAME:

**SANCAR CENTER FLOOR PLANS**

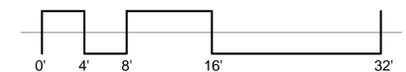
SHEET NUMBER:

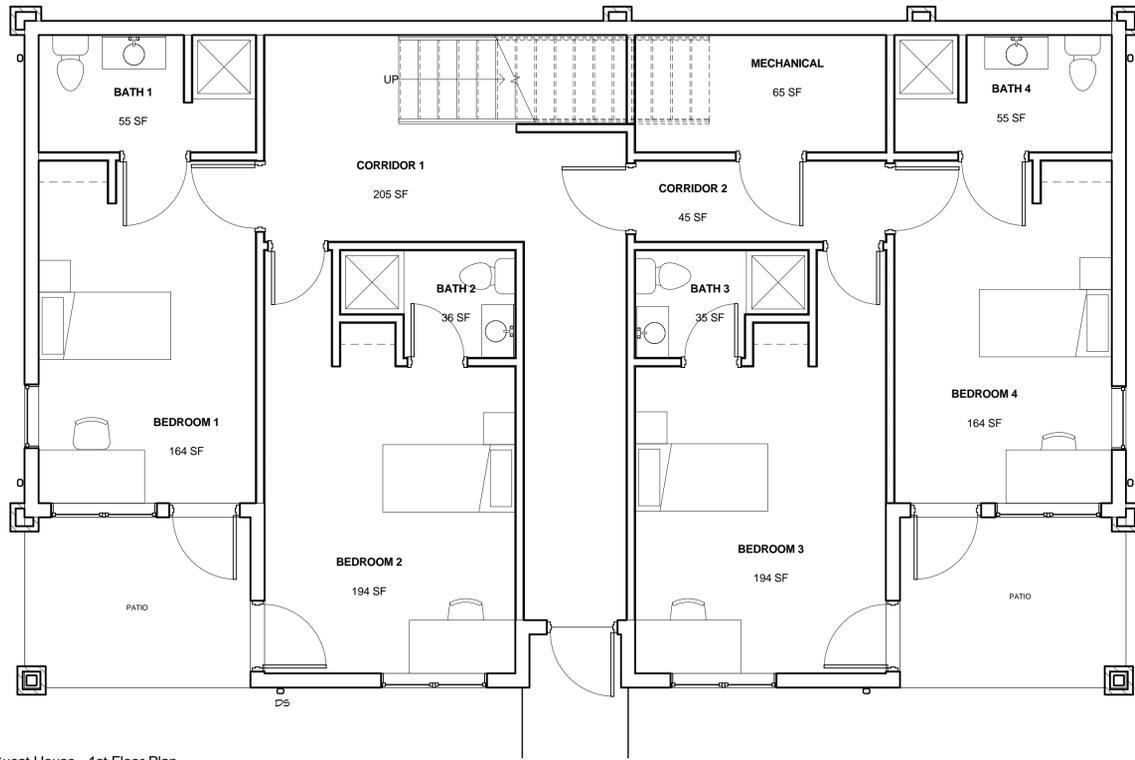
**8-04**

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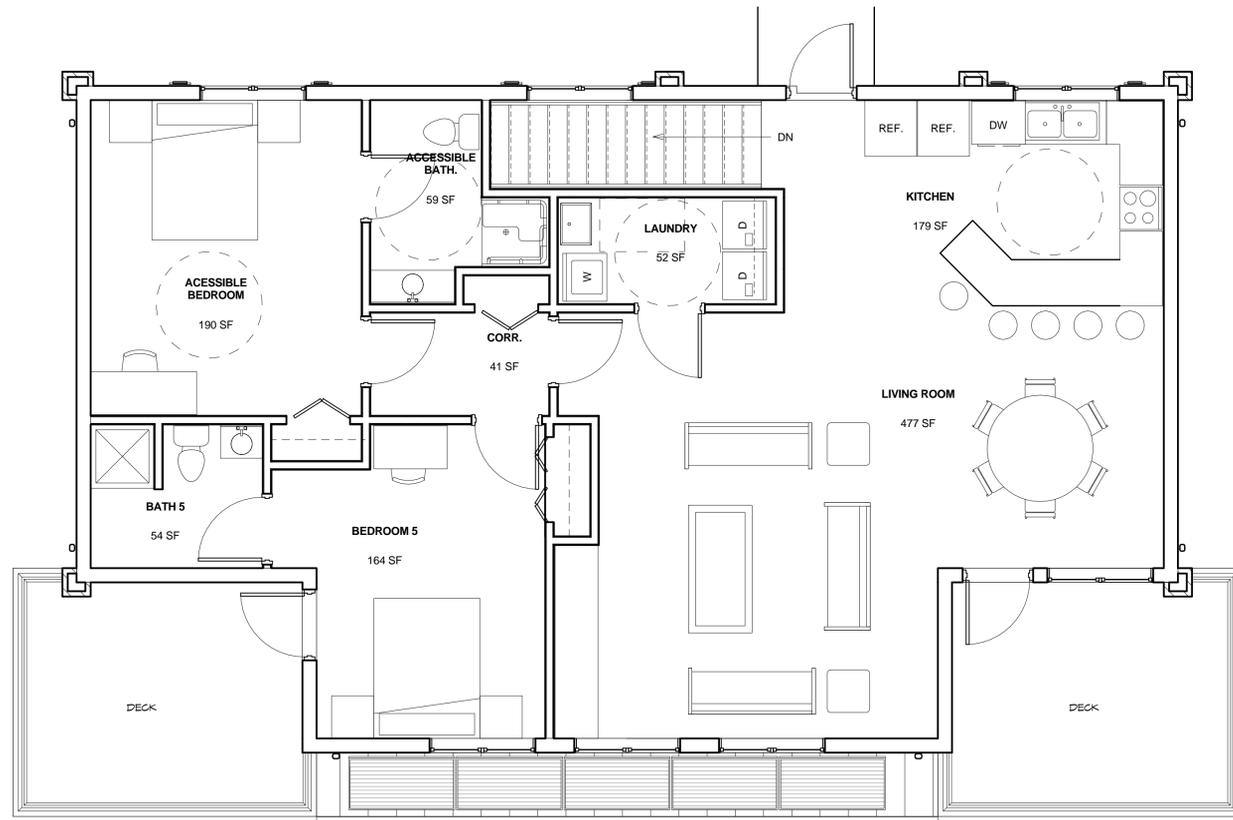


