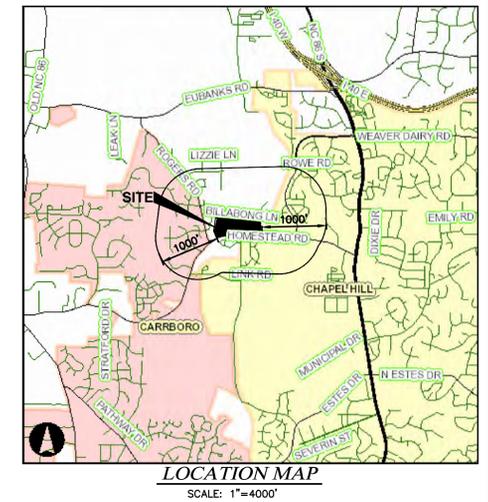


SPECIAL USE PERMIT PLANS

MERIN ROAD COMMUNITY

PINS: 9870710609, 9870811605, & 9870822048
CHAPEL HILL, NC
2015



PROJECT FACT SHEET
TOWN OF CHAPEL HILL
Planning Department

Section A: Project Information

Application type: Special Use Permit Date: June 29, 2015
Project Name: Merin Road Community

Use Type: (check/list all that apply)
 Office/Institutional Residential Mixed-Use Other: _____

Overlay District: (check all those that apply)
 Historic District Neighborhood Conservation District Airport Hazard Zone

Section B: Land Area

Net Land Area (NLA): Area within zoning lot boundaries	NLA=	1,076,181	sq. ft.
Choose one, or both, of the following (a or b), not to exceed 10% of NLA	a) Credited Street Area (total adjacent frontage) x 1/2 width of public right-of-way	CSA=	103,130
	b) Credited Permanent Open Space (total adjacent frontage) x 1/2 public or dedicated open space	COS=	4,488
TOTAL: NLA + CSA and/or COS = Gross Land Area (not to exceed NLA + 10%)	GLA=	1,183,799	sq. ft.

Section C: Special Protection Areas, Land Disturbance, and Impervious Area

Special Protection Areas: (check all those that apply)
 Jordan Buffer Resource Conservation District 100 Year Floodplain Watershed Protection District

Land Disturbance	Total (sq ft)
Area of Land Disturbance (Includes: Footprint of proposed activity plus work area envelope, staging area for materials, access/equipment paths, all grading, including off-site clearing)	606,152
Area of Land Disturbance within RCD	0
Area of Land Disturbance within Jordan Buffer	0

Impervious Areas	Existing (sq ft)	Demolition (sq ft)	Proposed (sq ft)	Total (sq ft)
Impervious Surface Area (ISA)	19,416	19,416	339,624	339,624
Impervious Surface Ratio: Percent Impervious Surface Area of Gross Land Area (ISA/GLA)%	1.64%	1.64%	28.9%	28.9%
If located in Watershed Protection District, % of impervious surface on 7/31/1993	N/A	N/A	N/A	N/A

Revised 02.04.14 Page 2 of 10 Permit Number: _____

PROJECT FACT SHEET
TOWN OF CHAPEL HILL
Planning Department

Section D: Dimensions

Dimensional Unit (sq ft)	Existing (sq ft)	Demolition (sq ft)	Proposed (sq ft)	Total (sq ft)
Number of Buildings	(3) 7,771	(3) 7,771	6169 (640sf-TH)	6169 (640sf-TH)
Number of Floors	2-1 & 1-1.5	2-1 & 1-1.5	2-3	2-3
Recreational Space	0	0	39,446	39,446

Residential Space				
Dimensional Unit (sq ft)	Existing (sq ft)	Demolition (sq ft)	Proposed (sq ft)	Total (sq ft)
Floor Area (all floors - heated and unheated)	5,531	5,351	n/a	n/a
Total Square Footage of All Units	4,553	4,553	n/a	n/a
Total Square Footage of Affordable Units	0	0	11,520	11,520
Total Residential Density	0.11 units/ac	0.11 units/ac	2.57 units/ac	2.57 units/ac
Number of Dwelling Units	3	3	70	70
Number of Affordable Dwelling Units	0	0	9	9
Number of Single Bedroom Units	3	3	0	0
Number of Two Bedroom Units	0	0	5	5
Number of Three Bedroom Units	0	0	19	19
Number of Four Bedroom Units	0	0	46	46

Non-Residential Space (Gross Floor Area in Square Feet)				
Use Type	Existing	Proposed	Existing	Proposed
Commercial				
Restaurant			# of Seats	
Government				
Institutional				
Medical				
Office				
Hotel			# of Rooms	
Industrial				
Place of Worship			# of Seats	
Other				

Project Perimeter Dimensional Requirements (does not apply to interior lots)				
Setbacks (minimum)	Required by Ordinance	Existing	Proposed	
Street	28'	n/a	0' (1)	
Interior (neighboring property lines)	14'	n/a	0' (1)	
Solar (northern property line)	17'	n/a	0' (1)	
Height (maximum)				
Primary	29'	n/a	n/a	
Secondary	40'	n/a	n/a	
Streets				
Frontages	64'	varies	55' (2)	
Widths	80'	varies	54' r/w (3)	

(1) Front & Rear = 0', Side = 0' (for side yards 12-ft separation to be maintained between buildings)
(2) R/W frontage less than 55' are Lots 6 & 7 = 30', Lot 14 = 48', Lot 17 & 18 = 46', & Lot 47 = 32'
(3) Western loop road & eastern cul-de-sac street propose r/w less than 54', see Section F below.

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PROJECT FACT SHEET
TOWN OF CHAPEL HILL
Planning Department

Section F: Adjoining or Connecting Streets and Sidewalks

(Note: For approval of proposed street names, contact the Engineering Department)

Street Name	Right-of-way Width	Pavement Width	Number of Lanes	Existing Sidewalk*	Existing curb/gutter
Homestead Road (SR 1127)	80'	27'	2	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No
Merin Road (SR 2251)	50'	18'	2	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No
Billabong Lane (SR 2252)	60'	18'	2	<input type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No

List Proposed Points of Access (Ex: Number, Street Name):

Street Names	Dimensions	Surface	Handicapped Ramps
Local Public Streets - (1,915 lf +/-)	27' b/b 54' r/w	Asphalt	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A
Local Public Streets - (342 lf +/-)	27' b/b 35' r/w	Asphalt	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A
Local Public Streets - (593 lf +/-)	27' b/b 49.5' r/w	Asphalt	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No

*If existing sidewalks do not exist and the applicant is adding sidewalks, please provide the following information:

Sidewalk Information			
Street Names	Dimensions	Surface	Handicapped Ramps
Regular Spaces	13	18	18
Handicap Spaces	0	0	0
Total Spaces	13	18	18
Loading Spaces	0	0	0
Bicycle Spaces	3	n/a	4
Surface Type	Asphalt		

Section G: Parking Information

Parking Spaces	Minimum	Maximum	Proposed
Regular Spaces	13	18	18
Handicap Spaces	0	0	0
Total Spaces	13	18	18
Loading Spaces	0	0	0
Bicycle Spaces	3	n/a	4
Surface Type	Asphalt		

Section H: Landscape Buffers

Location (North, South, Street, Etc.)	Minimum Width	Proposed Width	Alternate Buffer	Modify Buffer
Homestead Road (1)	20'	20'	<input type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No
Merin Road (2)	15'	20'	<input type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No
Billabong Ln. Residences (1) (3)	10'	15' & 30'	<input type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No
Southeast	10'	10'	<input type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No

(1) Per Section 5.6.6 of the LUMO
(2) Buffer increased in good faith per discussions with The Episcopal Church of the Advocate
(3) Buffer increased in good faith per discussions with Miller & Ferreiro families

Revised 02.04.14 Page 4 of 10 Permit Number: _____

PROJECT FACT SHEET
TOWN OF CHAPEL HILL
Planning Department

Section I: Land Use Intensity

Existing Zoning District: _____
Proposed Zoning Change (if any): _____

Note: Refer to Table 3.8-1 (Dimensional Matrix) in the Land Use Management Ordinance for help completing this table.

Zoning District(s)	Floor Area Ratio (FAR)	Recreation Space Ratio (RSR)				Impervious Surface Thresholds		Minimum and Maximum Limitations	
		Low Density Residential (0.24)	High Density Residential (0.50)	Non-Residential (0.70)	Maximum Floor Area (MFA) = FAR x GLA	Minimum Recreation Space (MSR) = RSR x GLA			
R-1 & R-1A	n/a	0.025	n/a	0.50	n/a	n/a	29,595 sf		
TOTAL									
RCD Streamside		0.01							
RCD Managed		0.019							
RCD Upland									

Section J: Utility Service

Check all that apply

Water	<input checked="" type="checkbox"/> OWASA	<input type="checkbox"/> Individual Well	<input type="checkbox"/> Community Well	<input type="checkbox"/> Other
Sewer	<input checked="" type="checkbox"/> OWASA	<input type="checkbox"/> Individual Septic Tank	<input type="checkbox"/> Community Package Plant	<input type="checkbox"/> Other
Electrical	<input checked="" type="checkbox"/> Underground	<input type="checkbox"/> Above Ground		
Telephone	<input checked="" type="checkbox"/> Underground	<input type="checkbox"/> Above Ground		
Solid Waste	<input checked="" type="checkbox"/> Town	<input type="checkbox"/> Private		

Revised 02.04.14 Page 5 of 10 Permit Number: _____

NCDOT REQUIREMENTS:

THE PERMITTEE SHALL BE RESPONSIBLE FOR THE INSTALLATION AND RELOCATION OF ANY ADDITIONAL HIGHWAY SIGNS THAT MAY BE NECESSARY DUE TO THESE IMPROVEMENTS AND SHALL COMPLY WITH THE REQUIREMENTS OF THE MUTCD.

ALL PAVEMENT MARKINGS SHALL BE LONG LIFE THERMOPLASTIC. PAVEMENT MARKERS SHALL BE INSTALLED IF THEY PREVIOUSLY EXISTING ON THE ROADWAY.

INTERSECTION RADI AND GEOMETRY SHALL BE DESIGNED TO ACCOMMODATE TURNING MOVEMENTS OF THE LARGEST ANTICIPATED VEHICLE PER NCDOT DESIGN REQUIREMENTS.

THE APPLICANT SHALL DEDICATE ANY ADDITIONAL RIGHT OF WAY NECESSARY TO ACCOMMODATE THE REQUIRED ROAD IMPROVEMENTS OR FUTURE IMPROVEMENTS AS STIPULATED.

IT IS NECESSARY TO OBTAIN AN APPROVED DRIVEWAY PERMIT AND/OR ENCROACHMENT AGREEMENT(S) PRIOR TO PERFORMING WORK ON THE NCDOT RIGHT OF WAY. AS A CONDITION OF THE PERMIT, THE PERMITTEE SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE ABOVE STIPULATED IMPROVEMENTS IN ACCORDANCE WITH NCDOT REQUIREMENTS. AN APPROVED PERMIT WILL BE ISSUED UPON RECEIPT OF APPROVED ROADWAY AND SIGNAL CONSTRUCTION PLANS, INSPECTION FEE, AND ANY NECESSARY PERFORMANCE AND INDEMNITY BONDS.

THE CONSTRUCTION OF BIKE LANES, SIDEWALK, BUSS PULL OFFS, LIGHTING, LANDSCAPING, ETC. ON STATE MAINTAINED ROUTES ARE SUBJECT TO NCDOT DESIGN AND ENCROACHMENT REQUIREMENTS.

CONSTRUCT REQUIRED TRAFFIC SIGNAL MODIFICATIONS AT THE INTERSECTION OF HOMESTEAD ROAD AND SEAWELL SCHOOL ROAD TO ACCOMMODATE THE REVISED INTERSECTION GEOMETRY.

CONSTRUCT THE PROPOSED SITE ACCESS AT THE INTERSECTION OF HOMESTEAD ROAD AND SEAWELL SCHOOL ROAD WITH A SINGLE INGRESS LANE AND TWO EGRESS LANES CONSISTING OF A FULL COMBINATION THROUGH-RIGHT TURN LANE AND AN EXCLUSIVE LEFT TURN LANE WITH A MINIMUM OF 100' OF FULL STORAGE AND APPROPRIATE BAY AND TRANSITION TAPERS.

CONSTRUCT AT THE INTERSECTION OF HOMESTEAD ROAD AND SEAWELL SCHOOL ROAD AN EXCLUSIVE WESTBOUND RIGHT TURN LANE WITH 100' OF FULL STORAGE AND APPROPRIATE DECELERATION TAPER ON HOMESTEAD ROAD.

AS A CONDITION OF THE PENDING DRIVEWAY PERMIT, THE APPLICANT IS REQUIRED TO CONSTRUCT THE FOLLOWING IMPROVEMENTS TO MITIGATE THE ANTICIPATED SITE IMPACTS:
CONSTRUCT AT INTERSECTION OF HOMESTEAD ROAD AND SEAWELL SCHOOL ROAD/SITE ACCESS AN EXCLUSIVE EASTBOUND LEFT TURN LANE WITH A MINIMUM OF 275' OF FULL STORAGE AND APPROPRIATE BAY AND TRANSITION TAPERS ON HOMESTEAD ROAD.

MODIFY EXISTING NORTHBOUND SEAWELL SCHOOL ROAD LANE GEOMETRY TO PROVIDE A COMBINATION THROUGH-RIGHT TURN LANE AND EXCLUSIVE LEFT TURN LANE.

SPECIAL USE PERMIT CONDITIONS OF APPROVAL:

PRIOR TO THE 2ND CERTIFICATE OF OCCUPANCY PROVIDE FOR A STANDARD VEHICLE TRAVEL LANE AND CONSTRUCT 5 FEET WIDE BICYCLE LANE WITH A SHOULDER AND DITCH CROSS-SECTION, PLUS A 5 FEET WIDE CONCRETE SIDEWALK BEHIND THE DITCH ALONG THE HOMESTEAD ROAD PROPERTY FRONTAGE AND DEDICATED ADDITIONAL PUBLIC RIGHT-OF-WAY TO POINT ONE FOOT BEHIND THE SIDEWALK

PRIOR TO THE 2ND CERTIFICATE OF OCCUPANCY CONSTRUCT TO NCDOT STANDARD AN EASTBOUND LEFT TURN LANE ON HOMESTEAD ROAD TO PROVIDE FOR LEFT TURNS FROM HOMESTEAD ROAD INTO THE DEVELOPMENT.

PRIOR TO THE 2ND CERTIFICATE OF OCCUPANCY CONSTRUCT TO NCDOT STANDARD A WESTBOUND RIGHT TURN LANE ON HOMESTEAD ROAD TO PROVIDE FOR RIGHT TURNS FROM HOMESTEAD ROAD INTO THE DEVELOPMENT.

AT THE PROPOSED STREET CONNECTION TO HOMESTEAD ROAD PROVIDE A PROVIDE ONE 11 FEET TRAVEL LANE FOR INGRESS, AND TWO 11 FEET WIDE TRAVEL LANES FOR EGRESS WITH A LEFT TURN LANE AND A THROUGH-RIGHT COMBINATION.

CONSTRUCT THE PROPOSED INTERNAL STREETS TO TOWN STANDARD 27 FEET WIDE CROSS-SECTION FROM BACK OF CURB TO BACK OF CURB WITH STANDARD CURB AND GUTTER, 5 FEET WIDE SIDEWALKS ON BOTH SIDES AND DEDICATION OF RIGHT-OF-WAY TO A POINT ONE FOOT BEHIND THE BACK OF SIDEWALK OR 8 FEET BEHIND THE CURB WHERE SIDEWALK IS NOT PROVIDED. SIDEWALK IS NOT REQUIRED ON THE INSIDE OF THE LOOP IDENTIFIED AS OPEN SPACE NOR ON BOTH SIDES OF THE EASTERN MOST CUL-DE-SAC.

PRIOR TO A CERTIFICATE OF OCCUPANCY FOR THE TOWNHOMES CONSTRUCT THE PROPOSED PARKING LOT TO TOWN STANDARD FOR DIMENSIONS OF PAVEMENT DESIGN.

PRIOR TO THE 2ND CERTIFICATE OF OCCUPANCY IMPROVE MERIN ROAD ALONG THE PROPERTY FRONTAGE TO PROVIDE A SHOULDER AND DITCH SECTION TO NCDOT STANDARD, AND CONSTRUCT A 5 FEET WIDE CONCRETE SIDEWALK, OR PROVIDE A PAYMENT IN LIEU OF SIDEWALK CONSTRUCTION. DEDICATE PUBLIC RIGHT-OF-WAY TO A POINT ONE FOOT BEHIND THE BACK OF SIDEWALK.

PRIOR TO A ZONING COMPLIANCE PERMIT SUBMIT A PAVEMENT MARKING AND SIGN PLAN FOR APPROVAL BY THE TOWN MANAGER.

PRIOR TO A ZONING COMPLIANCE PERMIT PROVIDE A \$2,000 PAYMENT IN LIEU FOR TRAFFIC SIGNAL TIMING ADJUSTMENTS.

PRIOR TO A ZONING COMPLIANCE PERMIT SUBMIT FOR A FIRE FLOW REPORT SEALED BY PROFESSIONAL ENGINEER LICENSED IN NORTH CAROLINA. THE REPORT MUST BE BASED ON AN ORANGE WATER AND SEWER AUTHORITY FLOW TEST CONDUCTED WITHIN A YEAR.

PRIOR TO A ZONING COMPLIANCE PERMIT SUBMIT AN EROSION CONTROL BOND.

PRIOR TO WORK IN THE PUBLIC RIGHT-OF-WAY IT WILL BE NECESSARY TO SUBMIT A PERFORMANCE BOND TO THE TOWN TO COVER 125% OF THE COST OF THE PROPOSED ROADWAY IMPROVEMENTS.

OWNERS
BURCH FAMILY PROPERTIES LLC
5502 CRAIG ROAD
DURHAM, NC 27712

ENGINEER/SURVEYOR
ADVANCED CIVIL DESIGN, INC.
51 KILMAYNE DRIVE, SUITE 105
CARY, NC 27511
PHONE (919) 481-6290
FAX (919) 336-5127

LANDSCAPE ARCHITECT
MULLIS DESIGN GROUP, PLLC
133 KEYBRIDGE DRIVE, SUITE E
MORRISVILLE, NC 27560
PHONE (941) 400-1624

DEVELOPER
CAPKOV VENTURES, INC.
202 E WINMOORE AVE.
CHAPEL HILL, NC 27516-8430
PHONE: 919.942.8005

SHEET INDEX

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2	AREA MAP
3A	EXISTING CONDITIONS PLAN
3B	SLOPE ANALYSIS PLAN
4A	DETAILED SITE PLAN
4B	SIGNAGE & PAVEMENT MARKING PLAN
5	OVERALL STORMWATER MANAGEMENT PLAN
6-7	STORMWATER MANAGEMENT PLAN
8A	LANDSCAPE PROTECTION PLAN
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8C	LANDSCAPE PROTECTION PLAN
8D	LANDSCAPE PROTECTION PLAN
9A	PERIMETER BUFFER & TREE CANOPY CALCULATIONS
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9C	LANDSCAPE PLAN AREA ONE
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9E	LANDSCAPE PLAN AREA THREE
9F	LANDSCAPE PLAN AREA FOUR
9G	LANDSCAPE DETAILS
9H	LANDSCAPE NOTES & PLANT LIST
10	UTILITY PLAN
11	GRADING & EROSION CONTROL PLAN
12	ARCHITECTURAL ELEVATIONS

PLAN PREPARED FOR:
MERIN ROAD COMMUNITY
SPECIAL USE PERMIT PLANS
FOR
CAPKOV VENTURES, INC.
COVER SHEET

HOMESTEAD ROAD, CHAPEL HILL, NC - ORANGE COUNTY

PLAN PREPARED BY:
ADVANCED CIVIL DESIGN
ENGINEERS SURVEYORS
51 Kilmayne Drive, Suite 105
Cary, North Carolina 27511
ph 919.481.6290
fax 919.336.5127

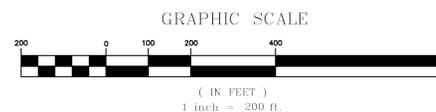
202 E WINMOORE AVE. #8430
CHAPEL HILL, NC 27516-8430
PHONE: 919.942.8005

DATE: 09/11/2015
SCALE: AS NOTED
DRAWN BY: CMR
CHECKED BY: JDW
PROJECT NUMBER: 14-0001-651
DRAWING NUMBER: 1 / 12

C:\14-0001-651NC\Production Drawings\Special Use PERMIT\4-0001-651-SUP02.dwg AREA MAP Sep 11, 2015 11:28:07am Jroyal



AREA MAP
SCALE 1" = 200'

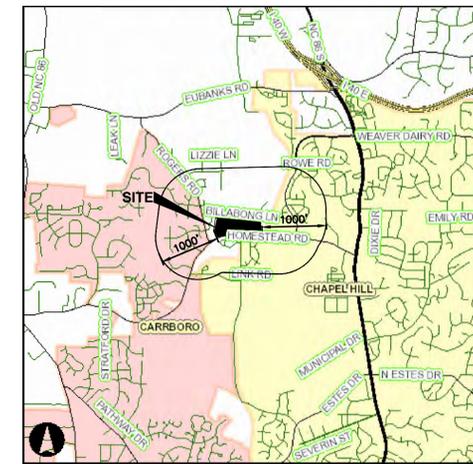


SITE DATA TABLE

PROJECT NAME:	MERIN ROAD COMMUNITY
APPLICANT:	ADVANCED CIVIL DESIGN, INC. 51 KILMAYNE DRIVE, SUITE 105 CARY, NC 27511
PARCEL ID NUMBERS:	9870710609, 9870811605, & 9870822048
LAND AREA CALCULATIONS	
NET LAND AREA:	24.706 ACRES
CREDITED STREET AREA:	1.775 ACRES (1/2 HOMESTEAD R/W)
CREDITED STREET AREA:	0.368 ACRES (1/2 MERRIN RD R/W)
CREDITED STREET AREA:	0.225 ACRES (1/2 BILLABONG LN R/W)
CREDITED PERMANENT OPEN SPACE:	0.103 ACRES (GLENBROOKE SUBDIVISION)
TOTAL GROSS LAND AREA (GLA):	27.177 ACRES (USED FOR DENSITY CALCULATION)
CURRENT ZONING:	R-1 & R-1A
OUTSIDE CORPORATE LIMITS:	YES (ANNEXATION REQUIRED)
OUTSIDE WATERSHED PROTECTION DISTRICT:	YES
OUTSIDE FLOODPLAIN:	YES
OVERLAY DISTRICTS:	NONE
EXISTING LAND USE:	SINGLE FAMILY
PROPOSED LAND USE:	R-1 WITH SPECIAL USE PERMIT
ALLOWABLE DENSITY R-1A:	2 UNITS/AC GROSS LAND AREA = 2,821 AC # UNITS ALLOWED = 5.6
ALLOWABLE DENSITY R-1:	3 UNITS/AC GROSS LAND AREA = 24,356 AC # UNITS ALLOWED = 73.1
TOTAL ALLOWABLE DENSITY:	78 (R-1 & R-1A)
PROPOSED SINGLE FAMILY UNITS:	61
PROPOSED AFFORDABLE UNITS:	9
PROPOSED TOTAL # OF UNITS:	70
PROPOSED MINIMUM LOT SIZE:	6,000 SF
RECREATION SPACE REQUIRED:	29,595 SF (2.5%)
RECREATION SPACE PROVIDED:	39,446 SF
PROPOSED LOT SETBACKS:	
FRONT SETBACK:	0'
SIDE SETBACK:	0'
SIDE CORNER SETBACK:	0'
REAR SETBACK:	0'
PROPOSED BUILDING SEPARATION:	12'

LEGEND

	CHAPEL HILL CORPORATE LIMITS
	ZONING BOUNDARY
	1000' NOTIFICATION LINE
	PROPERTY'S WITHIN NOTIFICATION AREA
	PROPOSED SITE
	OPEN SPACE



LOCATION MAP
SCALE: 1"=4000'

PLAN PREPARED BY:
ADVANCED CIVIL DESIGN
ENGINEERS SURVEYORS

PLAN PREPARED FOR:
CAPKOV VENTURES, INC.
202 E WINMORE AVE. #430
CHAPEL HILL, NC 27514
PHONE: 919-942-8005

HOMESTEAD ROAD, CHAPEL HILL, NC - ORANGE COUNTY
MERIN ROAD COMMUNITY
SPECIAL USE PERMIT PLANS
FOR
CAPKOV VENTURES, INC.
AREA MAP



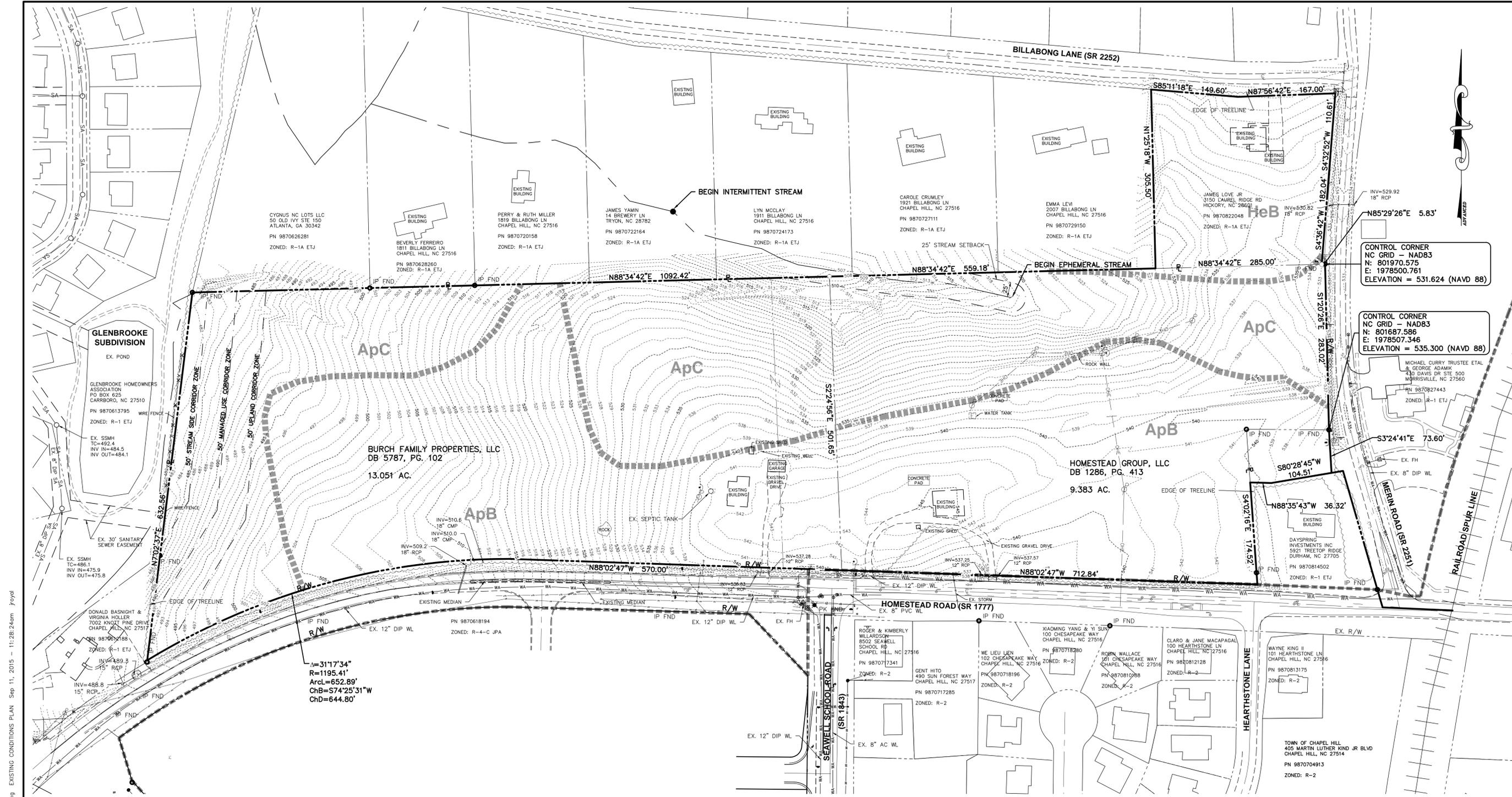
Issue Dates:
06/29/2015 - Initial Submittal
09/11/2015 - Response to 1st Review Comments

Date: 09/11/2015
Scale: AS NOTED

Drawn By: CMR
Checked By: JDW

Project Number:
14-0001-651

Drawing Number:
2 / 12



O:\14-0001-651NC\DWG\Production Drawings\Special Use Permits\4-0001-651-SUP03A.dwg EXISTING CONDITIONS PLAN Sep 11, 2015 11:28:24am Jroyal

SITE DESCRIPTION & ANALYSIS

THE ENTIRE SITE IS HEAVILY WOODED A PROPOSED SITE AREA OF 24.7 ACRES.

THE SOUTHERN PORTION OF THE SITE INCLUDES TWO EXISTING HOUSES WITH ASSOCIATED GRAVEL DRIVES AND IS BOUNDED BY APPROXIMATELY 1,940 FEET OF FRONTAGE ALONG HOMESTEAD ROAD TO THE SOUTH.

THE WESTERN PORTION OF THE SITE IS BOUNDED TO THE WEST BY GLENBROOKE SUBDIVISION AND A SINGLE FAMILY LOT.

THE NORTHERN PORTION OF THE SITE HAS SOME STEEP AREAS AND IS BOUNDED BY ONE VACANT LOT, SIX SINGLE FAMILY RESIDENTIAL LOTS, AND BILLABONG LANE NEAR THE NORTHEASTERN PORTION OF THE SITE. THERE IS AN EXISTING HOUSE AND ASSOCIATED DRIVE ON THE NORTHEAST PORTION OF THE SITE THAT PROVIDES ACCESS TO BILLABONG LANE.

THE EASTERN PORTION OF THE SITE HAS APPROXIMATELY 650 FEET OF FRONTAGE ALONG MERIN ROAD AND ALSO SHARES A BORDER WITH A SINGLE FAMILY RESIDENTIAL LOT NEAR THE SOUTHEAST CORNER OF THE SITE.

THE WESTERN HALF OF THE SITE DRAINS FROM THE EAST TO THE WEST TO AN EXISTING BMP IN THE GLENBROOKE SUBDIVISION. THE REST OF THE SITE PRIMARILY DRAINS FROM THE NORTH TO AN OFFSITE INTERMITTENT STREAM.

CONSTRUCTION WASTE STANDARD NOTES

ALL EXISTING STRUCTURES 500 SQUARE FEET AND LARGER IN SIZE SHALL BE ASSESSED PRIOR TO DEMOLITION TO ENSURE COMPLIANCE WITH THE COUNTY'S REGULATED RECYCLABLE MATERIALS ORDINANCE (RRMO) AND TO ASSESS THE POTENTIAL FOR DE-CONSTRUCTION AND/OR THE RE-USE OF SALVAGEABLE MATERIALS.

BY ORANGE COUNTY ORDINANCE, CLEAN WOOD WASTE, SCRAP METAL, AND CORRUGATED CARDBOARD PRESENT IN CONSTRUCTION OR DEMOLITION WASTE MUST BE RECYCLED.

BY ORANGE COUNTY ORDINANCE, ALL HAULERS OF MIXED CONSTRUCTION AND DEMOLITION WASTE THAT INCLUDES ANY REGULATED RECYCLABLE MATERIALS SHALL BE LICENSED BY ORANGE COUNTY.

PRIOR TO ANY DEMOLITION OR CONSTRUCTION ACTIVITY ON THE SITE THE APPLICANT SHALL HOLD A PRE-DEMOLITION/PRE-CONSTRUCTION CONFERENCE WITH THE SOLID WASTE STAFF. THIS MAY BE THE SAME PRE-CONSTRUCTION MEETING HELD WITH OTHER DEVELOPMENT/ENFORCEMENT OFFICIALS.

THE PRESENCE OF ANY ASBESTOS CONTAINING MATERIALS ("ACM") AND/OR OTHER HAZARDOUS MATERIALS IN CONSTRUCTION AND DEMOLITION WASTE SHALL BE HANDLED IN ACCORDANCE WITH ANY AND ALL LOCAL, STATE, AND FEDERAL REGULATIONS AND GUIDELINES.

LEGEND

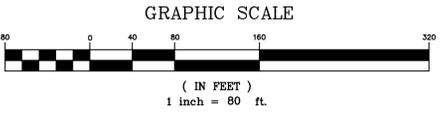
- | | | | |
|----------------------|-----------------------|-------------------------|----------------------|
| Concrete Post | Electric Manhole | Gas Meter | Fire Hydrant |
| Tacked Hub / Trav Pt | Electric Transformer | Underground Line Marker | Water Valve |
| Post Sign / Lamp | Comm Manhole | Sprinkler Valve Box | Mailbox |
| Sign | Tel Pedestal | Misc. Manhole | Monitoring Well |
| Billboard / OH Sign | Pole Elec | Iron Pipe Found | Iron Pin Set |
| Deciduous Tree | Pole Elec Tel | Iron Rod Found | PK Nail Set |
| Pine Tree | Pole Elec Tel Light | PK Nail Found | RR Spike Set |
| Shrub | Pole Tel | RR Spike Found | Fence Post Found |
| Sanitary Manhole | Pole Tel Light | Fence Post Found | Stone Found |
| Cleanout Access | Pole Light | Stone Found | Conc. Monument Found |
| Storm Manhole | Pole Signal | Conc. Monument Found | Monument Box Found |
| Catch Basin | Traffic Box | Monument Box Found | |
| Curb Inlet W / Grate | Guy Pole | | |
| Gas Valve | Guy Wire | | |
| Overhead Telephone | Ex. Property Boundary | Ex. Soil Type Boundary | |
| Overhead Electric | Ex. Edge of Road | Ex. Edge of Stream | |
| | | Ex. Edge of Pavement | |

EXISTING IMPERVIOUS SURFACES

BUILDINGS	= 7,771 SF
DRIVEWAYS	= 11,645 SF
TOTAL	= 19,416 SF

FLOOD NOTE

By graphic plotting only this property is located in Zone X (areas determined to be outside of the 0.2% annual chance floodplain) by the Federal Emergency Management Agency on Flood Insurance Rate Map, Community Panel No. 3710987000J, with an effective date of 02/02/2007, in Orange County, North Carolina. No field surveying was performed to determine this zone.



GENERAL NOTES

- Areas calculated by coordinate geometry.
- All distances are horizontal ground distances.
- Basis of Bearing NC GRID 1983 Horizontal Datum & Vertical Datum NAD-88.
- Boundary information shown hereon was prepared from an actual field survey and from existing records as referenced hereon.
- Dimensions on this plan are expressed in feet and decimal parts thereof unless otherwise noted. Monuments were found at points where indicated.
- Survey was performed without the benefit of a title search. Property is subject to all facts disclosed by a full and accurate title report.
- Currently, there is no direct bus service to the site. The closest transit facility is a 20 minute walk according to Mila Vega.
- See Landscape Protection Plans (Sheets 8A-8D) for existing individual trees labeled with size and name.

STATEMENT OF ENCROACHMENTS

None Apparent

REFERENCES:
 D.B. 1286, Pg. 413
 D.B. 5787, Pg. 102

PLAN PREPARED BY: CAPKOV VENTURES, INC.
 PLAN PREPARED FOR: MERIN ROAD COMMUNITY
 SPECIAL USE PERMIT PLANS FOR CAPKOV VENTURES, INC.
 EXISTING CONDITIONS PLAN
 51 Kilmegane Drive, Suite 105
 Cary, North Carolina 27511
 PH 919-461-6990
 FAX 919-336-5127
 ADVANCED CIVIL DESIGN ENGINEERS SURVEYORS
 202 E WINNORE AVE. #4-30
 CHAPEL HILL, NC 27514
 PHONE: 919-942-8005
 ORANGE COUNTY
 NORTH CAROLINA
 PRELIMINARY
 09/11/2015
 Date: 09/11/2015
 Scale: 1" = 80'
 Drawn By: CMR
 Checked By: JOW
 Project Number: 14-0001-651
 Drawing Number: 3A / 12



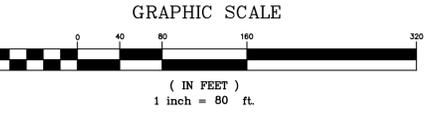
A=31'17.34'
R=1195.41'
ArcL=652.89'
ChB=574'25.31\"/>

LEGEND

- | | | | |
|------------------------|------------------------|---------------------------|-----------------------------|
| ○ Concrete Post | ⊕ Electric Manhole | ⊠ Gas Meter | ⊕ Fire Hydrant |
| ⊕ Tacked Hub / Trav Pt | ⊕ Electric Transformer | ⊕ Underground Line Marker | ⊕ Water Valve |
| ⊕ Post Sign / Lamp | ⊕ Comm Manhole | ⊕ Sprinkler Valve Box | ⊕ Mailbox |
| ⊕ Sign | ⊕ Tel Pedestal | ⊕ Misc. Manhole | ⊕ Monitoring Well |
| ⊕ Billboard / OH Sign | ⊕ Pole Elec | ⊕ Iron Pipe Found | ○ Iron Pin Set |
| ⊕ Deciduous Tree | ⊕ Pole Elec Tel | ● Iron Rod Found | ⊕ PK Nail Set |
| ⊕ Pine Tree | ⊕ Pole Elec Tel Light | ⊕ PK Nail Found | ⊕ RR Spike Set |
| ⊕ Shrub | ⊕ Pole Tel | ⊕ RR Spike Found | ○ Iron pins set are 3/4\"/> |
| ⊕ Sanitary Manhole | ⊕ Pole Tel Light | ⊕ Fence Post Found | ⊕ Stone Found |
| ⊕ Cleanout Access | ⊕ Pole Light | ⊕ Conc. Monument Found | ⊕ Monument Box Found |
| ⊕ Storm Manhole | ⊕ Pole Signal | ⊕ Guy Pole | ⊕ Guy Wire |
| ⊕ Catch Basin | ⊕ Traffic Box | ⊕ Ex. Property Boundary | ⊕ Ex. Edge of Pavement |
| ⊕ Curb Inlet W / Grate | ⊕ Gas Valve | ⊕ Ex. Soil Type Boundary | ⊕ Ex. of Stream |
| ⊕ Overhead Telephone | ⊕ Overhead Electric | ⊕ Ex. Property Boundary | ⊕ Ex. Edge of Pavement |

SLOPE HATCH LEGEND

- SLOPES 0% TO 9.9%
DISTURBED SLOPE AREA = 476,858 SF
TOTAL SLOPE AREA = 913,542 SF
PERCENTAGE OF DISTURBED SLOPE AREA = 52.2%
- SLOPES 10% TO 14.9%
DISTURBED SLOPE AREA = 69,731 SF
TOTAL SLOPE AREA = 123,555 SF
PERCENTAGE OF DISTURBED SLOPE AREA = 56.4%
- SLOPES 15% TO 24.9%
DISTURBED SLOPE AREA = 19,159 SF
TOTAL SLOPE AREA = 32,039 SF
PERCENTAGE OF DISTURBED SLOPE AREA = 59.8%
- SLOPES 25% OR GREATER
DISTURBED SLOPE AREA = 5,018 SF
TOTAL SLOPE AREA = 7,045 SF
PERCENTAGE OF DISTURBED SLOPE AREA = 71.2%



PLAN PREPARED BY:

CAPKOV VENTURES, INC.
 CIVIL DESIGN
 ENGINEERS SURVEYORS
 51 Kilmorye Drive, Suite 105
 Cary, North Carolina 27511
 ph 919.481.6990
 fax 919.336.5127

PLAN PREPARED FOR:
CAPKOV VENTURES, INC.
 202 E WINNEMORE AVE. #4-30
 CHAPEL HILL, NC 27514
 PHONE: 919.942.5005

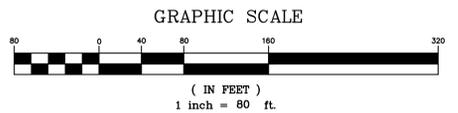
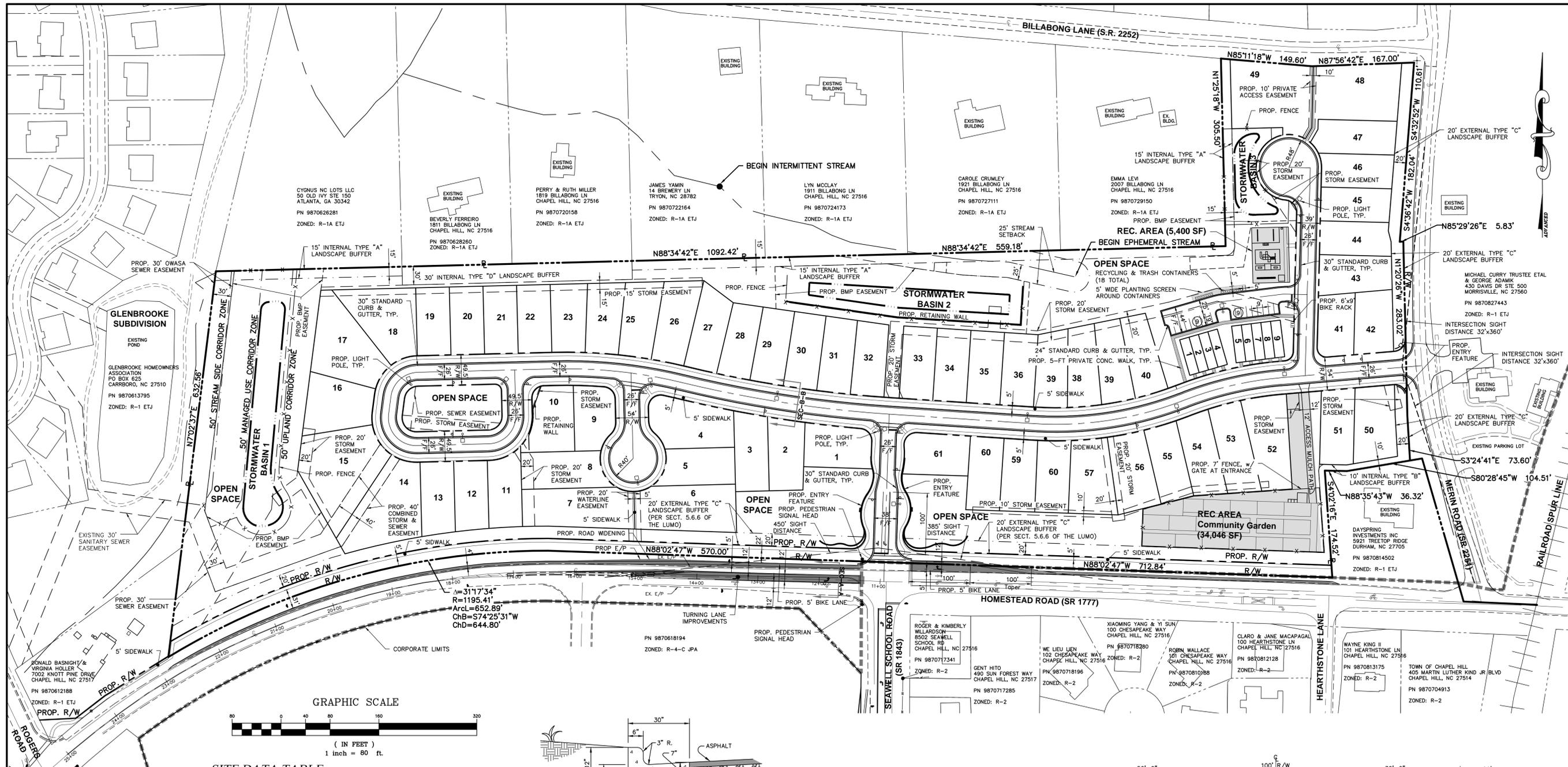
ORANGE COUNTY
MERIN ROAD COMMUNITY
 SPECIAL USE PERMIT PLANS
 FOR
CAPKOV VENTURES, INC.
 SLOPE ANALYSIS PLAN

PRELIMINARY
 NORTH CAROLINA PROFESSIONAL ENGINEER
 CAMERON M. REICHERT
 09/11/2015

Issue Dates:	06/29/2015 - Initial Submittal
	09/11/2015 - Response to 1st Review Comments

Date: 09/11/2015
 Scale: 1" = 80'
 Drawn By: CMR
 Checked By: JDW
 Project Number:
14-0001-651
 Drawing Number:
3B / 12

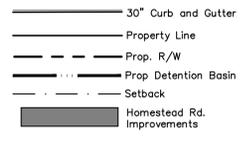
C:\14-0001-651NC\DWG\Production Drawings\SPECIAL USE PERMIT\4-0001-651-SUP\04A.dwg DETAILED SITE PLAN Sep 11, 2015 - 12:46:36pm JFoyl



SITE DATA TABLE

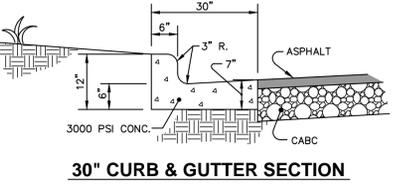
PROJECT NAME:	MERIN ROAD COMMUNITY	PROPOSED LOT SETBACKS:	FRONT SETBACK: 0'
APPLICANT:	ADVANCED CIVIL DESIGN, INC. 51 KILWAYNE DRIVE, SUITE 105 CARY, NC 27511	SIDE SETBACK: 0'	SIDE CORNER SETBACK: 0'
PARCEL ID NUMBERS:	9870710609, 9870811605, & 9870822048	REAR SETBACK: 0'	
LAND AREA CALCULATIONS		PROPOSED BUILDING SEPARATION:	12'
NET LAND AREA:	24.706 ACRES	VEHICULAR PARKING REQUIRED:	5 - 2 BDRM UNITS 4 - 3 BDRM UNITS MIN. = 1.25 SPACES/# OF 2 BDRM UNITS MAX. = 1.75 SPACES/# OF 2 BDRM UNITS MIN. = 1.50 SPACES/# OF 3 BDRM UNITS MAX. = 2.25 SPACES/# OF 3 BDRM UNITS MIN. REQUIRED: 13 SPACES MAX. REQUIRED: 18 SPACES
CREDITED STREET AREA:	1.775 ACRES (1/2 HOMESTEAD R/W)	VEHICULAR PARKING PROVIDED:	18 SPACES
CREDITED STREET AREA:	0.368 ACRES (1/2 MERRIN RD R/W)	BICYCLE PARKING REQUIRED:	1 SPACE/ 4 DWELLING UNITS = 3 SPACES
CREDITED STREET AREA:	0.225 ACRES (1/2 BILLABONG LN R/W)	BICYCLE PARKING PROVIDED:	4 SPACES
CREDITED PERMANENT OPEN SPACE:	0.103 ACRES (GLENBROOKE SUBDIVISION)	GENERAL NOTES	
TOTAL GROSS LAND AREA (GLA):	27.177 ACRES (USED FOR DENSITY CALCULATION)	A DESCRIPTION AND ANALYSIS OF ADJACENT LAND USES, ROADS, TOPOGRAPHY, SOILS, DRAINAGE PATTERNS, ENVIRONMENTAL CONSTRAINTS, FEATURES, EXISTING VEGETATION, AND VISTAS CAN BE FOUND ON SHEET 3 - EXISTING CONDITIONS PLAN.	
CURRENT ZONING:	R-1 & R-1A	ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.	
OUTSIDE CORPORATE LIMITS:	YES (ANNEXATION REQUIRED)	THE REQUIRED RECREATION SPACE HAS BEEN MET AND EXCEEDED. SEE SITE DATA TABLE ON THIS SHEET.	
OUTSIDE WATERSHED PROTECTION DISTRICT:	YES	ALL TRASH FOR SINGLE FAMILY LOTS WILL BE COLLECTED BY ROLL-OUT CURBSIDE PICK UP. TRASH RECEPTACLES AND A COMMUNITY RECYCLING RECEPTACLE HAS BEEN PROPOSED ON THE NORTH SIDE OF THE TOWN HOMES. PARKING SHOWN FOR THE TOWNHOMES LOTS ARE 90 DEGREE BAYS AND SPACE MARKINGS PER TOWN OF CHAPEL HILL CODE FOR PARKING LOTS.	
OUTSIDE FLOODPLAIN:	YES	CURRENTLY, THERE IS NO DIRECT BUS SERVICE TO THE SITE. THE CLOSEST TRANSIT FACILITY IS A 20 MINUTE WALK ACCORDING TO MILA VEGA.	
OVERLAY DISTRICTS:	NONE	THE DEVELOPER SHALL PROVIDE A \$2,000 PAYMENT IN LIEU FOR TRAFFIC SIGNAL TIMING ADJUSTMENTS PRIOR TO A ZONING COMPLIANCE PERMIT.	
EXISTING LAND USE:	SINGLE FAMILY		
PROPOSED LAND USE:	R-1 WITH SPECIAL USE PERMIT		
ALLOWABLE DENSITY R-1A:	2 UNITS/AC GROSS LAND AREA = 2.821 AC # UNITS ALLOWED = 5.6		
ALLOWABLE DENSITY R-1:	3 UNITS/AC GROSS LAND AREA = 24.356 AC # UNITS ALLOWED = 73.1		
TOTAL ALLOWABLE DENSITY:	78 (R-1 & R-1A)		
PROPOSED SINGLE FAMILY UNITS:	61		
PROPOSED AFFORDABLE UNITS:	9		
PROPOSED TOTAL # OF UNITS:	70		
PROPOSED MINIMUM LOT SIZE:	6,000 SF		
RECREATION SPACE REQUIRED:	29,595 SF (2.5%)		
RECREATION SPACE PROVIDED:	39,446 SF		

LEGEND



REQUIREMENTS

INTERNAL SETBACKS 0 FT



30\"/>

RECREATION SPACE

THE REQUIRED RECREATION SPACE (0.68 ACRES) HAS BEEN PROVIDED BY THE COMMUNITY GARDEN (0.86 ACRES) AND THE RECREATION AREA (0.12 ACRES).