1 Center - Floor Plan  
1/8" = 1'-0"





1 Guest House - 1st Floor Plan  
1/4" = 1'-0"



2 Guest House - 2nd Floor Plan  
1/4" = 1'-0"



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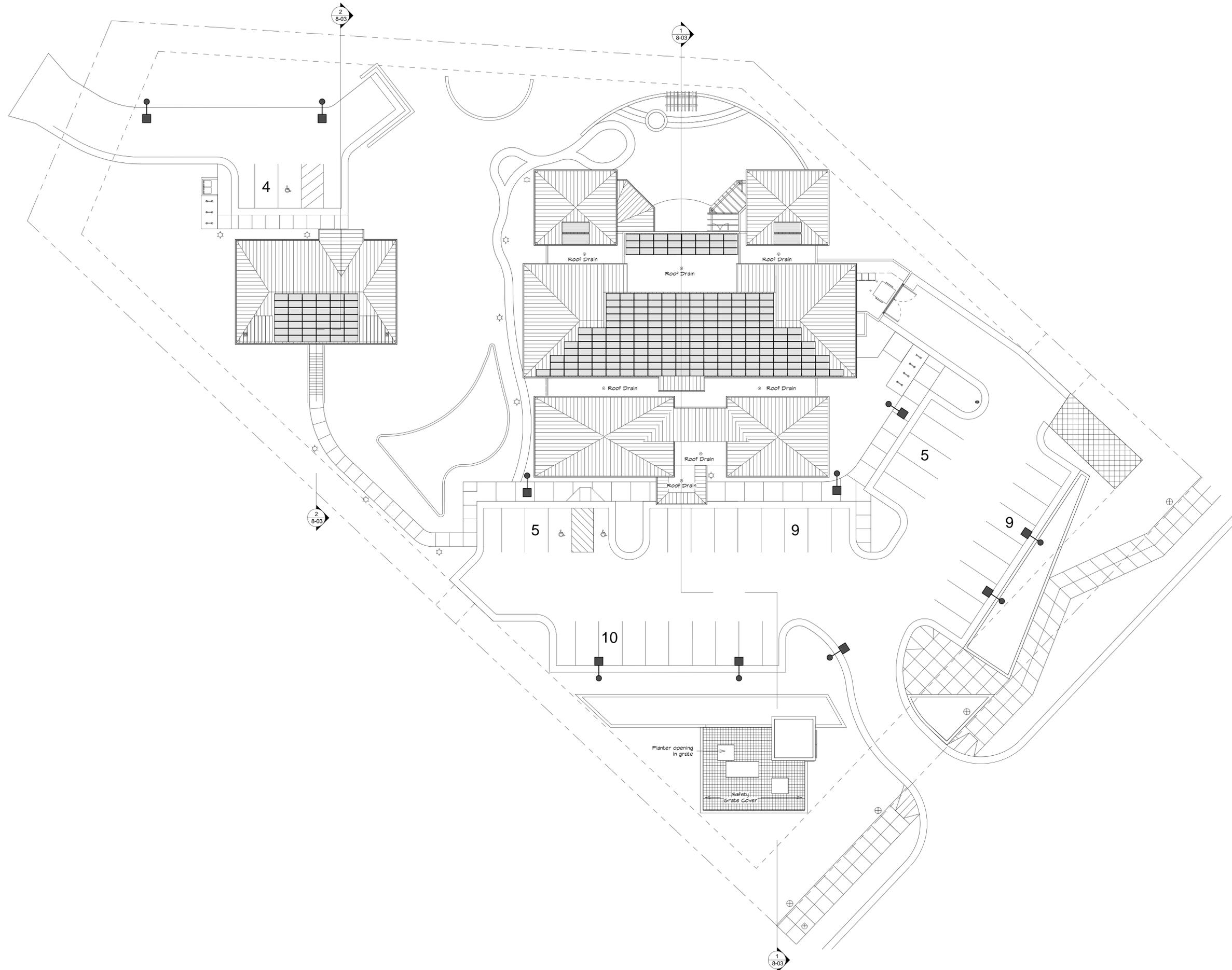
PROJECT NUMBER: 1602

SHEET NAME:

GUEST HOUSE FLOOR PLANS

SHEET NUMBER:

**8-05**



1 Architectural Site Plan  
1/16" = 1'-0"



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SUP Plans

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3		
2		
1	SUP	5/26/16
NO.	SUBMISSION	DATE

CHECKED BY: LG

DRAWN BY: LG

PROJECT NUMBER: 1602

SHEET NAME:

**ARCHITECTURAL SITE PLAN**

SHEET NUMBER:

**8-06**