CONSTRUCTION WASTE STANDARD NOTES

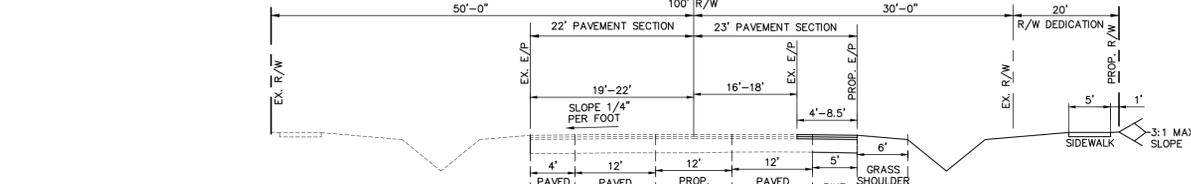
ALL EXISTING STRUCTURES 500 SQUARE FEET AND LARGER IN SIZE SHALL BE ASSESSED PRIOR TO DEMOLITION TO ENSURE COMPLIANCE WITH THE COUNTY'S REGULATED RECYCLABLE MATERIALS ORDINANCE (RMO) AND TO ASSESS THE POTENTIAL FOR DE-CONSTRUCTION AND/OR THE RE-USE OF SALVAGEABLE MATERIALS.

BY ORANGE COUNTY ORDINANCE, CLEAN WOOD WASTE, SCRAP METAL, AND CORRUGATED CARDBOARD PRESENT IN CONSTRUCTION OR DEMOLITION WASTE MUST BE RECYCLED.

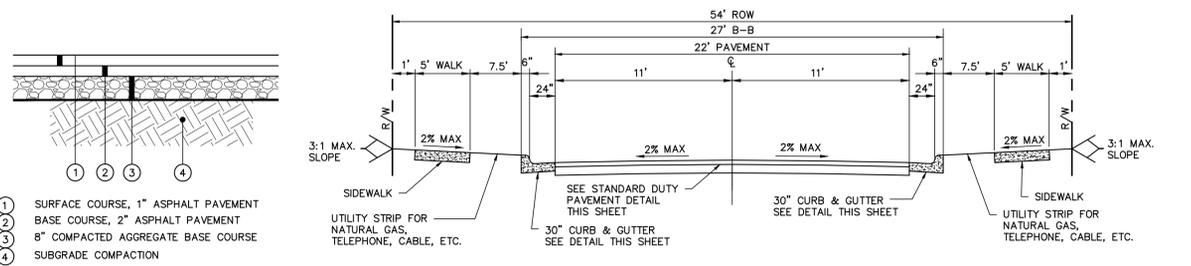
BY ORANGE COUNTY ORDINANCE, ALL HAULERS OF MIXED CONSTRUCTION AND DEMOLITION WASTE THAT INCLUDES ANY REGULATED RECYCLABLE MATERIALS SHALL BE LICENSED BY ORANGE COUNTY.

PRIOR TO ANY DEMOLITION OR CONSTRUCTION ACTIVITY ON THE SITE THE APPLICANT SHALL HOLD A PRE-DEMOLITION/PRE-CONSTRUCTION CONFERENCE WITH THE SOLID WASTE STAFF. THIS MAY BE THE SAME PRE-CONSTRUCTION MEETING HELD WITH OTHER DEVELOPMENT/ENFORCEMENT OFFICIALS.

THE PRESENCE OF ANY ASBESTOS CONTAINING MATERIALS (ACM) AND/OR OTHER HAZARDOUS MATERIALS IN CONSTRUCTION AND DEMOLITION WASTE SHALL BE HANDLED IN ACCORDANCE WITH ANY AND ALL LOCAL, STATE, AND FEDERAL REGULATIONS AND GUIDELINES.



SECTION A-A HOMESTEAD ROAD WIDENING



STANDARD DUTY PAVEMENT SECTION

SECTION B-B STANDARD LOCAL STREET SECTION



09/11/2015

Issue Dates:	06/29/2015 - Initial Submittal
	09/11/2015 - Response to 1st Review Comments
Date:	09/11/2015
Scale:	1" = 80'
Drawn By:	CMR
Checked By:	JDW
Project Number:	14-0001-651
Drawing Number:	4A / 12

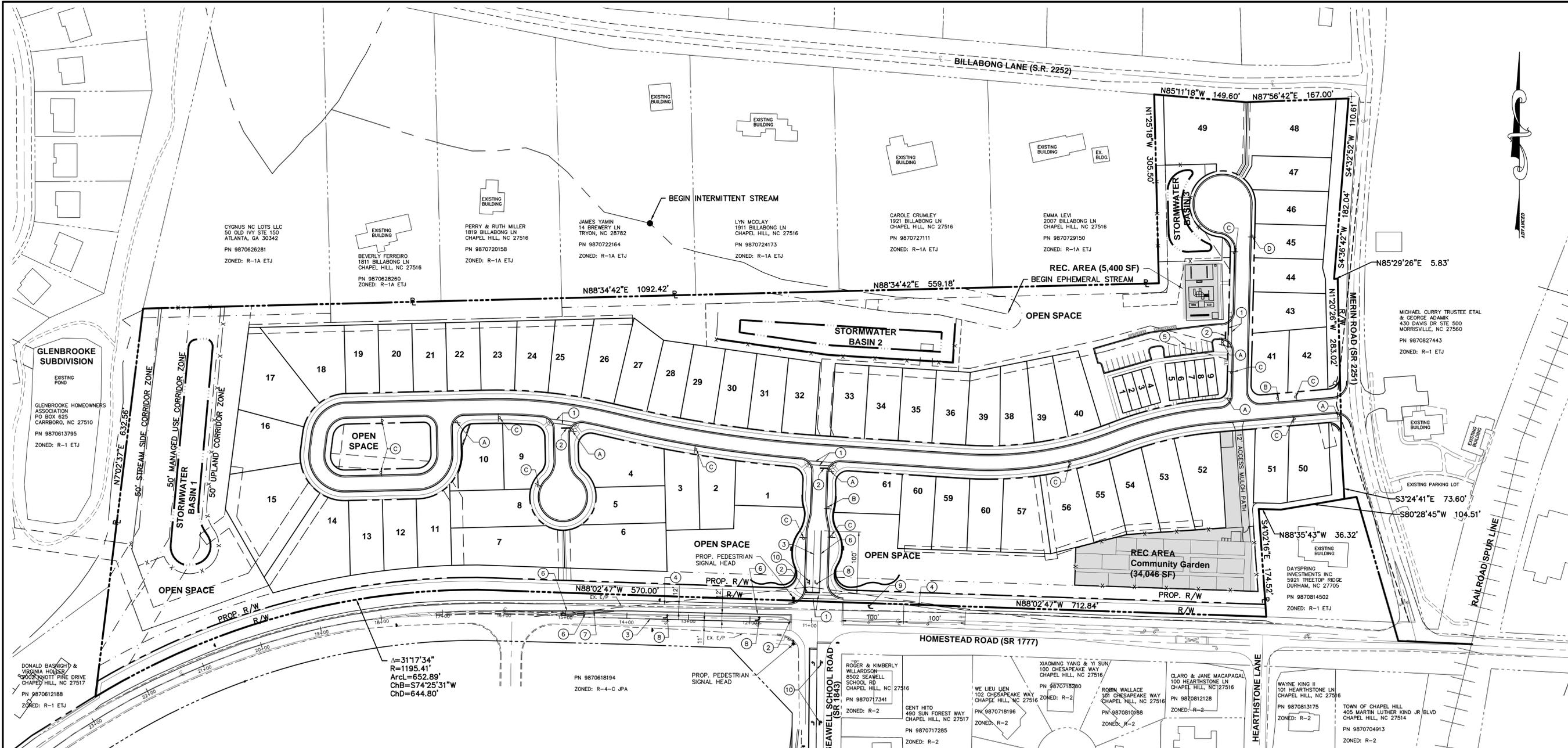
PLAN PREPARED BY:

ADVANCED CIVIL DESIGN
 ENGINEERS SURVEYORS
 51 Kilwayne Drive, Suite 105
 Cary, North Carolina 27511
 ph 919.481.6990
 fax 919.336.5272

PLAN PREPARED FOR:
CAPKOV VENTURES, INC.
 SPECIAL USE PERMIT PLANS
 FOR
CAPKOV VENTURES, INC.
 DETAILED SITE PLAN
 902 E WINNAPPE AVE #9430
 CHAPEL HILL, NC 27514
 PHONE: 919.942.6005

PLAN PREPARED FOR:
MERIN ROAD COMMUNITY
 HOMESTEAD ROAD, CHAPEL HILL, NC - ORANGE COUNTY
 SPECIAL USE PERMIT PLANS
 FOR
CAPKOV VENTURES, INC.
 DETAILED SITE PLAN

O:\14-0001-651NC\DWG\Production Drawings\SPECIAL USE PERMIT\14-0001-651-SUP04B.dwg SIGNAGE & PAVEMENT MARKING PLAN Sep 11, 2015 - 11:28:17am Jroyal

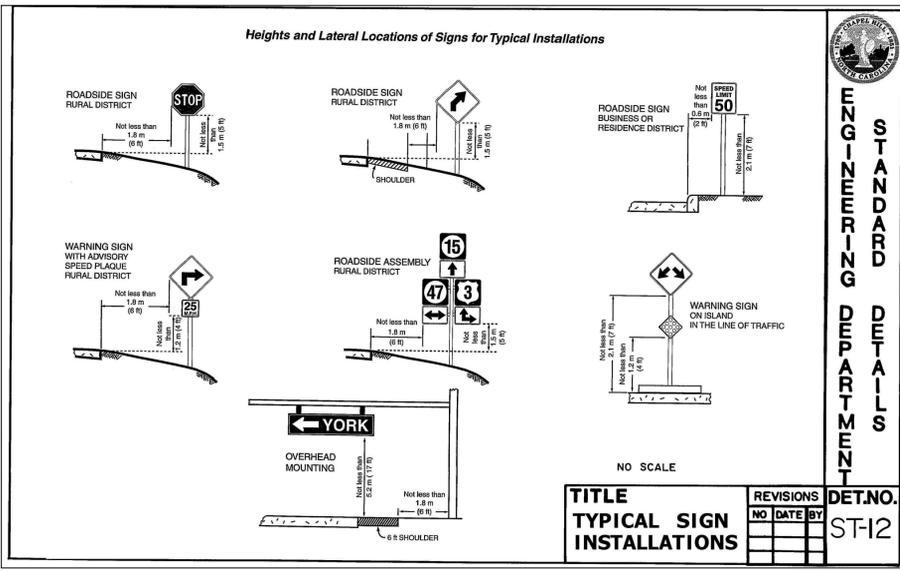
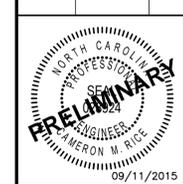


PLAN PREPARED BY:

ADVANCED CIVIL DESIGN
 ENGINEERS SURVEYORS
 51 Kilmorye Drive, Suite 105
 Cary, North Carolina 27511
 PH 919.481.6990
 FAX 919.336.5127

PLAN PREPARED FOR:
CAPKOV VENTURES, INC.
 202 E. WINNIE AVE. #4-30
 CHAPEL HILL, NC 27514
 PHONE: 919.942.6005

HOMESTEAD ROAD, CHAPEL HILL, NC - ORANGE COUNTY
MERIN ROAD COMMUNITY
SPECIAL USE PERMIT PLANS
 FOR
CAPKOV VENTURES, INC.
SIGNAGE & PAVEMENT MARKING PLAN



TOWN OF CHAPEL HILL ST. NAME & TRAFFIC SIGN STANDARDS

STREET NAME SIGNS

- All names will start with a 6" capital letter, followed by lower case letters. The road designations (St., Rd., Cr., etc.) will be in 50% superscript, aligned with the top letter edge.
- The color scheme should be a background of bright green with white high intensity grade letters & boarder (1/2").
- The border is NOT inset.
- The street name sign should include on the left a replication of the Town seal, & on the right a block number.
- The Town seal should be the same color and height as the Street name.
- Block numbers should be the same color as the superscript, 2" in height, & aligned with the bottom of the street name. The number should be centered 3/4" below the road superscript.
- The letter font should be Highway Gothic C Fed Kern RevB.
- All street name signblades must be nine inches in height. The minimum length is 30", maximum is 48". The actual length of the blade will be dictated by the number of letters in the name.
- The street name (including Town seal, block numbers, & superscript) should be at least 4" shorter than the sign blade.
- All street name posts will be round, aluminum or steel, 2 3/8" OD, & at least 10' in length.
- STOP signs - 30" x 30"
- REGULATORY SIGNS - STOP, YIELD, DO NOT ENTER, WRONG WAY, & SPEED LIMIT signs should be fabricated with High Intensity reflective material.

ALL OTHER SIGNS

- STOP signs - 30" x 30"
- REGULATORY SIGNS - STOP, YIELD, DO NOT ENTER, WRONG WAY, & SPEED LIMIT signs should be fabricated with High Intensity reflective material.
- All other signs shall be made from Engineer Grade material.
- All other signs should be 7' from the ground to the bottom of the sign, unless more than one sign is on a post.
- Installed signs should be minimum of 2' from sign edge to the road edge.
- All other sign posts should be channel posts made of galvanized steel, 8 posts 2lbs/ft, 12 posts 3lbs/ft.
- All signs are required to be designed in accordance with the MUTCD standards.

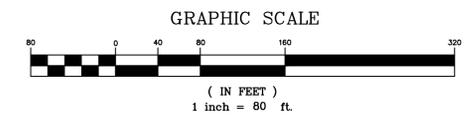
TITLE	REVISIONS	DET. NO.
STREET NAME & TRAFFIC SIGN STANDARDS	02/08 ER	ST - 15

SIGNAGE & STRIPING LEGEND

- 8" WHITE CROSSWALK LINES
- 24" WHITE STOP BAR LINES
- 4" WHITE CHANNELIZING LINE
- 4" WHITE EDGE LINE
- 4" WHITE PARKING STALL LINE
- 4" DOUBLE YELLOW CENTERLINE
- 8" YELLOW TRANSVERSE LINE
- 96" LEFT TURN ARROW
- 96" RIGHT TURN ARROW
- 153" RIGHT TURN & THROUGH LANE ARROW

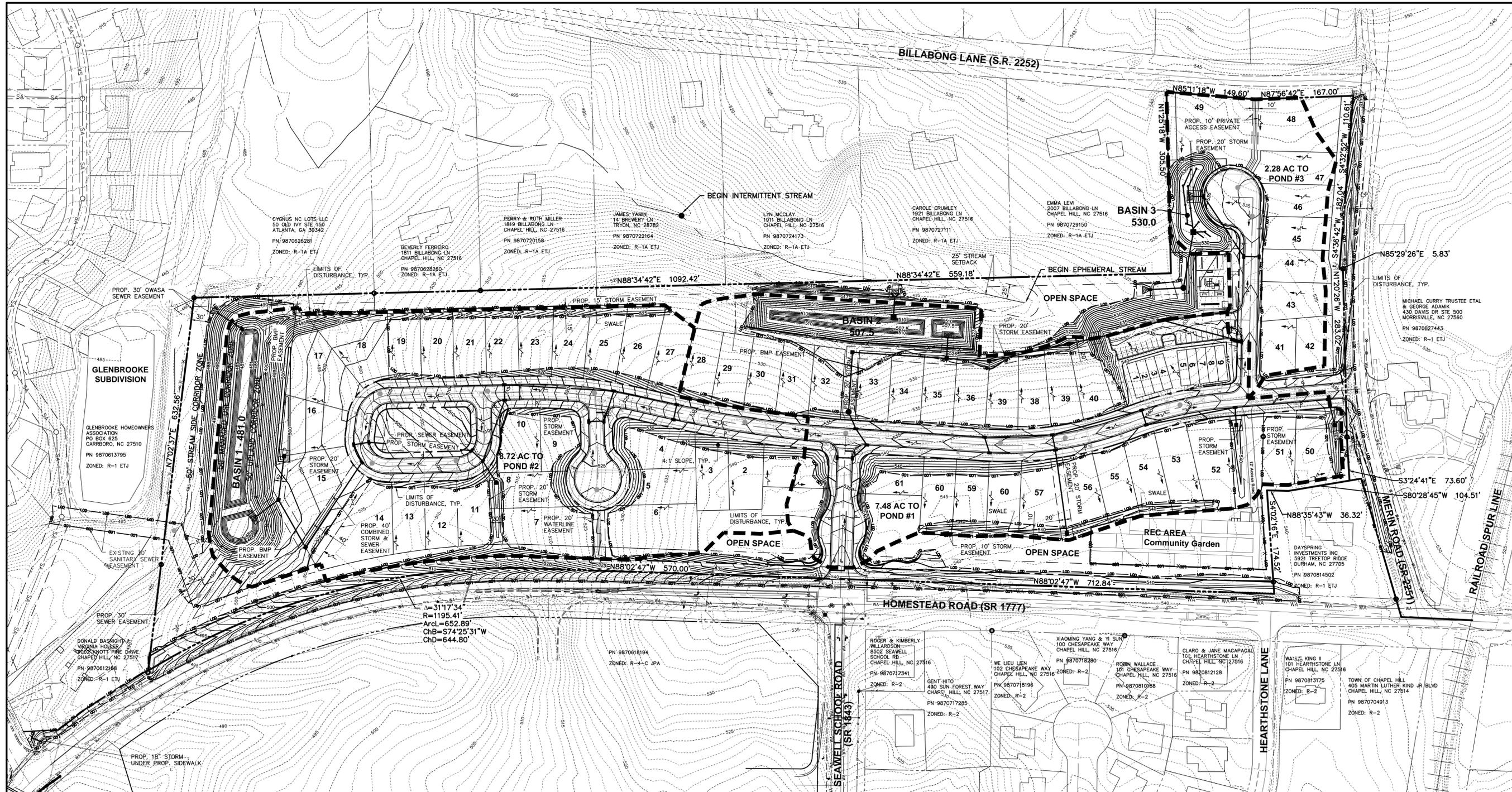
GENERAL NOTES

- SIGNS SHOULD BE LABELED PER PART 2 OF THE 2009 MUTCD MANUAL. SIGN POSTS AND MOUNTING HEIGHTS SHALL BE PER PART 2 OF THE 2009 MUTCD MANUAL.
- STRIPING SHALL BE INSTALLED PER PART 3 OF THE 2009 MUTCD MANUAL.



Issue Dates:
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 Scale: 1" = 80'
 Drawn By: CMR
 Checked By: JDW
 Project Number:
14-0001-651
 Drawing Number:
4B / 12

C:\14-0001-651NC\DWG\Production Drawings\SPECIAL USE PERMIT\14-0001-651-SUP05.dwg OVERALL STORMWATER MANAGEMENT PLAN Sep 11, 2015 11:29:42am Jroyal



GENERAL NOTES:

TO MINIMIZE DAMAGE TO EXISTING TREES NEAR THE EXTERIOR EDGE OF THE SITE ADJACENT TO TREE CONSERVATION AREAS, THE CONTRACTOR SHALL CUT MINIMUM 2' TRENCHES ALONG THE LIMITS OF DISTURBANCE, SO AS TO CUT RATHER THAN TEAR ROOTS.

THE TREE PROTECTION FENCE SHALL BE MAINTAINED ON THE SITE UNTIL ALL SITE WORK IS COMPLETED AND THE FINAL SITE INSPECTION PRIOR TO THE CERTIFICATE OF OCCUPANCY (CO) IS SCHEDULED. THE FENCING SHALL BE REMOVED PRIOR TO FINAL SITE INSPECTION FOR THE CO.

PERMANENT GROUND COVER WILL BE ESTABLISHED IN 7 TO 14 WORKING DAYS PER NPDES REQUIREMENTS. REFER TO APPROVED SEDIMENT AND EROSION CONTROL PLANS.

CUT/FILL SLOPES SHALL BE STABILIZED WITHIN 14 DAYS OF ANY PHASE OF GRADING.

A PRE-CONSTRUCTION CONFERENCE WILL BE REQUIRED PRIOR TO THE GRADING PERMIT BEING ISSUED.

STREETS ADJACENT TO THIS PROJECT TO BE KEPT CLEAN AT ALL TIMES OR A WASH STATION WILL BE REQUIRED.

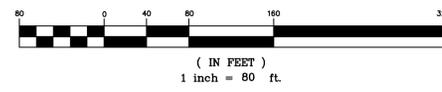
LOTS 41-46 TO BE GRADED DURING BUILDING CONSTRUCTION TO DRAIN TO PROPOSED CUL-DE-SAC STREET.

THE DEVELOPER SHALL PROVIDE AN EROSION CONTROL BOND PRIOR TO OBTAINING A ZONING COMPLIANCE PERMIT.

LEGEND

- 916--- EXISTING CONTOUR - 1'
- 915--- EXISTING CONTOUR - 5'
- ST--- EXISTING STORM SEWER
- SA--- EXISTING SANITARY SEWER
- WA--- EXISTING WATER LINE
- 916--- PROPOSED CONTOUR - 1'
- 915--- PROPOSED CONTOUR - 5'
- P--- PROPOSED STORM SEWER
- S--- PROPOSED SANITARY
- W--- PROPOSED WATER LINE
- LOD--- LIMITS OF DISTURBANCE
- D--- DRAINAGE BOUNDARY TO POND
- SFA--- SURFACE FLOW ARROW

GRAPHIC SCALE



PLAN PREPARED FOR:
 HOMESTEAD ROAD, CHAPEL HILL, NC - ORANGE COUNTY

PLAN PREPARED BY:
 51 Kilmegone Drive, Suite 105
 Cary, North Carolina 27511
 ph 919.481.6990
 fax 919.336.5127
ADVANCED
 CIVIL DESIGN
 ENGINEERS SURVEYORS

SPECIAL USE PERMIT PLANS
 FOR
 CAPKOV VENTURES, INC.

OVERALL STORMWATER MANAGEMENT PLAN

PROJECT NUMBER:
14-0001-651

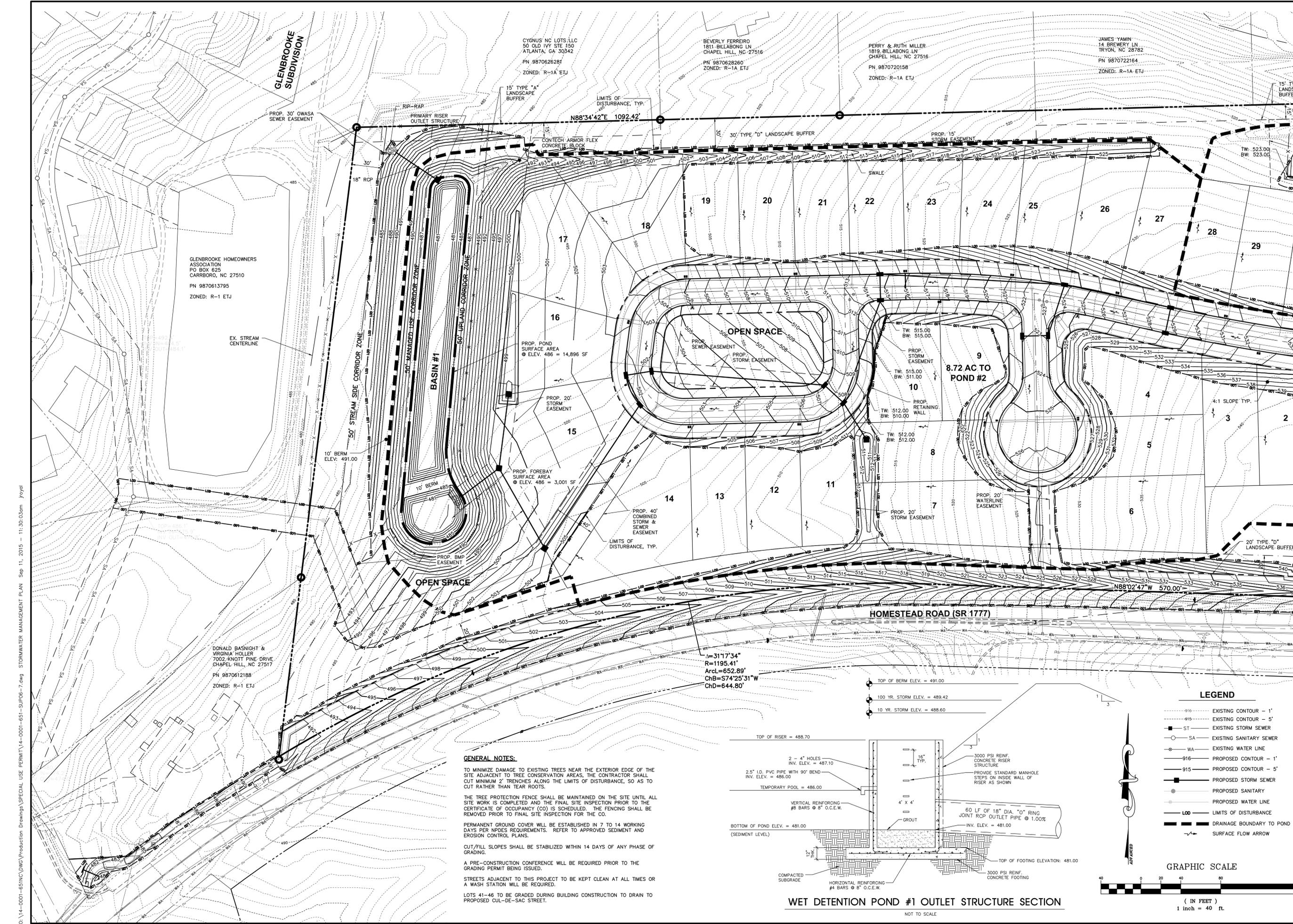
DRAWING NUMBER:
5 / 12

DATE: 09/11/2015
 SCALE: 1"=80'

DRAWN BY: CMR
 CHECKED BY: JDW

ISSUE DATES:
 06/29/2015 - Initial Submittal
 09/11/2015 - Response to 1st Review Comments

TOWN OF CHAPEL HILL
 405 MARTIN LUTHER KING JR BLVD
 CHAPEL HILL, NC 27514
 PN 9870704913
 ZONED: R-2



GLENBROOKE HOMEOWNERS ASSOCIATION
PO BOX 625
CARRBORO, NC 27510
PN 9870613795
ZONED: R-1 ETJ

DONALD BASNIGHT & VIRGINIA HOLLER
7002 KNOTT PINE DRIVE
CHAPEL HILL, NC 27517
PN 9870612188
ZONED: R-1 ETJ

CYGNUS NC LOTS, LLC
50 OLD IVY SITE 150
ATLANTA, GA 30342
PN 9870626281
ZONED: R-1A ETJ

BEVERLY FERREIRO
1811 BILLABONG LN
CHAPEL HILL, NC 27516
PN 9870628260
ZONED: R-1A ETJ

PERRY & RUTH MILLER
1819 BILLABONG LN
CHAPEL HILL, NC 27516
PN 9870720158
ZONED: R-1A ETJ

JAMES YAMIN
14 BREWERY LN
TRYON, NC 28782
PN 9870722164
ZONED: R-1A ETJ

GENERAL NOTES:

TO MINIMIZE DAMAGE TO EXISTING TREES NEAR THE EXTERIOR EDGE OF THE SITE ADJACENT TO TREE CONSERVATION AREAS, THE CONTRACTOR SHALL CUT MINIMUM 2' TRENCHES ALONG THE LIMITS OF DISTURBANCE, SO AS TO CUT RATHER THAN TEAR ROOTS.

THE TREE PROTECTION FENCE SHALL BE MAINTAINED ON THE SITE UNTIL ALL SITE WORK IS COMPLETED AND THE FINAL SITE INSPECTION PRIOR TO THE CERTIFICATE OF OCCUPANCY (CO) IS SCHEDULED. THE FENCING SHALL BE REMOVED PRIOR TO FINAL SITE INSPECTION FOR THE CO.

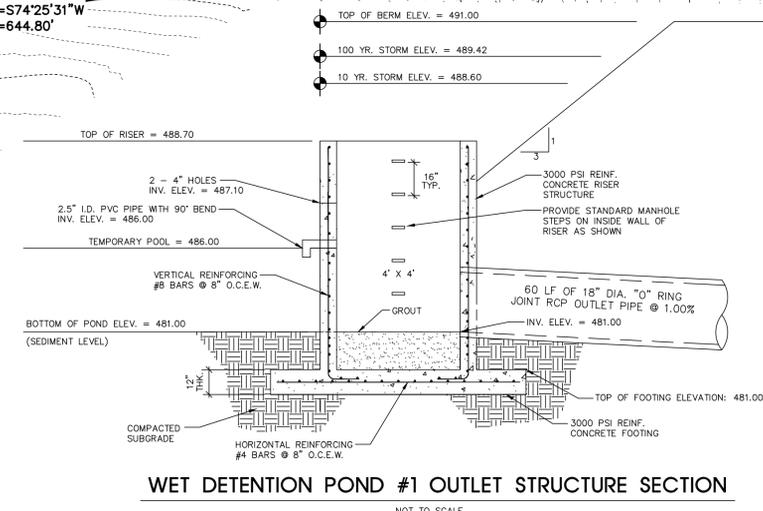
PERMANENT GROUND COVER WILL BE ESTABLISHED IN 7 TO 14 WORKING DAYS PER NPDES REQUIREMENTS. REFER TO APPROVED SEDIMENT AND EROSION CONTROL PLANS.

CUT/FILL SLOPES SHALL BE STABILIZED WITHIN 14 DAYS OF ANY PHASE OF GRADING.

A PRE-CONSTRUCTION CONFERENCE WILL BE REQUIRED PRIOR TO THE GRADING PERMIT BEING ISSUED.

STREETS ADJACENT TO THIS PROJECT TO BE KEPT CLEAN AT ALL TIMES OR A WASH STATION WILL BE REQUIRED.

LOTS 41-46 TO BE GRADED DURING BUILDING CONSTRUCTION TO DRAIN TO PROPOSED CUL-DE-SAC STREET.



LEGEND

- - - 916 - - - EXISTING CONTOUR - 1'
- - - 915 - - - EXISTING CONTOUR - 5'
- - - ST - - - EXISTING STORM SEWER
- - - SA - - - EXISTING SANITARY SEWER
- - - WA - - - EXISTING WATER LINE
- - - 916 - - - PROPOSED CONTOUR - 1'
- - - 915 - - - PROPOSED CONTOUR - 5'
- - - - - - - PROPOSED STORM SEWER
- - - - - - - PROPOSED SANITARY
- - - - - - - PROPOSED WATER LINE
- - - LOD - - - LIMITS OF DISTURBANCE
- - - - - - - DRAINAGE BOUNDARY TO POND
- - - - - - - SURFACE FLOW ARROW

GRAPHIC SCALE
(IN FEET)
1 inch = 40 ft.

PLAN PREPARED BY: ADVANCED CIVIL DESIGN ENGINEERS SURVEYORS
51 Kilmorye Drive, Suite 105
Cary, North Carolina 27511
PH 919.481.6990
FAX 919.336.5127

PLAN PREPARED FOR: CAPKOV VENTURES, INC.
202 E WINNABEE AVE #430
CHAPEL HILL, NC 27516
PHONE: 919.942.8005

PROJECT: MERIN ROAD COMMUNITY SPECIAL USE PERMIT PLANS FOR CAPKOV VENTURES, INC. STORMWATER MANAGEMENT PLAN

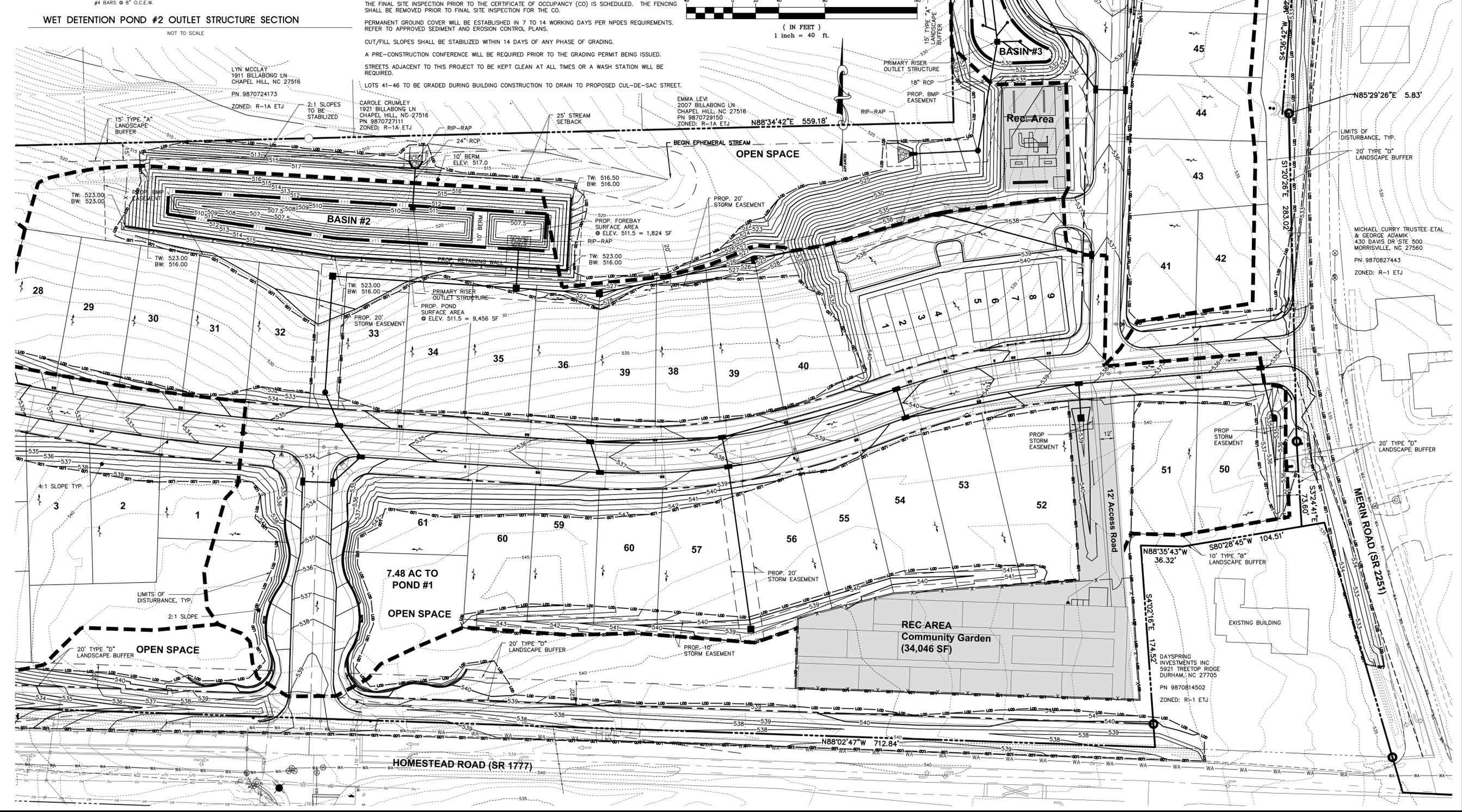
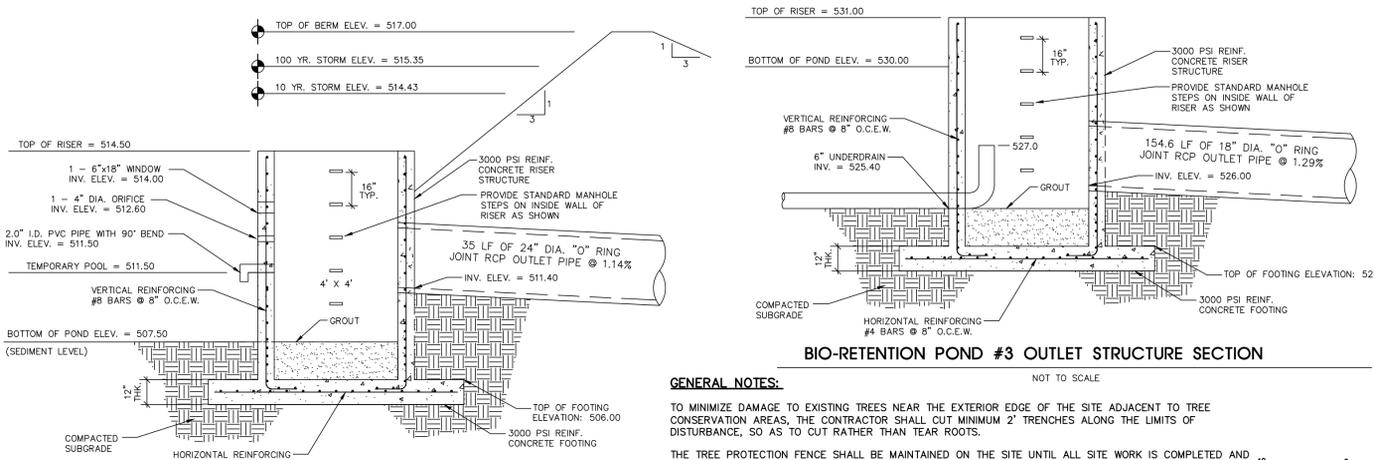
ISSUE DATES:
06/29/2015 - Initial Submittal
09/11/2015 - Response to 1st Review Comments

DATE: 09/11/2015
SCALE: 1"=40'

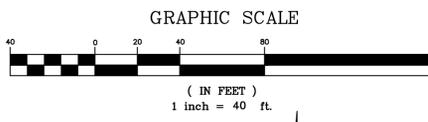
DRAWN BY: CMR
CHECKED BY: JDW

PROJECT NUMBER: 14-0001-651
DRAWING NUMBER: 6 / 12

C:\V4-0001-651NC\DWG\Production Drawings\SPECIAL USE PERMIT\4-0001-651-SUP06-7.dwg STORMWATER MANAGEMENT PLAN 2 Sep 11, 2015 11:30:11am Poyal



- LEGEND**
- - - - - 916 EXISTING CONTOUR - 1'
 - - - - - 915 EXISTING CONTOUR - 5'
 - - - - - 5A EXISTING STORM SEWER
 - - - - - 5B EXISTING SANITARY SEWER
 - - - - - WA EXISTING WATER LINE
 - - - - - 916 PROPOSED CONTOUR - 1'
 - - - - - 915 PROPOSED CONTOUR - 5'
 - - - - - PROPOSED STORM SEWER
 - - - - - PROPOSED SANITARY
 - - - - - PROPOSED WATER LINE
 - - - - - L00 LIMITS OF DISTURBANCE
 - - - - - DRAINAGE BOUNDARY TO POND
 - - - - - SURFACE FLOW ARROW



GENERAL NOTES:

TO MINIMIZE DAMAGE TO EXISTING TREES NEAR THE EXTERIOR EDGE OF THE SITE ADJACENT TO TREE CONSERVATION AREAS, THE CONTRACTOR SHALL CUT MINIMUM 2' TRENCHES ALONG THE LIMITS OF DISTURBANCE, SO AS TO CUT RATHER THAN TEAR ROOTS.

THE TREE PROTECTION FENCE SHALL BE MAINTAINED ON THE SITE UNTIL ALL SITE WORK IS COMPLETED AND THE FINAL SITE INSPECTION PRIOR TO THE CERTIFICATE OF OCCUPANCY (CO) IS SCHEDULED. THE FENCING SHALL BE REMOVED PRIOR TO FINAL SITE INSPECTION FOR THE CO.

PERMANENT GROUND COVER WILL BE ESTABLISHED IN 7 TO 14 WORKING DAYS PER NPDES REQUIREMENTS. REFER TO APPROVED SEDIMENT AND EROSION CONTROL PLANS.

CUT/FILL SLOPES SHALL BE STABILIZED WITHIN 14 DAYS OF ANY PHASE OF GRADING.

A PRE-CONSTRUCTION CONFERENCE WILL BE REQUIRED PRIOR TO THE GRADING PERMIT BEING ISSUED.

STREETS ADJACENT TO THIS PROJECT TO BE KEPT CLEAN AT ALL TIMES OR A WASH STATION WILL BE REQUIRED.

LOTS 41-46 TO BE GRADED DURING BUILDING CONSTRUCTION TO DRAIN TO PROPOSED CUL-DE-SAC STREET.

PLAN PREPARED BY: ADVANCED CIVIL DESIGN ENGINEERS SURVEYORS
51 Kilmorye Drive, Suite 105
Cary, North Carolina 27511
PH 919.481.6990
FAX 919.336.5127

PLAN PREPARED FOR: CAPKOV VENTURES, INC.
202 E WINNABEE AVE
CHAPEL HILL, NC 27514-9430
PHONE: 919.942.8005

PROJECT: MERIN ROAD COMMUNITY SPECIAL USE PERMIT PLANS FOR CAPKOV VENTURES, INC. STORMWATER MANAGEMENT PLAN

ISSUE DATES:
06/29/2015 - Initial Submittal
09/11/2015 - Response to 1st Review Comments

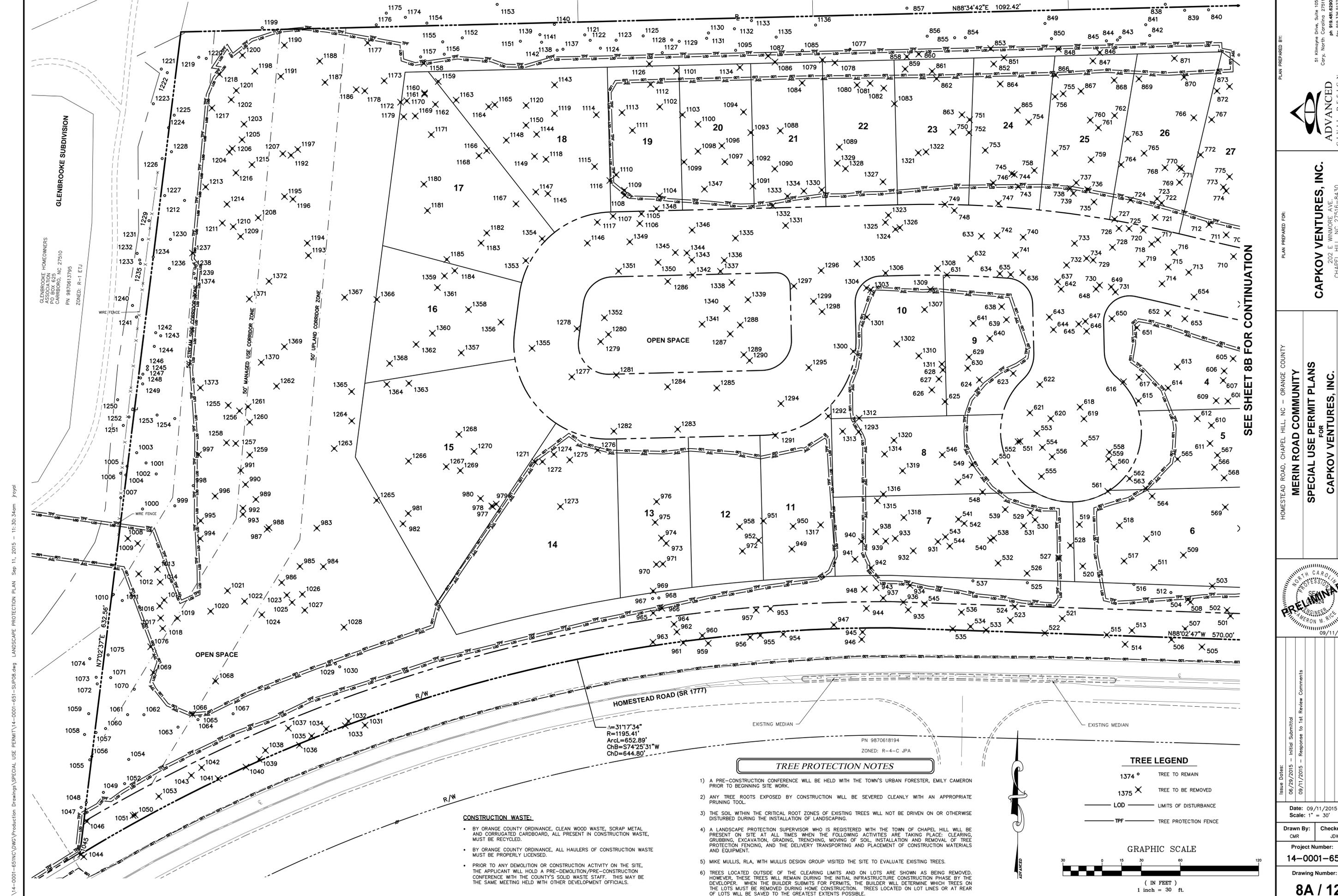
DATE: 09/11/2015
SCALE: 1"=40'

DRAWN BY: CMR
CHECKED BY: JDW

PROJECT NUMBER:
14-0001-651

DRAWING NUMBER:
7 / 12

PROFESSIONAL SEAL: MICHAEL CURRY TRUSTEE ET AL & GEORGE ADAMK
430 DAVIS DR. SITE 500
MORRISVILLE, NC 27560
PH 9870827443
ZONED: R-1 ETJ



O:\14-0001-651NC\Production Drawings\Special Use Permits\4-0001-651-SUP08.dwg LANDSCAPE PROTECTION PLAN Sep 11, 2015 - 11:30:34am Jroyal
 GLENBROOKE HOMEOWNERS
 PO BOX 110
 CARRBORO, NC 27510
 PN 9870613795
 ZONED: R-1 ETJ
 WIRE FENCE
 50' STREAM SHIELD CORRIDOR ZONE
 50' MANAGED USE CORRIDOR ZONE
 50' UP-LAND CORRIDOR ZONE

$\Delta = 31^{\circ}17'34''$
 $R = 1195.41'$
 $Arcl = 652.89'$
 $ChB = S74^{\circ}25'31''W$
 $ChD = 644.80'$

PN 9870618194
 ZONED: R-4-C JPA

TREE PROTECTION NOTES

- 1) A PRE-CONSTRUCTION CONFERENCE WILL BE HELD WITH THE TOWN'S URBAN FORESTER, EMILY CAMERON PRIOR TO BEGINNING SITE WORK.
- 2) ANY TREE ROOTS EXPOSED BY CONSTRUCTION WILL BE SEVERED CLEANLY WITH AN APPROPRIATE PRUNING TOOL.
- 3) THE SOIL WITHIN THE CRITICAL ROOT ZONES OF EXISTING TREES WILL NOT BE DRIVEN ON OR OTHERWISE DISTURBED DURING THE INSTALLATION OF LANDSCAPING.
- 4) A LANDSCAPE PROTECTION SUPERVISOR WHO IS REGISTERED WITH THE TOWN OF CHAPEL HILL WILL BE PRESENT ON SITE AT ALL TIMES WHEN THE FOLLOWING ACTIVITIES ARE TAKING PLACE: CLEARING, GRUBBING, EXCAVATION, GRADING, TRENCHING, MOVING OF SOIL, INSTALLATION AND REMOVAL OF TREE PROTECTION FENCING, AND THE DELIVERY TRANSPORTING AND PLACEMENT OF CONSTRUCTION MATERIALS AND EQUIPMENT.
- 5) MIKE MULLIS, RLA, WITH MULLIS DESIGN GROUP VISITED THE SITE TO EVALUATE EXISTING TREES.
- 6) TREES LOCATED OUTSIDE OF THE CLEARING LIMITS AND ON LOTS ARE SHOWN AS BEING REMOVED. HOWEVER, THESE TREES WILL REMAIN DURING THE INITIAL INFRASTRUCTURE CONSTRUCTION PHASE BY THE DEVELOPER WHEN THE BUILDER SUBMITS FOR PERMITS. THE BUILDER WILL DETERMINE WHICH TREES ON THE LOTS MUST BE REMOVED DURING HOME CONSTRUCTION. TREES LOCATED ON LOT LINES OR AT REAR OF LOTS WILL BE SAVED TO THE GREATEST EXTENTS POSSIBLE.

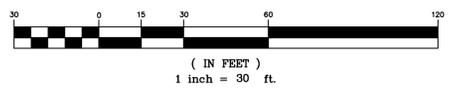
CONSTRUCTION WASTE:

- BY ORANGE COUNTY ORDINANCE, CLEAN WOOD WASTE, SCRAP METAL AND CORRUGATED CARDBOARD, ALL PRESENT IN CONSTRUCTION WASTE, MUST BE RECYCLED.
- BY ORANGE COUNTY ORDINANCE, ALL HAULERS OF CONSTRUCTION WASTE MUST BE PROPERLY LICENSED.
- PRIOR TO ANY DEMOLITION OR CONSTRUCTION ACTIVITY ON THE SITE, THE APPLICANT WILL HOLD A PRE-DEMOLITION/PRE-CONSTRUCTION CONFERENCE WITH THE COUNTY'S SOLID WASTE STAFF. THIS MAY BE THE SAME MEETING HELD WITH OTHER DEVELOPMENT OFFICIALS.

TREE LEGEND

- 1374 ° TREE TO REMAIN
- 1375 X TREE TO BE REMOVED
- LOD LIMITS OF DISTURBANCE
- TPF TREE PROTECTION FENCE

GRAPHIC SCALE



SEE SHEET 8B FOR CONTINUATION

PLAN PREPARED BY:

ADVANCED CIVIL DESIGN ENGINEERS, INC.
 51 Kilmorye Drive, Suite 105
 Cary, North Carolina 27511
 ph 919.481.6990
 fax 919.336.5127

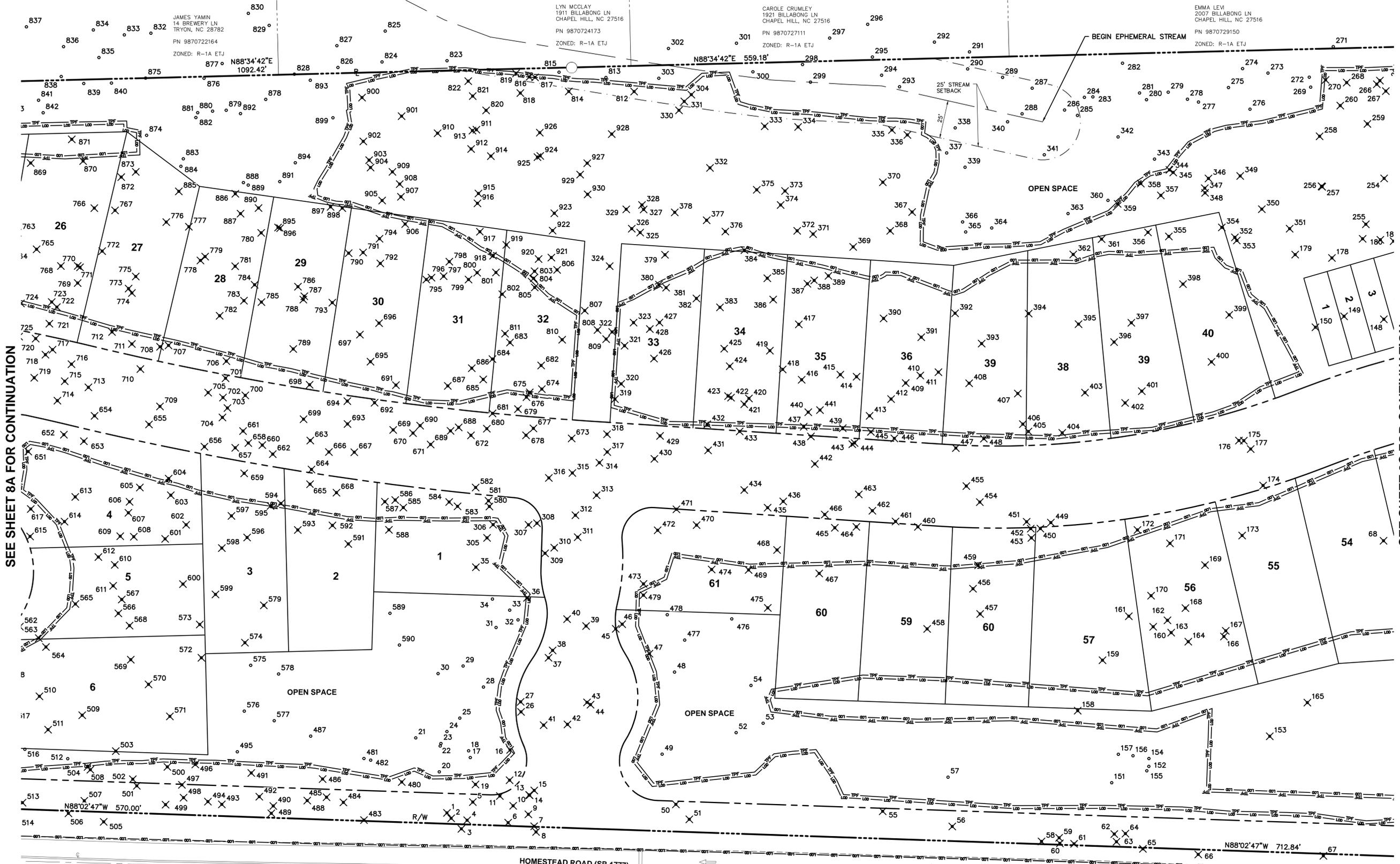
PLAN PREPARED FOR:
CAPKOV VENTURES, INC.
 202 E WINNORSE AVE. #4-30
 CHAPEL HILL, NC 27514
 PHONE: 919.942.8005

PROJECT LOCATION:
 HOMESTEAD ROAD, CHAPEL HILL, NC - ORANGE COUNTY
SPECIAL USE PERMIT PLANS
 FOR
CAPKOV VENTURES, INC.
LANDSCAPE PROTECTION PLAN

CAMERON M. RICE
 09/11/2015

Issue Dates:
 06/29/2015 - Initial Submittal
 09/11/2015 - Response to 1st Review Comments
 Date: 09/11/2015
 Scale: 1" = 30'
 Drawn By: CMR
 Checked By: JDW
 Project Number:
14-0001-651
 Drawing Number:
8A / 12

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SEE SHEET 8A FOR CONTINUATION

SEE SHEET 8C FOR CONTINUATION

TREE PROTECTION NOTES

- 1) A PRE-CONSTRUCTION CONFERENCE WILL BE HELD WITH THE TOWN'S URBAN FORESTER, EMILY CAMERON PRIOR TO BEGINNING SITE WORK.
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- 3) THE SOIL WITHIN THE CRITICAL ROOT ZONES OF EXISTING TREES WILL NOT BE DRIVEN ON OR OTHERWISE DISTURBED DURING THE INSTALLATION OF LANDSCAPING.
- 4) A LANDSCAPE PROTECTION SUPERVISOR WHO IS REGISTERED WITH THE TOWN OF CHAPEL HILL WILL BE PRESENT ON SITE AT ALL TIMES WHEN THE FOLLOWING ACTIVITIES ARE TAKING PLACE: CLEARING, GRUBBING, EXCAVATION, GRADING, TRENCHING, MOVING OF SOIL, INSTALLATION AND REMOVAL OF TREE PROTECTION FENCING, AND THE DELIVERY TRANSPORTING AND PLACEMENT OF CONSTRUCTION MATERIALS AND EQUIPMENT.
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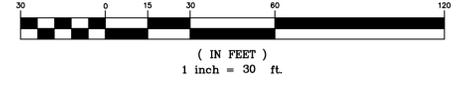
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TREE LEGEND

- 1374 ° TREE TO REMAIN
- 1375 X TREE TO BE REMOVED
- LOD LIMITS OF DISTURBANCE
- TPF TREE PROTECTION FENCE

GRAPHIC SCALE



PLAN PREPARED BY:

ADVANCED CIVIL DESIGN ENGINEERS, INC.

51 Kilmorye Drive, Suite 105
Chapel Hill, NC 27514
PH: 919.461.6990
FAX: 919.336.5127

PLAN PREPARED FOR:

CAPKOV VENTURES, INC.

202 E WINNEMORE AVE. #4-30
CHAPEL HILL, NC 27514
PHONE: 919.942.8005

HOMESTEAD ROAD, CHAPEL HILL, NC - ORANGE COUNTY

SPECIAL USE PERMIT PLANS FOR

CAPKOV VENTURES, INC.

LANDSCAPE PROTECTION PLAN

PRELIMINARY

09/11/2015

Issue Dates:

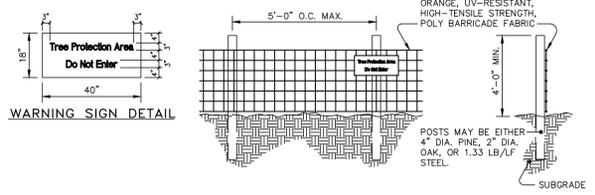
- 06/29/2015 - Initial Submittal
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Date: 09/11/2015
Scale: 1" = 30'

Drawn By: CMR
Checked By: JDW

Project Number:
14-0001-651

Drawing Number:
8B / 12



- NOTES:**
- WARNING SIGNS TO BE MADE OF DURABLE, WEATHERPROOF MATERIAL.
 - LETTERS TO BE 3" HIGH MINIMUM, CLEARLY LEGIBLE AND SPACED AS DETAILED.
 - SIGNS SHALL BE PLACED AT 50' MAXIMUM INTERVALS.
 - PLACE A SIGN AT EACH END OF LINEAR TREE PROTECTION AND 50' ON CENTER THEREAFTER.
 - FOR TREE PROTECTION AREAS LESS THAN 200' IN PERIMETER, PROVIDE NO LESS THAN ONE SIGN PER PROTECTION AREA.
 - ATTACH SIGNS SECURELY TO FENCE POSTS AND FABRIC.
 - MAINTAIN TREE PROTECTION FENCE THROUGHOUT DURATION OF PROJECT. ADDITIONAL SIGNS MAY BE REQUIRED BY THE TOWN OF CHAPEL HILL INSPECTIONS DEPARTMENT BASED ON ACTUAL FIELD CONDITIONS.

- MAINTENANCE:**
- INSPECT SEDIMENT FENCES AT LEAST ONCE A WEEK AND AFTER EACH RAINFALL. MAKE ANY REQUIRED REPAIRS IMMEDIATELY.
 - SHOULD THE FABRIC OF A SEDIMENT FENCE COLLAPSE, TEAR, DECOMPOSE OR BECOME INEFFECTIVE, REPLACE IT PROMPTLY.
 - REMOVE SEDIMENT DEPOSITS AS NECESSARY TO PROVIDE ADEQUATE STORAGE VOLUME FOR THE NEXT RAIN AND TO REDUCE PRESSURE ON THE FENCE. TAKE CARE TO AVOID UNDERMINING THE FENCE DURING CLEANOUT.
 - REMOVE ALL FENCING MATERIALS AND UNSTABLE SEDIMENT DEPOSITS AND BRING THE AREA TO GRADE AND STABILIZE IT AFTER THE CONTRIBUTING DRAINAGE AREA HAS BEEN PROPERLY STABILIZED.

TREE PROTECTION FENCE
NOT TO SCALE

TREE PROTECTION NOTES

- 1) A PRE-CONSTRUCTION CONFERENCE WILL BE HELD WITH THE TOWN'S URBAN FORESTER, EMILY CAMERON PRIOR TO BEGINNING SITE WORK.
- 2) ANY TREE ROOTS EXPOSED BY CONSTRUCTION WILL BE SEVERED CLEANLY WITH AN APPROPRIATE PRUNING TOOL.
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CONSTRUCTION WASTE:

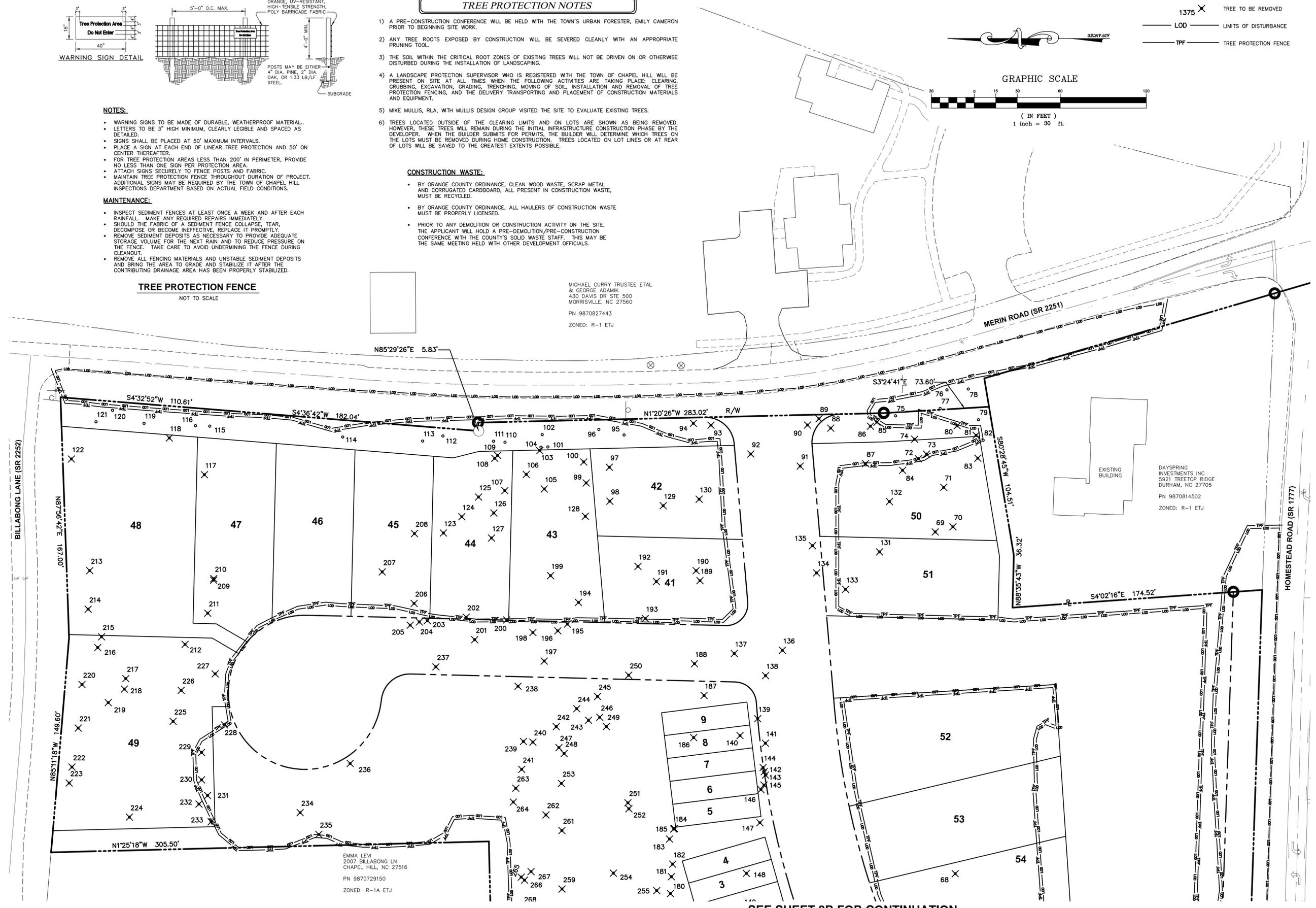
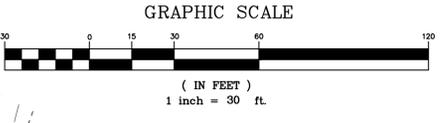
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MICHAEL CURRY TRUSTEE ETAL
& GEORGE ADAMIK
430 DAVIS DR STE 500
MORRISVILLE, NC 27560
PN 9870827443
ZONED: R-1 ETJ

EMMA LEVI
2007 BILLABONG LN
CHAPEL HILL, NC 27516
PN 9870729150
ZONED: R-1A ETJ

TREE LEGEND

- 1374 ° TREE TO REMAIN
- 1375 X TREE TO BE REMOVED
- LOD LIMITS OF DISTURBANCE
- TPF TREE PROTECTION FENCE



SEE SHEET 8B FOR CONTINUATION

PLAN PREPARED BY:

ADVANCED CIVIL DESIGN
 ENGINEERS SURVEYORS
 51 Kilmorye Drive, Suite 105
 Cary, North Carolina 27511
 ph 919.461.6990
 fax 919.336.5127

PLAN PREPARED FOR:
CAPKOV VENTURES, INC.
 202 E WINNIXIE AVE. #4-30
 CHAPEL HILL, NC 27514
 PHONE: 919.942.8005

HOMESTEAD ROAD, CHAPEL HILL, NC - ORANGE COUNTY
MERIN ROAD COMMUNITY
SPECIAL USE PERMIT PLANS
 FOR
CAPKOV VENTURES, INC.
LANDSCAPE PROTECTION PLAN

Issue Dates:	06/29/2015 - Initial Submittal
	09/11/2015 - Response to 1st Review Comments

Date:	09/11/2015
Scale:	1" = 30'
Drawn By:	CMR
Checked By:	JDW
Project Number:	14-0001-651
Drawing Number:	8C / 12

Table with 2 columns: Point #, Raw Description. Contains 90 rows of tree specifications.

Table with 2 columns: Point #, Raw Description. Contains 90 rows of tree specifications.

Table with 2 columns: Point #, Raw Description. Contains 90 rows of tree specifications.

Table with 2 columns: Point #, Raw Description. Contains 90 rows of tree specifications.

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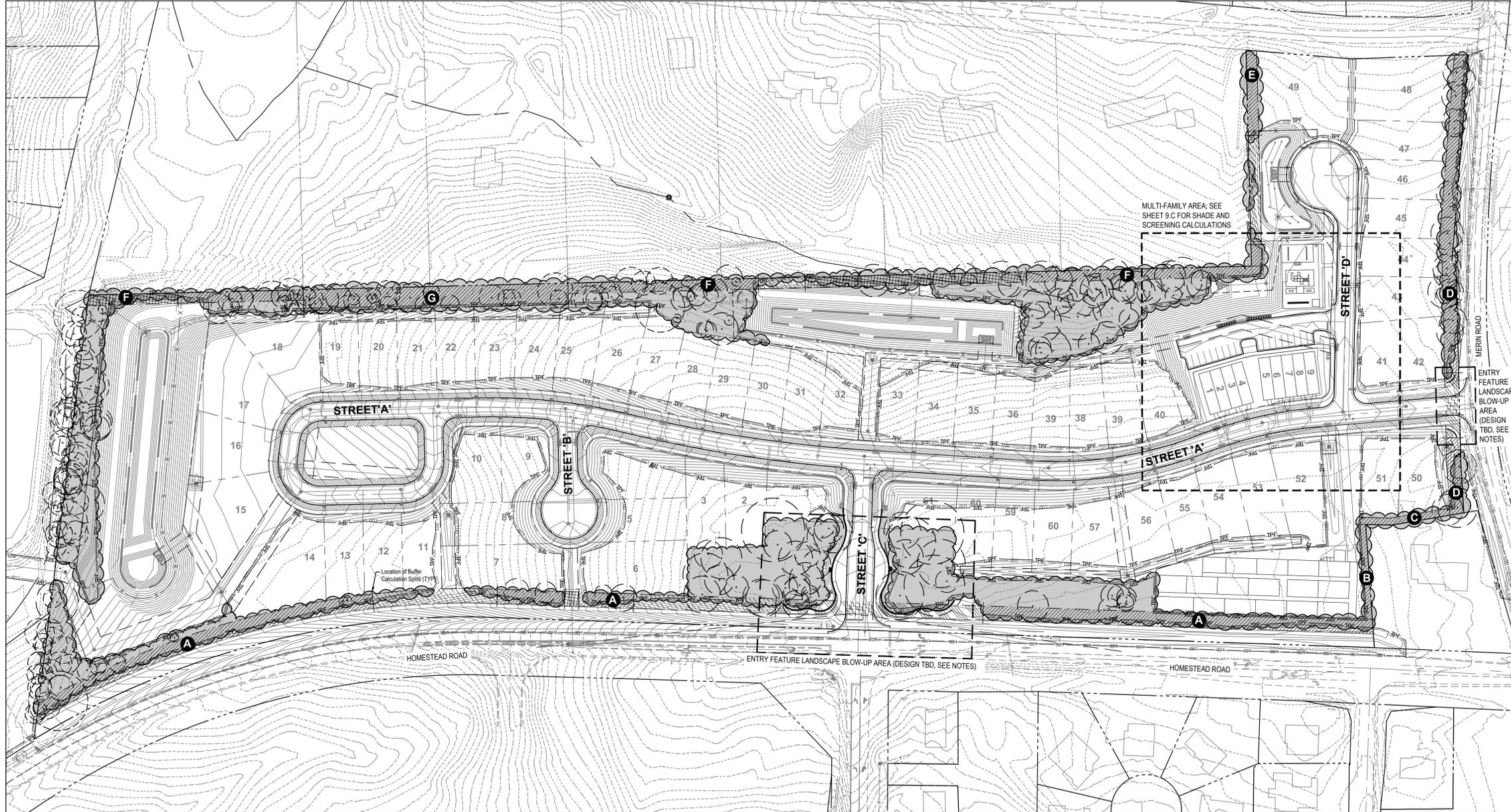
Project information including Date: 09/11/2015, Drawn By: CMR, Checked By: JDW, Project Number: 14-0001-651, Drawing Number: 8D / 12.

Logo for CAPKOV VENTURES, INC. CIVIL DESIGN ENGINEERS SURVEYORS. Address: 202 E WINNIFORD AVE., CHAPEL HILL, NC 27514. Phone: 919-942-5005.

Project title: SPECIAL USE PERMIT PLANS FOR MERIN ROAD COMMUNITY LANDSCAPE PROTECTION PLAN. Location: HOMESTEAD ROAD, CHAPEL HILL, NC - ORANGE COUNTY.

Professional Engineer Seal for M. RICE, No. 10000, State of North Carolina. Issue Date: 09/11/2015. Includes 'PRELIMINARY' stamp.

Perimeter Buffer, Street Tree, and Improved Landscape Area Locations



TREE CANOPY COVERAGE CALCULATIONS:

Tree Canopy coverage required:	30%
Net Land Area:	24.706 Ac. or 1,076,193.36 SF
Areas Not Counting Toward Tree Canopy Calcs:	
Required Cleared Active Recreation Areas:	0.98 Acres
42,816 SF Active Recreation Area	(0.98 Acres Active Recreation Area)
Easements:	4.41 Acres
191,979 SF Easements	(4.41 Acres Easements)
R.O.W. Dedication:	4.40 Acres
191,823 SF R.O.W. Dedication	4.40 Acres R.O.W. Dedication
Total Land Area Not Counted:	9.79 Acres

Applicable Land Area:
1,076,193.36 - 426,452.4 (9.79 Acres) = 649,740.96 SF
= (14.92 Acres)

Tree Canopy Required: 649,740.96 SF x 30% = 194,922.29 SF
Existing Tree Canopy to remain: 159,145.69 SF
(81.65 of Required)

194,922.29 - 159,145.69 = 35,776.6 SF Tree Canopy Short
35,776.6 / 500 = 71.55 Supplemental Trees

Trees required to supplement: 72 Trees
Trees proposed to supplement: 127 Trees

Location of Proposed Large Trees (See Landscape Plans)
Buffers: 25 Large Trees
Street Trees: 85 Large Trees
BMP Screens: 11 Large Trees
Parking Lot: 6 Large Trees
Total: 127 Large Trees

Note: This sheet was created as defined in the Town of Chapel Hill Special Use Permit Application Submittal Requirements. It illustrates the location of the perimeter buffers, as well as the location of the proposed street trees.

This sheet also displays the calculations for each buffer, and graphically illustrates the areas that have been removed or used as part of the buffer calculations (easements, existing vegetation, etc).

Detailed information about each of the perimeter buffers, including location of proposed vegetation and density, can be found on Sheets 9C-9F.

Each of the trees and shrubs proposed within this property will be in accordance with the standards set forth in the Design Manual, including the use of diverse plantings of native and well-adapted non-native species in all landscaping projects.

Perimeter Buffer Calculations

<p>A BUFFER REQUIREMENTS:</p> <p>TYPE "C" 20' EXTERNAL BUFFER 1,918 LF Total Length Less 39 LF Driveway Less 20 LF Water Easement Less 1,226 LF Existing Vegetation Less 255 LF Entry Feature Area Applicable Total = 378 LF</p> <p>REQUIRED: 19 LG TREES, 38 SM TREES, 137 SHRUBS PROPOSED: 19 LG TREES, 38 SM TREES, 137 SHRUBS</p> <p>*Note: This buffer has been reduced by one grade of intensity ('D' to 'C') because the development has been designed such that there is no parking between the buildings located on the site and the adjacent street.</p> <p>*Note: All required vegetation to be provided within disturbed area. Some vegetation to be field located in areas where less than half the buffer depth has been disturbed (counted as 'Existing Vegetation' for this exercise).</p> <p>*Note: At least 50% of required shrubs must be evergreen</p>	<p>B BUFFER REQUIREMENTS:</p> <p>TYPE "B" 10' INTERNAL BUFFER 134 LF Total Length Less 134 LF Existing Vegetation Applicable Total = 0 LF</p> <p>REQUIRED: 0 LG TREES, 0 SM TREES, 0 SHRUBS PROPOSED: 0 LG TREES, 0 SM TREES, 0 SHRUBS</p> <p>*Note: There were no sections of this buffer where more than half of the depth of the buffer was disturbed. These areas have been counted as 'Existing Vegetation' for this exercise.</p>	<p>C BUFFER REQUIREMENTS:</p> <p>TYPE "B" 10' INTERNAL BUFFER 129 LF Total Length Less 129 LF Existing Vegetation Applicable Total = 0 LF</p> <p>REQUIRED: 0 LG TREES, 0 SM TREES, 0 SHRUBS PROPOSED: 0 LG TREES, 0 SM TREES, 0 SHRUBS</p> <p>*Note: There were no sections of this buffer where more than half of the depth of the buffer was disturbed. These areas have been counted as 'Existing Vegetation' for this exercise.</p>	<p>D BUFFER REQUIREMENTS:</p> <p>TYPE "C" 20' EXTERNAL BUFFER 648 LF Total Length Less 65 LF Entry Feature Area Less 557 LF Existing Vegetation Applicable Total = 0 LF</p> <p>REQUIRED: 0 LG TREES, 0 SM TREES, 0 SHRUBS PROPOSED: 0 LG TREES, 0 SM TREES, 0 SHRUBS</p> <p>*Note: This buffer has been reduced by one grade of intensity ('D' to 'C') because the development has been designed such that there is no parking between the buildings located on the site and the adjacent street.</p> <p>*Note: There were no sections of this buffer where more than half of the depth of the buffer was disturbed. These areas have been counted as 'Existing Vegetation' for this exercise.</p>	<p>E BUFFER REQUIREMENTS:</p> <p>TYPE "A" 15' INTERNAL BUFFER 303 LF Total Length Less 149 LF Existing Vegetation Applicable Total = 154 LF</p> <p>REQUIRED: 4 LG TREES, 7 SM TREES, 10 SHRUBS PROPOSED: 4 LG TREES, 7 SM TREES, 15 SHRUBS</p> <p>*Note: At least 50% of required shrubs must be evergreen</p>	<p>F BUFFER REQUIREMENTS:</p> <p>TYPE "A" 15' INTERNAL BUFFER 1,664 LF Total Length Less 1,157 LF Existing Vegetation Less 314 LF Stream Buffer Less 127 LF Stream Corridor Zone Applicable Total = 66 LF</p> <p>REQUIRED: 2 LG TREES, 3 SM TREES, 4 SHRUBS PROPOSED: 2 LG TREES, 3 SM TREES, 4 SHRUBS</p> <p>*Note: At least 50% of required shrubs must be evergreen.</p>
---	--	--	---	---	--

STREET TREE PROVISIONS

Provision: At least one shade tree per lot that faces a road, when the proposed width of lot frontage will allow both a street tree and a driveway, within the 'Street Tree Zone' as identified on the map. Driveway will have priority. Some lots have more than one street tree. See Landscape Plans for exact location, species, and other relative information about proposed street trees.

Street A: 71 Street Trees
Street B: 6 Street Trees
Street C: 6 Street Trees
Street D: 2 Street Trees

This is the minimum number of street trees that will be provided within the 7.5' landscape strip along streets via the Landscape Plans. At this time, the exact design of individual lots is unknown. Upon development, street trees are to be placed in the locations shown on this sheet, or in a location as close as possible. Counts shown for demonstrating compliance with the Tree Cover calculations.

ENTRY FEATURE LANDSCAPE BLOWUPS

Note: These plans do not show the landscape plans for the entry areas of the development. These areas will be developed after the counts and locations of the Buffer Calculations, Shade Canopy Calculations, and Parking Lot Shading Plans have been approved by Town of Chapel Hill Staff.

These entry features will utilize the Design Standards set forth in the Town Design Manual, and will feature the use of diverse plantings of native and well-adapted non-native species.

At this time, only two-foot tall Chapel Hill stone retaining walls have been shown, along with associated grades. No vegetation has been provided for these areas.

MULTI-FAMILY TOWNHOMES AREA

Note: This area contains multi-family townhomes, and will meet different standards within the Town's Design Manual than the other lots within the property (Parking Lot Shading, Parking Lot Screening, and Utility Service Screening).

As seen on Sheet 9.B, the parking lot will be completely screened from the adjacent residential property with evergreen shrubs of the appropriate size.

Utility service areas, in this case dumpsters and trash bins, have also been screened from adjacent properties.

Parking lot shading calculations have been tabulated, and can be found on Sheet 9.B. The minimum 35% shading has been met for this parking lot.

There will be a landscape strip between the parking lot and townhomes, but at this time there is not enough detail associated with the entry to the townhomes to properly landscape this area.

As with other areas of the development, final landscape plans will be developed after Town of Chapel Hill Staff approves the buffer calculations and counts, and tree cover calculations.

Legend

Buffer Calculations

- Undisturbed Area
- Disturbed Area
- Easement Areas removed from calculations
- R.O.W. Areas removed from calculations
- Landscape Entry Area removed from calculations

Street Tree Locations

- Area for Street Trees (Approx. 1 per lot, location T.B.D.)

DRAWING LEGEND

- PROPERTY LINE
- LOT LINE
- LIMITS OF DISTURBANCE
- TREE PROTECTION FENCING
- PROPOSED FENCE
- EXISTING TOPO LINE
- PROPOSED TOPO LINE
- BMP LIMITS
- EXISTING TREE TRUNK
- EXISTING TREE CANOPY
- PROPOSED PLANT INITIALS
- NUMBER OF PLANTS
- BUFFER LABEL (SEE 9A OF 12)

Consultant:

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EMAIL:
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mullisdesigngroup.com

Seat:

Project Name:
Merin Road Community
Address:
Homestead Road
Chapel Hill, North Carolina

SPECIAL USE PERMIT PLANS - NOT FOR CONSTRUCTION

Revision Schedule

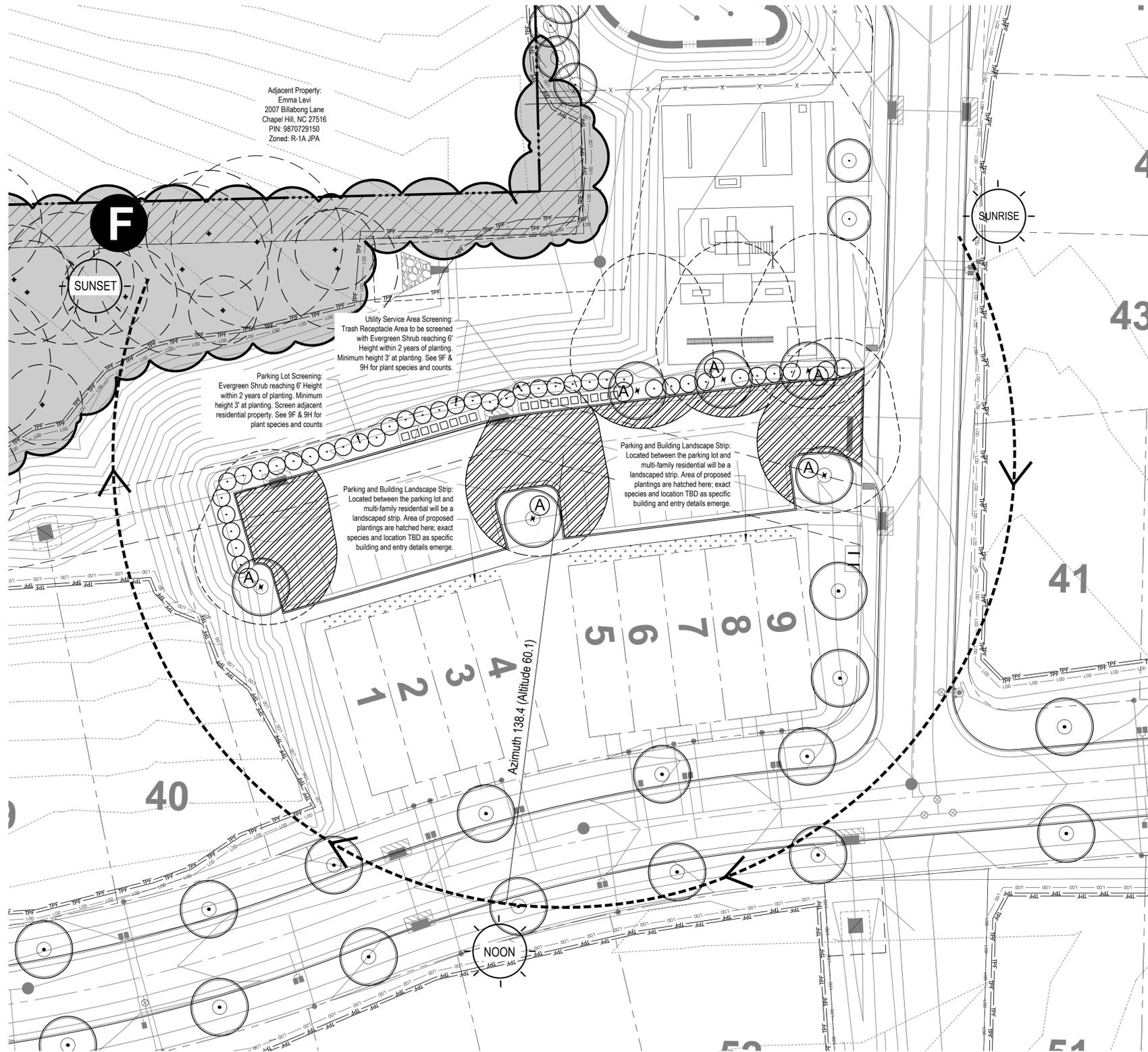
Rev	Date	By	Description

MDG Project #: 000149
DATE: 6-11-2014
Design By: RMM/TAW
Checked by: MDG
T.O.C.H. File #:
T.O.C.H. Project #:

Sheet Title:
Perimeter Buffer & Tree Canopy Calculations

Sheet Number:
9A/12

BLOW-UP OF MULTI-FAMILY AREA



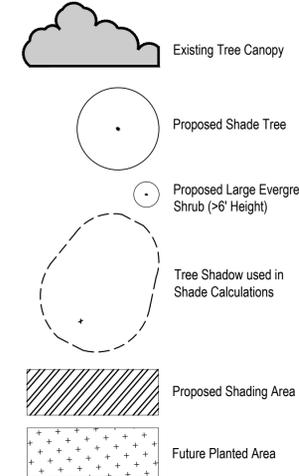
SHADE TREE CALCULATIONS:

Parking Lot Area: 8,646.4 sf
 Required Shading Area: 3,026.2 sf (35%)
 Proposed Shading Area: 4,234.94 sf (48.97%)

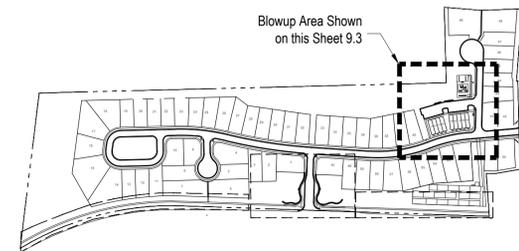
Tree Name: "A" Zelkova (Zelkova serrata 'Green Vase')
 50-60' Ht. & 40-50' Sprd.
 Projected shadow length - 58'

Shade projections are calculated from August 21 at 12:00pm. (altitude 60.1 degrees) with matured vegetation per Chapel Hill L.U.M.O. 5.9.6(d).

LEGEND



REFERENCE MAP



Note:
 1. See Sheet 9F of 12 for exact species to be used within this blow-up area.

Consultant:



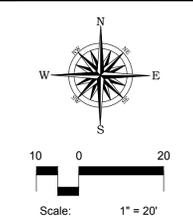
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Revision Schedule			
Rev	Date	By	Description

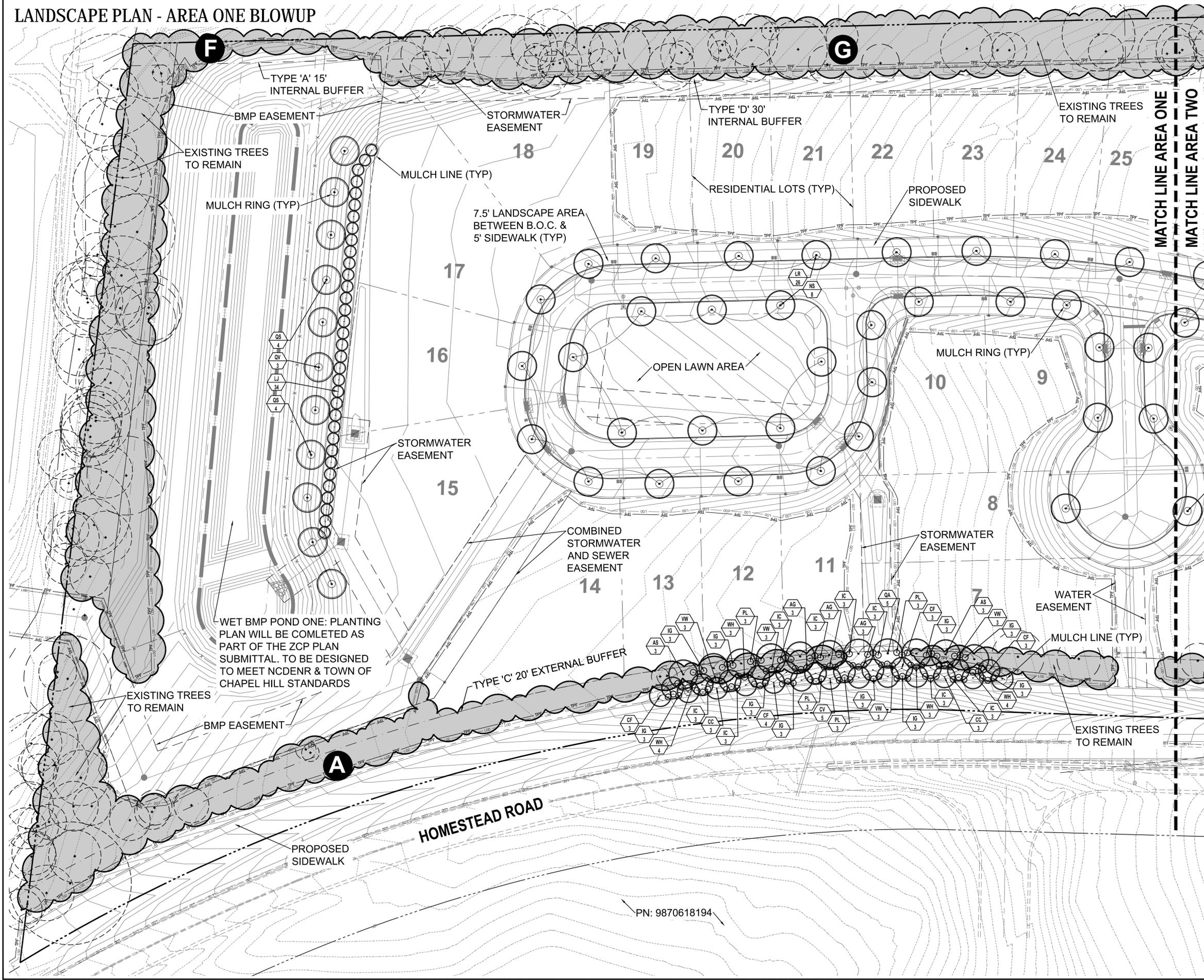


MDG Project #: 000149
 DATE: 9-10-2015
 Design By: RMM/TAW
 Checked by: MDG
 T.O.C.H. File #:
 T.O.C.H. Project #:

Sheet Title:
**Parking Lot
 Shade and
 Screening Plan**

Sheet Number:
9B/12

LANDSCAPE PLAN - AREA ONE BLOWUP



DRAWING LEGEND

- — — — — PROPERTY LINE
- — — — — LOT LINE
- — — — — LIMITS OF DISTURBANCE
- — — — — TREE PROTECTION FENCING
- — — — — PROPOSED FENCE
- — — — — EXISTING TOPO LINE
- — — — — PROPOSED TOPO LINE
- — — — — BMP LIMITS
- — — — — — EXISTING TREE TRUNK
- — — — — — EXISTING TREE CANOPY
- XX — — — — — PROPOSED PLANT INITIALS
- 4/2 — — — — — NUMBER OF PLANTS
- D — — — — — BUFFER LABEL (SEE 9A OF 12)

- Notes:**
- All tree areas identified are heavily wooded. The individual trees shown are from the Tree Survey, which were required to identify deciduous trees 12" DBH or greater, and 18" DBH or greater for pines.
 - See Sheet 9A of 12 for Landscape Calculations.
 - See Sheet 9H of 12 for Master Plant List.

Consultant:

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Seal:

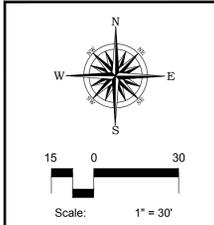
Project Name:
Merin Road Community

Address:
Homestead Road
Chapel Hill, North Carolina

SPECIAL USE PERMIT PLANS - NOT FOR CONSTRUCTION

Revision Schedule

Rev	Date	By	Description



MDG Project #: 000149

DATE: 9-10-2015

Design By: RMM/TAW

Checked by: MDG

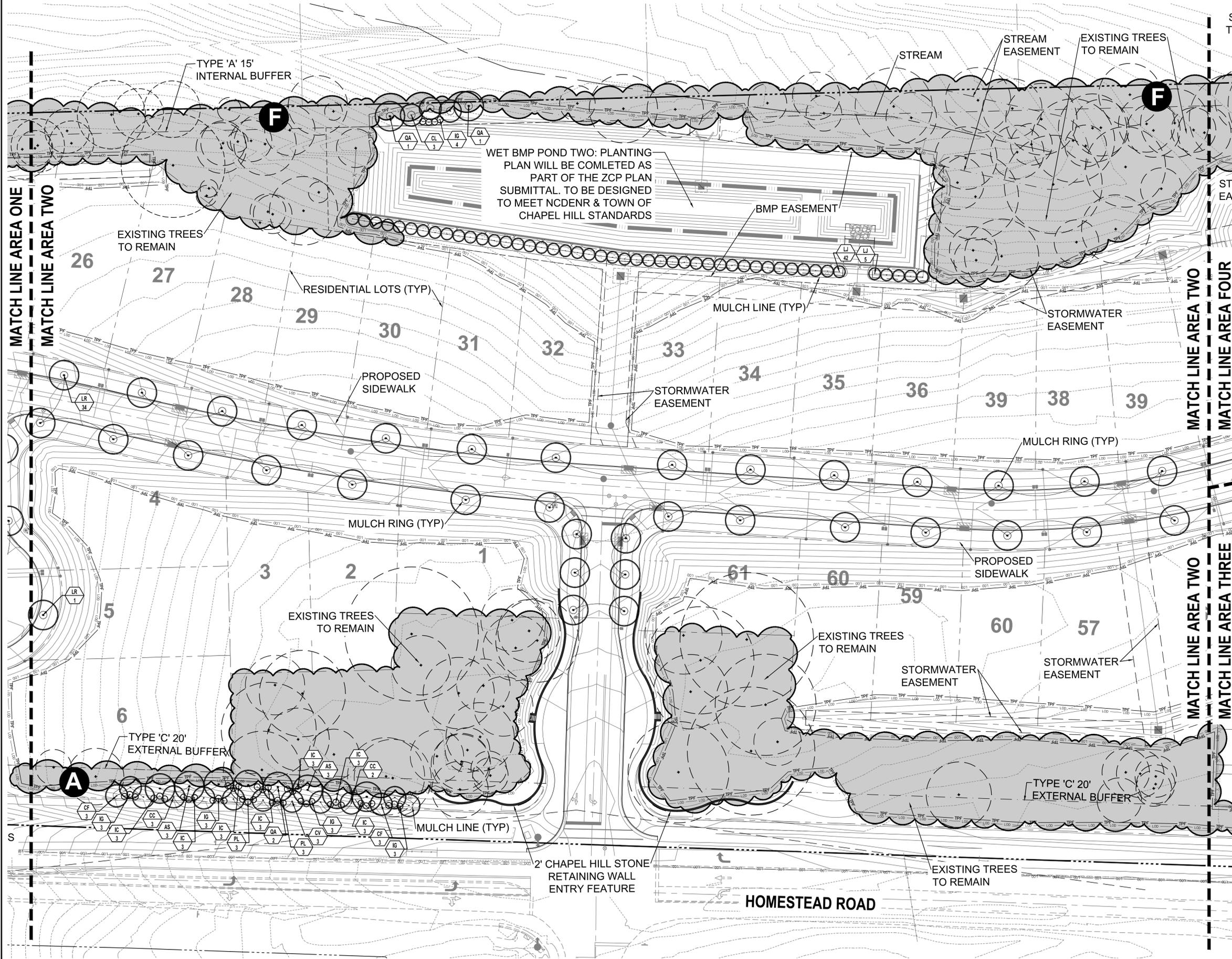
T.O.C.H. File #:

T.O.C.H. Project #:

Sheet Title:
**LANDSCAPE PLAN
AREA ONE**

Sheet Number:
9C/12

LANDSCAPE PLAN - AREA TWO BLOWUP



DRAWING LEGEND

- PROPERTY LINE
- LOT LINE
- LIMITS OF DISTURBANCE
- TREE PROTECTION FENCING
- PROPOSED FENCE
- EXISTING TOPO LINE
- PROPOSED TOPO LINE
- BMP LIMITS
- EXISTING TREE TRUNK
- EXISTING TREE CANOPY
- PROPOSED PLANT INITIALS
- NUMBER OF PLANTS
- BUFFER LABEL (SEE 9A OF 12)

Notes:

- All tree areas identified are heavily wooded. The individual trees shown are from the Tree Survey, which were required to identify deciduous trees 12" DBH or greater, and 18" DBH or greater for pines.
- See Sheet 9A of 12 for Landscape Calculations.
- See Sheet 9H of 12 for Master Plant List.
- Groundcovers and Shrubs associated with entry feature to be included as part of ZCP Submittal, along with wall details, spot elevations, and associated notes.

Consultant:

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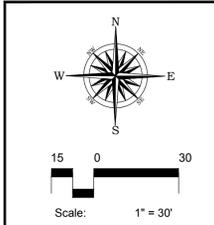
Project Name:
Merin Road Community

Address:
Homestead Road
Chapel Hill, North Carolina

SPECIAL USE PERMIT PLANS - NOT FOR CONSTRUCTION

Revision Schedule

Rev	Date	By	Description

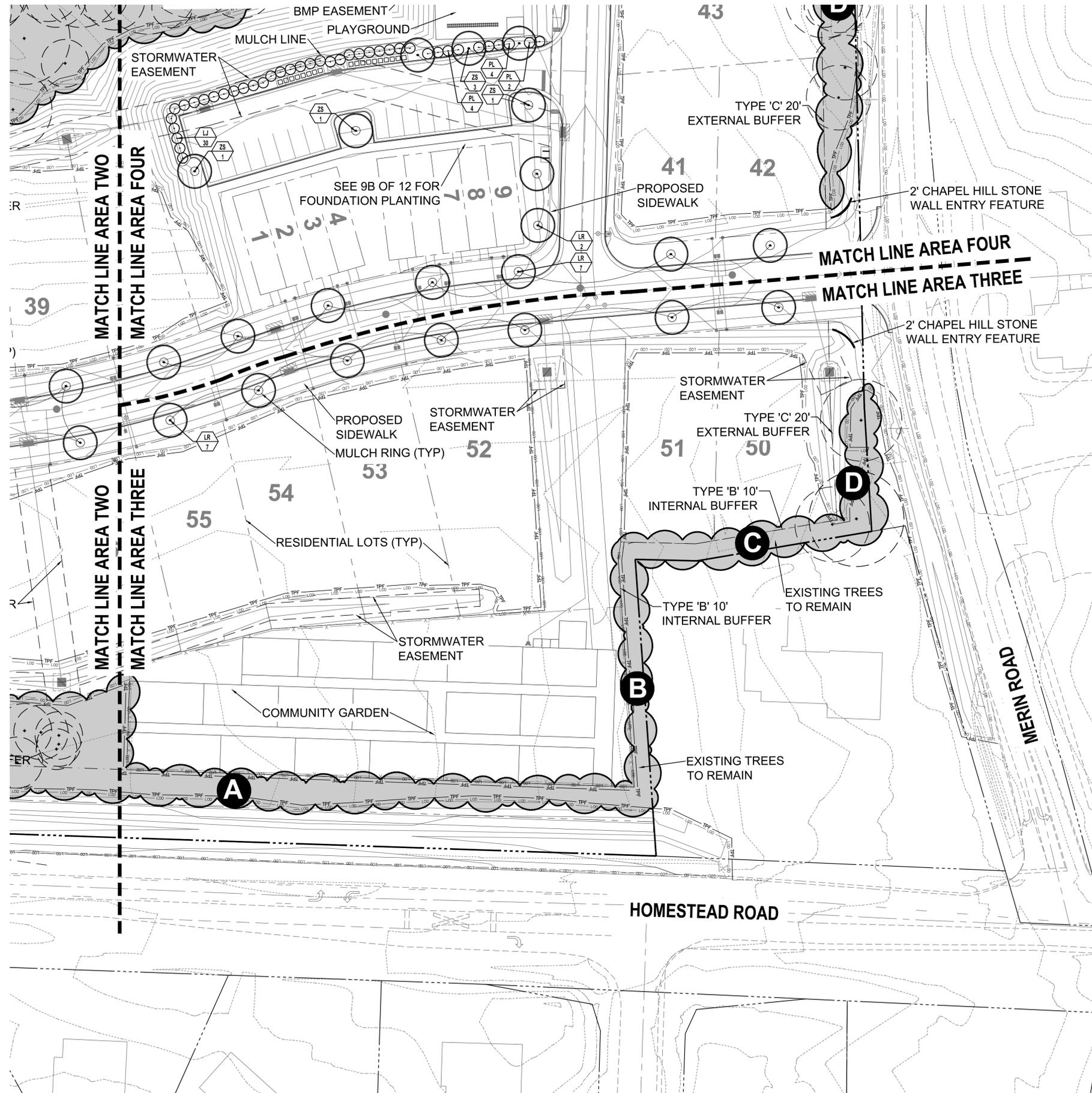


MDG Project #: 000149
DATE: 9-10-2015
Design By: RMM/TAW
Checked by: MDG
T.O.C.H. File #:
T.O.C.H. Project #:

Sheet Title:
**LANDSCAPE PLAN
AREA TWO**

Sheet Number:
9D/12

LANDSCAPE PLAN - AREA THREE BLOWUP



DRAWING LEGEND

- — — — — PROPERTY LINE
- — — — — LOT LINE
- - - - - LIMITS OF DISTURBANCE
- TPF — TPF — TREE PROTECTION FENCING
- X — X — PROPOSED FENCE
- - - - - EXISTING TOPO LINE
- - - - - PROPOSED TOPO LINE
- — — — — BMP LIMITS
- — EXISTING TREE TRUNK
- — EXISTING TREE CANOPY
- XX — PROPOSED PLANT INITIALS
- 4 — NUMBER OF PLANTS
- D** — BUFFER LABEL (SEE 9A OF 12)

- Notes:**
- All tree areas identified are heavily wooded. The individual trees shown are from the Tree Survey, which were required to identify deciduous trees 12" DBH or greater, and 18" DBH or greater for pines.
 - See Sheet 9A of 12 for Landscape Calculations.
 - See Sheet 9H of 12 for Master Plant List.
 - Groundcovers and Shrubs associated with entry feature to be included as part of ZCP Submittal, along with wall details, spot elevations, and associated notes.

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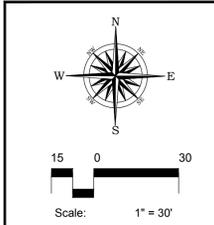
Project Name:
Merin Road Community

Address:
Homestead Road
Chapel Hill, North Carolina

SPECIAL USE PERMIT PLANS - NOT FOR CONSTRUCTION

Revision Schedule

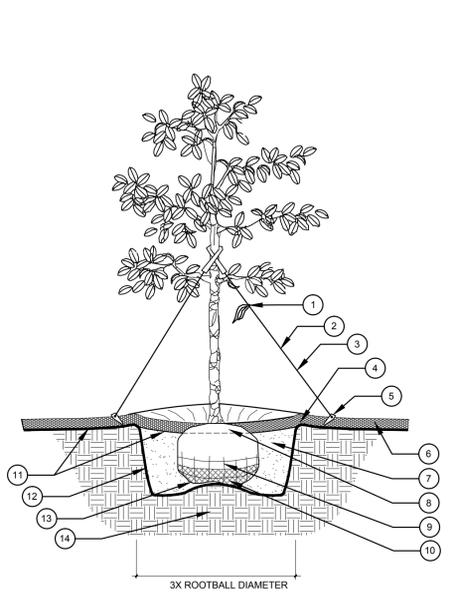
Rev	Date	By	Description



MDG Project #: 000149
DATE: 9-10-2015
Design By: RMM/TAW
Checked by: MDG
T.O.C.H. File #:
T.O.C.H. Project #:

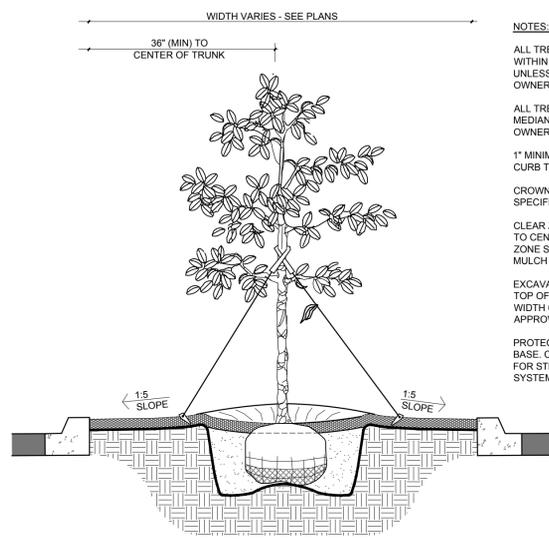
Sheet Title:
**LANDSCAPE PLAN
AREA THREE**

Sheet Number:
9E/12



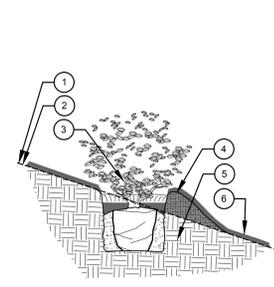
- 1 WARNING FLAG
 - 2 TREE STRAP
 - 3 TREE GUY WIRE STAKED JUST OUTSIDE EARTHEN SAUCER. ADD TURNBUCKLES IF NECESSARY TO STABILIZE TREE.
 - 4 EARTHEN SAUCER AT EDGE OF PLANTING PIT
 - 5 TREE GUYING STAKE
 - 6 3" MULCH LAYER
 - 7 BACKFILL WITH SOIL PER SPECIFICATIONS
 - 8 FIND TOP-MOST ROOT ON ROOTBALL. POSITION ROOTBALL SO THIS TOP ROOT IS 1-2" ABOVE LANDSCAPE SOIL. (APPROX. 10% OF ROOTBALL SHALL BE ABOVE LANDSCAPE SOIL)
 - 9 REMOVE TOP 1/2 OF WIRE ROOT BALL BASKET OR ROOTBALL STRAPS, REMOVE ALL SYNTHETIC STRAP MATERIAL FROM ENTIRE ROOTBALL
 - 10 REMOVE TOP 3/4 OF BURLAP ROOTBALL COVERING. REMOVE ALL SYNTHETIC COVERING FROM ENTIRE ROOTBALL
 - 11 FINISHED GRADE - LANDSCAPE SOIL
 - 12 PLANTING PIT: EXCAVATE PLANTING PIT TO 3 TIMES THE WIDTH OF ROOTBALL (8" MIN. FLARING SIDES OF PIT AS SHOWN. SCARIFY SIDES OF PIT SO THAT THE SIDES ARE NOT SMOOTHED OR GLAZED)
 - 13 ROOTBALLS SHALL BE PLACED ON UNDISTURBED SOIL TO PREVENT SETTLING
 - 14 UNDISTURBED SUBGRADE
- NOTE:**
ALL TREES SHALL BE PLUMB VERTICALLY WITHIN A TOLERANCE OF THREE DEGREES, UNLESS OTHERWISE DIRECTED BY OWNER'S REPRESENTATIVE

A TREE PLANTING
SECTION N.T.S.



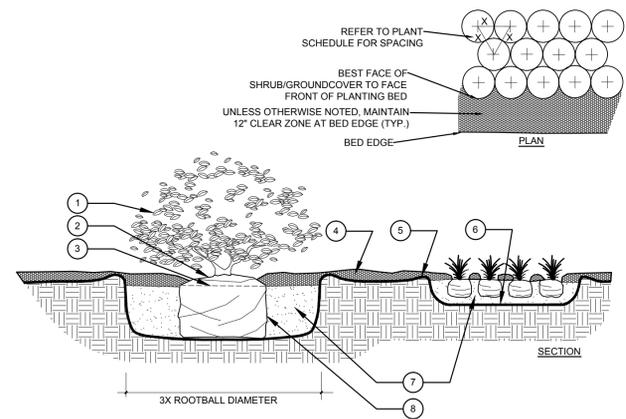
- NOTES:**
ALL TREES SHALL BE PLUMB VERTICALLY WITHIN A TOLERANCE OF THREE DEGREES, UNLESS OTHERWISE DIRECTED BY OWNER'S REPRESENTATIVE
ALL TREES SHALL BE CENTERED WITHIN MEDIAN, UNLESS OTHERWISE DIRECTED BY OWNER'S REPRESENTATIVE
1" MINIMUM VERTICAL CLEARANCE, TOP OF CURB TO TOP OF MULCH
CROWN ISLANDS @ 1.5 SLOPES (OR AS SPECIFIED IN THE LANDSCAPE PLANS)
CLEAR ZONE: MIN. 36" FROM BACK OF CURB TO CENTER OF NEAREST SHRUB. CLEAR ZONE SHALL CONTAIN 3" CONTINUOUS MULCH OR TURF, SEE PLANS.
EXCAVATE CONTINUOUS 38" DEEP (FROM TOP OF CURB) FOR ENTIRE LENGTH AND WIDTH OF ISLAND & BACKFILL WITH APPROVED PLANTING MIX
PROTECT AND RETAIN ALL CURBS AND BASE. COMPACTED SUBGRADE TO REMAIN FOR STRUCTURAL SUPPORT OF CURB SYSTEM (TYP.)

D PLANTED PARKING LOT ISLANDS / MEDIANS - SLOPE AND SPACING
SECTION N.T.S.



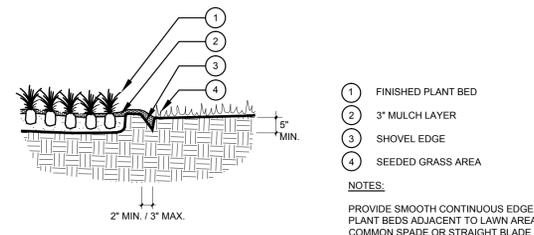
- 1 ORIGINAL 4:1 (OR GREATER) SLOPE
 - 2 PLACE SLOPE STABILIZATION MATERIAL SECURELY ON SLOPE (SEE ENGINEER'S PLANS)
 - 3 TO INSTALL PLANT, LOCATE PLANTING POSITION AND CUT SLIT IN STABILIZATION MATERIAL (PER SECTION 6.13 OF THE NORTH CAROLINA EROSION AND SEDIMENT CONTROL PLANNING AND DESIGN MANUAL), LARGE ENOUGH TO SLIP ROOTBALL THROUGH AND INSTALL PLANT PER REQUIREMENTS. NOTE THAT TOP CORNER OF PLANT ROOTBALL IS NOT BE HIGHER THAN ORIGINAL GRADE OF SLOPE.
 - 4 CREATE PLANT SAUCER BY EXCAVATING THE HIGH SIDE AND PLACING EXCAVATED DIRT ON LOW SIDE OF PLANT AREA. CREATING SAUCER FOR PLANT TO BE PLANTED WITHIN. FIRMLY FORMED SAUCER ANGLE OF REPOSE VARIES WITH THE STEEPNESS OF ORIGINAL SLOPE. HEIGHT OF SAUCER TO BE EQUAL TO HEIGHT OF ORIGINAL GRADE OF IMPACTED SOIL ON THE HIGH SIDE OF SAUCER.
 - 5 COMPACTED SUBGRADE OR PLANTING MEDIUM AS LISTED IN SPECIFICATIONS
 - 6 3" MULCH, OR AS SPECIFIED IN SPECIFICATIONS
- NOTES:**
1. REFER TO MASTER PLANT LIST FOR SPACING REQUIREMENT BETWEEN PROPOSED VEGETATION
2. COVER REMAINING EXPOSED DIRT WITH MULCH

G SHRUB ON 4:1 OR GREATER SLOPE
SECTION N.T.S.



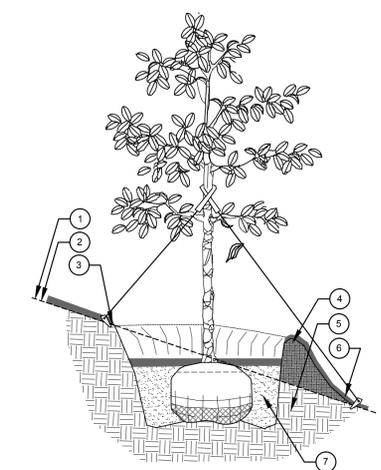
- 1 PRUNE ALL LIKE SHRUBS WITHIN A PLANTED MASS TO ACHIEVE A UNIFORM MASS HEIGHT
 - 2 FIND POINT WHERE TOPMOST ROOT EMERGES FROM TRUNK WITHIN 2" OF SURFACE. CLEAR EXCESS SOIL IF NECESSARY
 - 3 TOP 10% OF SHRUB AND GROUNDCOVER ROOTBALLS TO BE PLANTED ABOVE THE LANDSCAPE GRADE. DO NOT COVER EXPOSED 10% ON SIDES WITH SOIL
 - 4 3" MINIMUM MULCH AS SPECIFIED - DO NOT COVER ENTIRE SHRUB ROOTBALL OR CREATE "WATER RINGS" ONLY COVER SIDES OF ROOTBALL WITH MULCH
 - 5 FINISHED GRADE (SEE GRADING PLAN)
 - 6 EXCAVATE ENTIRE BED SPECIFIED FOR GROUNDCOVER BED
 - 7 PREPARED PLANTING SOIL AS SPECIFIED. NOTE: WHEN GROUNDCOVERS AND SHRUBS USED IN MASSES, ENTIRE BED TO BE AMENDED WITH PLANTING MIX AS SPECIFIED
 - 8 SCARIFY ROOTBALL SIDES AND BOTTOM
- NOTE:**
ALL SHRUBS AND GROUNDCOVERS SHALL BE PLUMB VERTICALLY, UNLESS OTHERWISE DIRECTED BY OWNER'S REPRESENTATIVE.

B SHRUB / GROUNDCOVER PLANTING
SECTION N.T.S.



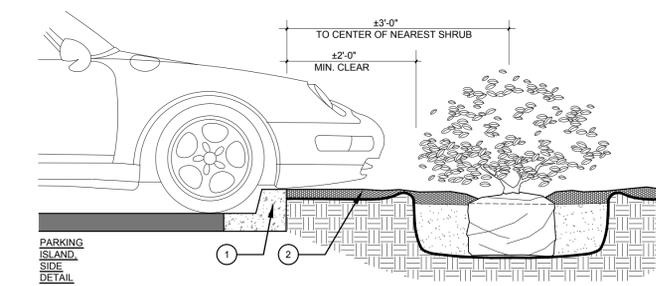
- 1 FINISHED PLANT BED
 - 2 3" MULCH LAYER
 - 3 SHOVEL EDGE
 - 4 SEEDED GRASS AREA
- NOTES:**
PROVIDE SMOOTH CONTINUOUS EDGE AS SHOWN FOR ALL PLANT BEDS ADJACENT TO LAWN AREAS. DIG EDGE WITH COMMON SPADE OR STRAIGHT BLADE SHOVEL.

E SHOVEL EDGE (PLANTING COMPLETE)
SECTION N.T.S.



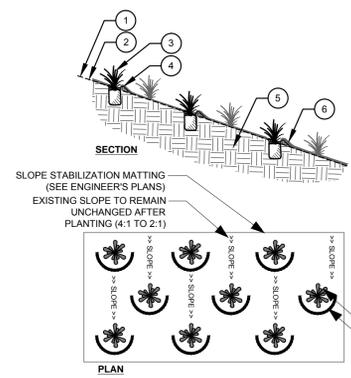
- 1 ORIGINAL 4:1 (OR GREATER) SLOPE
 - 2 PLACE SLOPE STABILIZATION MATERIAL SECURELY ON SLOPE (SEE ENGINEER'S PLANS)
 - 3 TO INSTALL TREE, LOCATE TREE POSITION AND CUT SLIT IN STABILIZATION MATERIAL (PER SECTION 6.13 OF THE NORTH CAROLINA EROSION AND SEDIMENT CONTROL PLANNING AND DESIGN MANUAL), LARGE ENOUGH TO SLIP ROOTBALL THROUGH AND INSTALL PLANT PER REQUIREMENTS. NOTE THAT TOP CORNER OF PLANT ROOTBALL IS NOT BE HIGHER THAN ORIGINAL GRADE OF SLOPE.
 - 4 CREATE TREE SAUCER BY EXCAVATING THE HIGH SIDE AND PLACING EXCAVATED DIRT ON LOW SIDE OF PLANT AREA. CREATING SAUCER FOR PLANT TO BE PLANTED WITHIN. FIRMLY FORMED SAUCER ANGLE OF REPOSE VARIES WITH THE STEEPNESS OF ORIGINAL SLOPE. HEIGHT OF SAUCER TO BE EQUAL TO HEIGHT OF ORIGINAL GRADE OF IMPACTED SOIL ON THE HIGH SIDE OF SAUCER.
 - 5 COMPACTED SUBGRADE OR PLANTING MEDIUM AS LISTED IN SPECIFICATIONS
 - 6 3" MULCH, OR AS SPECIFIED IN SPECIFICATIONS
 - 7 BACKFILL WITH SOIL PER SPECIFICATIONS
- NOTES:**
1. REFER TO MASTER PLANT LIST FOR SPACING REQUIREMENT BETWEEN PROPOSED VEGETATION
2. COVER REMAINING EXPOSED DIRT WITH MULCH

H TREE ON 4:1 OR GREATER SLOPE
SECTION N.T.S.



- 1 PARKING LOT AND CURB SYSTEM BY OTHERS
- 2 INSTALL CONTINUOUS MULCH BED ADJACENT TO PARKING SPACES AS SHOWN. MULCH SHALL BE MIN. 3" DEEP

C PARKING SPACE / CURB SYSTEM PARKING - PLANT SPACING
SECTION N.T.S.



- 1 ORIGINAL 4:1 (OR GREATER) SLOPE
 - 2 PLACE SLOPE STABILIZATION MATERIAL SECURELY ON SLOPE (SEE ENGINEER'S PLANS)
 - 3 TO INSTALL PLANT, LOCATE PLANTING POSITION AND CUT SLIT IN STABILIZATION MATERIAL (PER SECTION 6.13 OF THE NORTH CAROLINA EROSION AND SEDIMENT CONTROL PLANNING AND DESIGN MANUAL), LARGE ENOUGH TO SLIP ROOTBALL THROUGH AND INSTALL PLANT PER REQUIREMENTS. NOTE THAT TOP CORNER OF PLANT ROOTBALL IS NOT BE HIGHER THAN ORIGINAL GRADE OF SLOPE.
 - 4 CREATE PLANT SAUCER BY EXCAVATING THE HIGH SIDE AND PLACING EXCAVATED DIRT ON LOW SIDE OF PLANT AREA. CREATING SAUCER FOR PLANT TO BE PLANTED WITHIN. FIRMLY FORMED SAUCER ANGLE OF REPOSE VARIES WITH THE STEEPNESS OF ORIGINAL SLOPE. HEIGHT OF SAUCER TO BE EQUAL TO HEIGHT OF ORIGINAL GRADE OF IMPACTED SOIL ON THE HIGH SIDE OF SAUCER.
 - 5 COMPACTED SUBGRADE OR PLANTING MEDIUM AS LISTED IN SPECIFICATIONS
 - 6 3" MULCH, OR AS SPECIFIED IN SPECIFICATIONS
- NOTES:**
1. REFER TO MASTER PLANT LIST FOR SPACING REQUIREMENT BETWEEN PROPOSED VEGETATION
2. COVER REMAINING EXPOSED DIRT WITH MULCH
3. INSTALLED PROPOSED PLANT
EARTHEN SAUCER CREATED ON LOW SIDE OF SLOPE

F GROUNDCOVER ON 4:1 OR GREATER SLOPE
SECTION N.T.S.

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SPECIAL USE PERMIT PLANS - NOT FOR CONSTRUCTION

Revision Schedule			
Rev	Date	By	Description

MDG Project #: 000149
DATE: 9-10-2015
Design By: RMM/TAW
Checked by: MDG
T.O.C.H. File #:
T.O.C.H. Project #:

Sheet Title:
LANDSCAPE DETAILS

Sheet Number:
9G/12

LANDSCAPE NOTES & SPECIFICATIONS

PART 1: GENERAL

- 1.1 DESCRIPTION:
- A. THE WORK CONSISTS OF FURNISHING ALL LABOR, MATERIALS, APPLIANCES, TRANSPORTATION, ETC., REQUIRED FOR INSTALLATION OF ALL LANDSCAPING WORK AND ESTABLISHMENT OF TREES, SHRUBS, PERENNIALS, AND GROUND COVER AS SHOWN ON THE DRAWINGS, AS INCLUDED IN THE PLANT LIST AND AS HEREIN SPECIFIED.
 - B. WORK SHALL INCLUDE MAINTENANCE AND WATERING OF ALL PLANTING AREAS OF THE CONTRACT UNTIL FINAL ACCEPTANCE FROM THE OWNER.

1.2 QUALITY ASSURANCE:

- A. PLANT QUANTITIES SHOULD BE VERIFIED AS SHOWN ON THE PLANTING PLAN. THE PLANT SCHEDULE IS PRODUCED SO THAT A SUMMARY OF THE PROPOSED PLANTINGS IS PROVIDED. THE ACTUAL DRAWING OVER RIDES THE QUANTITIES SHOWN IN THE PLANT SCHEDULE - THE CONTRACTOR SHOULD NOT RELY ON THE PLANT SCHEDULE FOR EXACT QUANTITIES.
- B. SIZING AND GRADING OF PLANT MATERIALS SHALL COMPLY WITH THE SIZING AND GRADING OF THE LATEST EDITION OF THE "AMERICAN STANDARD FOR NURSERY STOCK" BY THE AMERICAN ASSOCIATION OF NURSERYMEN, (AAN), ANSI Z60.1-2004.

1.3 PROJECT CONDITIONS:

- A. CONTRACTOR SHALL BE RESPONSIBLE FOR THE TESTING AND SOIL ANALYSIS OF BOTH EXISTING SOILS AND TOPSOIL, SUPPLIED FOR PLANTING REDSPTS INDICATING SOIL PH, ABSENCE OR PRESENCE OF ANY TOXIC SUBSTANCES, MICRO AND MACRO NUTRIENT VALUES, CONCENTRATIONS OF SOLUBLE SALTS, ORGANIC CONTENT AND RECOMMENDED AMENDMENT.
- B. THE CONTRACTOR SHALL FIELD CHECK THE LOCATION OF UTILITIES BEFORE INSTALLATION OF ANY MATERIAL OR PLANTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGE RESULTING FROM NEGLECT OR FAILURE TO COMPLY WITH THIS REQUIREMENT.
- C. A COMPLETE LIST OF PLANTS, INCLUDING A SCHEDULE OF SIZE AND OTHER REQUIREMENTS IS SHOWN ON THE DRAWINGS UNDER "PLANT LIST".
- D. ALL ROCK, UNDERGROUND CONSTRUCTION DEBRIS, TREE ROOTS FROM ADJACENT TREES TO REMAIN, OR OBSTRUCTIONS ENCOUNTERED DURING THE EXCAVATION OF THE TREE PITS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER PRIOR TO PROCEEDING WITH WORK AT THE SPECIFIC SITE.
- E. TREE PITS SHALL BE TESTED BY FILLING A ONE-FOOT HOLE AT BOTTOM OF THE PIT WITH WATER TWICE IN SUCCESSION, CONDITIONS CAUSING THE RETENTION OF WATER MORE THAN 24 HOURS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER PRIOR TO PLANTING.
- F. THE CONTRACTOR SHALL NOTIFY THE OWNER, IN WRITING, ALL CONDITIONS WHICH THE CONTRACTOR CONSIDERS DETRIMENTAL TO THE GROWTH OF THE PLANT MATERIAL.

PART 2: PRODUCTS

2.1 TOPSOIL:

- A. FOR USE IN PREPARING SOIL FOR BACK FILLING PLANT PITS, TOPSOIL SHALL BE FERTILE, FRAGILE, NATURAL, TOPSOIL, WITHOUT MIXTURE OF SUBSOIL MATERIALS, AND OBTAINED FROM A WELL DRAINER ARABLE SITE. IT SHALL NOT CONTAIN SUBSTANCES WHICH MAY BE HARMFUL TO PLANT GROWTH. TOPSOIL SHALL BE SCREENED AND FREE FROM CLAY, LUMPS, STONES, ROOTS, PLANTS, OR SIMILAR SUBSTANCES 1" OR MORE IN DIAMETER, DEBRIS, OR OTHER OBJECTS WHICH MIGHT BE A HINDRANCE TO PLANTING OPERATIONS. TOPSOIL SHALL CONTAIN AT LEAST 4-6% ORGANIC MATTER BY WEIGHT AND HAVE A PH RANGE OF 5.5 TO 6.5.

IT SHALL HAVE THE FOLLOWING MECHANICAL ANALYSIS:

SIEVE SIZE:	PASSING BY WEIGHT:
1"	99-100%
3/4"	97-99%
NO. 100 MESH	40-60%
NO. 200 MESH	20-40%

- B. SOIL SAMPLES SHALL BE TAKEN FOR PROGRAMMED TURF AND LANDSCAPE AREAS SEPARATELY AND SENT TO THE LOCAL EXTENSION SERVICE TO DETERMINE THE APPROPRIATE FERTILIZATION AND MINERAL SUPPLEMENT SCHEDULE.

2.2 WATER:

- A. NECESSARY FOR PLANTING AND MAINTENANCE, WATER SHALL BE OF SATISFACTORY QUALITY TO SUSTAIN ADEQUATE PLANT GROWTH AND SHALL NOT CONTAIN HARMFUL, NATURAL OR MAN-MADE ELEMENTS DETRIMENTAL TO PLANTS. THE CONTRACTOR SHALL PROVIDE SUCH SATISFACTORY WATER FROM SOURCES OFF THE SITE AT NO ADDITIONAL COST. THE COST ASSOCIATED WITH OBTAINING AND APPLYING WATER SHALL BE INCLUDED IN THE COST OF THE PLANT MATERIALS. THERE WILL BE NO SEPARATE PAYMENT FOR THIS ITEM.

2.3 MULCH:

- A. SHALL BE A DARK ESPRESSO/BROWN HARDWOOD MULCH, TREATED FOR INSECTS, AND APPLIED AT 3" IN DEPTH AND SHALL CONTAIN NO EXTRANEOUS MATERIAL. THE CONTRACTOR SHALL SUBMIT SAMPLES OF THE PROPOSED MULCH TO THE OWNER PRIOR TO INSTALLATION. ANY MULCH MATERIAL APPLIED TO PLANTING AREAS THAT DOES NOT HAVE THE OWNERS WRITTEN APPROVAL WILL BE REMOVED AND REPLACED AT THE CONTRACTORS EXPENSE.

2.4 FERTILIZER:

- A. ALL GRANULAR COMMERCIAL FERTILIZERS SHALL CONFORM TO THE APPLICABLE STATE FERTILIZER LAWS. IT SHALL BE UNIFORM, IN COMPLETION, DRY AND FREE FLOWING.
- B. FERTILIZER SHALL BE TEN (10) PERCENT NITROGEN, TEN (10) PERCENT PHOSPHOROUS, TEN (10) PERCENT POTASSIUM, AND INCLUDE TRACE ELEMENTS. ONE HUNDRED (100) PERCENT BY WEIGHT OF NITROGEN CONTENT OF FERTILIZER SHALL BE DERIVED FROM ORGANIC MATERIALS. FERTILIZER ANALYSIS SHALL BE MODIFIED OR REVISED AS A RESULT OF CONTRACTOR'S SOIL TESTS, IF REQUIRED.

2.5 COMPOST:

- A. ORGANIC SOIL AMENDMENT MATERIAL (COMPOST) SHALL BE A BLEND OF COMPOSTED MANURE AND HUMUS SHALL BE SCREENED AND FREE FROM LUMPS, STONES, PLANT MATERIAL AND DEBRIS, FREE OF WEED SEED AND OTHER MATERIAL HARMFUL TO PLANT LIFE. SOIL AMENDMENT MATERIAL SHALL MEET THE FOLLOWING CHEMICAL ANALYSIS:
- | | |
|--------------------------------------|-------------------|
| ORGANIC MATTER CONTENT | 50-80% |
| PH RANGE | 6.0-8.0 |
| AMMONIA NITROGEN | MAX. 500 PPM |
| SALT CONTENT (STANDARD PACE EXTRACT) | MAX. 5.0MMCHOS/CM |
| CARBON/NITROGEN RATION | 15-30 |

2.6 PLANT MATERIAL:

- A. PLANT SPECIES AND SIZE SHALL CONFORM TO THOSE INDICATED ON THE DRAWINGS. ALL PLANTS SHALL BE FRESHLY DUG, FREE FROM DEFECT, SOUND, HEALTHY, VIGOROUS, WELL-BRANCHED, AND FREE OF DISEASES, INSECTS, INSECT EGGS, AND LARVAE, AND SHALL HAVE ADEQUATE ROOT SYSTEMS.
- B. ALL PLANT MATERIAL MUST MEET ANSI Z60.1-2004 (OR MOST CURRENT EDITION) STANDARDS.
- C. PLANT MATERIAL SHALL BE TRUE TO SPECIES, CULTIVAR, OR VARIETY. ALL PLANTS OF THE SAME GENUS AND SPECIES SHALL BE THE SAME VARIETY AND/OR CULTIVAR AND COLOR, UNLESS OTHERWISE SPECIFICALLY NOTED ON DRAWINGS.
- D. PLANTS SHALL BE OBTAINED FROM LICENSED NURSERY ONLY.
- E. ALL FEDERAL, STATE AND LOCAL CERTIFICATES OF INSPECTION, AS REQUIRED BY LAW SHALL ACCOMPANY THE INVOICE OF EACH SHIPMENT OF PLANTS.
- F. PLANTS SHALL NOT BE PRUNED BEFORE DELIVERY.
- G. INSPECTION: PLANTS SHALL BE SUBJECT TO INSPECTION AND APPROVAL FOR QUALITY, SIZE, AND VARIETY. SUCH APPROVAL SHALL NOT IMPAIR THE RIGHT OF INSPECTION AND REJECTION AFTER COMPLETION FOR SIZE AND CONDITION OF ROOTS, AND ROOT BALLS, LATENT DEFECTS OR INEFFICIENCIES NOT MEETING ANSI Z60.1-2004, AAN STANDARDS.

2.7 CONTAINER GROWN STOCK:

- A. ALL CONTAINER GROWN MATERIAL SHALL BE HEALTHY, VIGOROUS, WELL ROOTED IN THE CONTAINERS WHICH THEY WERE SOLD, AS WELL AS FREE OF INSECTS AND DISEASE.
- B. PLANTS SHALL MEET ANSI Z60.1-2004 AAN STANDARDS.

2.8 HERBICIDE:

- A. ROUNDUP, WHEN USED IT MUST BE APPLIED AS SPECIFICALLY DIRECTED ON LABEL AND BY OR UNDER SUPERVISION OF A LICENSED PROFESSIONAL. IT SHALL NOT BE USED WITHIN 100 FT. OF WETLAND OR STREAM.
 - B. WHEN WITHIN 100 FT. OF WETLAND OR STREAM AN AQUATIC GLYPHOSATE MAYBE USED WITH FOLIAR SPRAY OR SELECTIVE STEM PAINTING TECHNIQUES, AND MUST BE APPLIED AS SPECIFICALLY DIRECTED ON LABEL BY LICENSED PROFESSIONAL.
1. RENOVATE 3 IS AN APPROPRIATE BROADLEAF SELECTIVE HERBICIDE TO USE IN THESE AREAS.
 2. RODEO IS AN APPROPRIATE NON-SELECTIVE HERBICIDE TO USE IN THESE AREAS.

PART 3: EXECUTION:

3.1 PLANTING SEASON:

- A. THE PREFERRED PLANTING SEASON FOR B&B STOCK SHALL BE BETWEEN OCTOBER 15 AND MARCH 31.
- B. THE PREFERRED PLANTING SEASON FOR CONTAINER GROWN NURSERY STOCK SHALL BE BETWEEN SEPTEMBER 15 AND JULY 15.
- C. ADJUST WATERING SCHEDULE BASED ON WEATHER CONDITIONS AND RAINFALL.

3.2 PLANTING GRASSES:

- A. OVER SEEDING:
 1. TILL AND AMEND SOIL TO A 3"-6" DEPTH. IN HEAVY SOILS 20-40% SAND SHALL BE INCORPORATE INTO THE SOIL DURING TILLAGE.
 2. SOW SEED WITH SPREADER OR SEEDING MACHINE. DO NOT BROADCAST OR DROP SEED WHEN WIND VELOCITY EXCEEDS 5 MPH (8 KMH). EVENLY DISTRIBUTE SEED BY SOWING EQUAL QUANTITIES IN TWO DIRECTIONS AT RIGHT ANGLES TO EACH OTHER.
 3. DO NOT USE WET SEED OR SEED THAT IS MOLDY OR OTHERWISE DAMAGED.
 4. DO NOT SEED AGAINST EXISTING TREES. LIMIT EXTENT OF SEED TO OUTSIDE EDGE OF PLANTING SAUCER.
 5. SOW SEED AT A TOTAL RATE OF 15 LB./1000 SQ. FT..
 6. RAKE SEED LIGHTLY INTO TOP 1/8 INCH OF SOIL, ROLL LIGHTLY, AND WATER WITH FINE SPRAY.
 7. PROTECT SEEDED AREAS WITH SLOPES EXCEEDING 3:1 WITH EROSION-CONTROL FIBER MESH INSTALLED AND STAPLED ACCORDING TO MANUFACTURERS' WRITTEN INSTRUCTIONS.
 8. PROTECT SEEDED AREAS WITH EROSION-CONTROL MATS WHERE SHOWN, INSTALLED AND ANCHORED ACCORDING TO MANUFACTURERS' WRITTEN INSTRUCTIONS.
 9. PROTECT SEEDED AREAS WITH SLOPES NOT EXCEEDING 3:1 BY SPREADING STRAW MULCH. SPREAD UNIFORMLY AT A MINIMUM RATE OF 2 TONS/ACRE TO FORM A CONTINUOUS BLANKET 1-1 1/2 INCHES IN LOOSE DEPTH OVER SEEDED AREAS. SPREAD BY HAND, BLOWER, OR OTHER SUITABLE EQUIPMENT. STRAW SHALL BE FREE OF WEED SEEDS.
 10. ANCHOR STRAW MULCH BY CRIMPING INTO SOIL WITH SUITABLE MECHANICAL EQUIPMENT.

B. SODDING:

1. ALL SOD SHALL BE FROM A CERTIFIED GROWER AND BE 99% WEED FREE. THE CONTRACTOR SHALL SUBMIT THE CERTIFICATION TO THE OWNER PRIOR TO SHIPMENT AND INSTALLATION.
2. THE CONTRACTOR SHALL HAVE RANDOM SAMPLES OF SOIL IN THE LIMITS OF SOD AND SHALL MIX AND SUBMIT SAMPLES TO THE NORTH CAROLINA EXTENSION SERVICE FOR ANALYSIS FOR SOD. RESULTS SHALL BE SUBMITTED TO THE OWNER FOR REVIEW AND APPROVAL OF SOIL AMENDMENTS FOR MINERALS AND FERTILIZATION. MATERIALS APPROVED BEYOND THOSE SPECIFIED SHALL BE CONSIDERED A CHANGE ORDER.
3. THE SOD SHALL NOT BE SHIPPED UNTIL THE SITE IS SUBSTANTIALLY PREPARED. IT SHALL BE STORED AND MAINTAINED IN ACCORDANCE WITH THE AMERICAN NURSERY ASSOCIATION.
4. SITE PREPARATION SHALL INCLUDE TILLING THE SOIL IN TWO PERPENDICULAR PASSES TO A DEPTH OF SIX INCHES TO BREAK OF THE COMPACTED MATERIAL.
5. THE SITE SHALL BE RAKED FREE OF ROCKS AND ORGANIC MATERIAL LARGER THAN 1/4 OF AN INCH IN DIAMETER.
6. THE CONTRACTOR SHALL THEN APPLY A 4" MINIMUM OVERLAY OF MASONRY SAND, SPECIFIED AND APPROVED AMENDMENTS, AND THEN TILLED TWICE AGAIN IN PERPENDICULAR PASSES THOROUGHLY WORKING IN THE SAND AND AMENDMENTS. LEVEL AND FORM FINAL GRADES.
7. WHEN LAYING SOD, ALL JOINTS SHALL BE LAID PARALLEL WITH THE EXISTING PARKING LOT EDGE WITH OVERLAPPING JOINTS LIKE A RUNNING BOND PATTERN. ON SLOPES OF 4:1 OR GREATER THE SOD SHALL BE STAKED TO HOLD THE SOD IN PLACE.
8. ALL SOD SHALL BE ROLLED AND LEVELED BY HAND AS NECESSARY TO GET A UNIFORM SURFACE.
9. ALL SOD SHALL BE WATERED THOROUGHLY ON THE DAY THAT IT IS INSTALLED.
10. ALL SOD SHALL BE VIABLE AT THE TIME THAT IT IS PLACED. NO SOD SHALL REMAIN ON A PALLET OR ROLL LONGER THAN THE STANDARDS OF THE AMERICAN NURSERY ASSOCIATION.
11. ALL SOD SHALL BE WARRANTED FOR 1 YEAR FROM THE TIME OF ACCEPTANCE.
12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE (WATERING, SEASONAL FEEDING, MOWING AND WEEDING) UNTIL THE PROJECT IS ACCEPTED BY THE OWNER AND HIS REPRESENTATIVES.

3.3 PLANT MAINTENANCE:

A. WARRANTY:

1. WARRANTY PLANT MATERIAL IS TO REMAIN ALIVE AND BE IN A HEALTHY, VIGOROUS CONDITION FOR A PERIOD OF ONE CALENDAR YEAR AFTER ACCEPTANCE OF INSTALLATION.
2. REPLACE, IN ACCORDANCE WITH THE DRAWINGS AND SPECIFICATIONS, ALL PLANTS THAT ARE DEAD OR ARE IN AN UNHEALTHY OR UNSIGHTLY CONDITION, AND HAVE LOST THEIR NATURAL SHAPE DUE TO DEAD BRANCHED OR CONDITIONS DUE TO THE CONTRACTOR NEGLIGENCE. CONTRACTOR SHALL BEAR THE COST OF COMPLETE REPLACEMENT(S). REPLACEMENT MATERIAL SHALL BE WARRANTED FOR 1 YEAR FROM THE DATE OF INSTALLATION.

B. MATERIAL AND OPERATIONS:

1. ALL REPLACEMENTS SHALL BE PLANTS OF THE SAME KIND AND SIZE AS SPECIFIED IN THE PLANT LIST. THEY SHALL FURNISH PLANTED AND MULCHED AS SPECIFIED UNDER PROJECT PLANS AND SPECIFICATIONS AT NO ADDITIONAL COST TO THE OWNER.
2. WARRANTY SHALL NOT INCLUDE DAMAGE OR LOSS OF PLANTS OR GROUND COVERS CAUSED BY FIRES, FLOODS, FREEZING RAINS, LIGHTING STORMS, WINDS OVER 75 MPH, SEVERE WINTER CONDITIONS NOT TYPICAL OF THE PLANTING REGION, AND ACTS OF VANDALISM OR NEGLIGENCE ON THE PART OF THE OWNER.
3. IN THE EVENT THE OWNER DOES NOT CONTRACT WITH THE CONTRACTOR FOR LANDSCAPE MAINTENANCE, THE CONTRACTOR SHALL VISIT THE PROJECT SITE PERIODICALLY DURING THE ONE YEAR WARRANTY PERIOD TO EVALUATE MAINTENANCE PROCEDURES BEING PERFORMED BY THE OWNER, AND SHALL NOTIFY THE OWNER IN WRITING OF MAINTENANCE PROCEDURE OR CONDITIONS WHICH THREATEN VIGOROUS AND HEALTHY PLANT GROWTH. SUCH SITE VISITS SHALL BE CONDUCTED AT A MINIMUM OF ONCE PER MONTH FOR TWELVE (12) MONTHS FROM THE DATE OF FINAL ACCEPTANCE.

B. MAINTENANCE OF PLANT MATERIALS:

1. MAINTAIN PLANTINGS DURING INSTALLATION UNTIL FINAL ACCEPTANCE.
2. MAINTENANCE SHALL INCLUDE PRUNING (FOLLOWING REVIEW WITH THE LANDSCAPE ARCHITECT), CULTIVATING, WEEDING, WATERING AND APPLICATION OF APPROPRIATE INSECTICIDES AND FUNGICIDES NECESSARY TO MAINTAIN PLANTS FREE OF INSECTS AND DISEASE.
3. RESET SETTLED PLANTS TO PROPER GRADE AND POSITION. RESTORE BEING SAUCER AND ADJACENT MATERIAL, AND REMOVE DEAD MATERIAL.
4. CORRECT DEFECTIVE WORK AS SOON AS POSSIBLE AFTER DEFICIENCIES BECOME APPARENT AND WEATHER AND SEASON PERMIT.
5. WATER PLANTS AND GROUND COVER BEDS WITHIN THE FIRST 24 HOURS OF INITIAL PLANTING, THEN WATER PLANTS NO LESS THEN TWICE PER WEEK UNTIL FINAL ACCEPTANCE WHEN IT HAS NOT RAINED OVER 1" IN THE PAST CONSECUTIVE SEVEN DAYS.
6. REMOVE AND REPLACE SHRUBS AND GROUND COVER FOUND TO BE DEAD OR IN UNHEALTHY CONDITION DURING THE WARRANTY PERIOD. REPLACE TREES AND SHRUBS WHICH ARE IN DOUBTFUL CONDITION AT END OF WARRANTY PERIODS UNLESS, IN OPINION OF LANDSCAPE ARCHITECT, IT IS ADVISABLE TO EXTEND WARRANTY PERIOD FOR A FULL PLANTING SEASON.
7. MAINTENANCE SHALL ALSO INCLUDE FOLLOW-UP, AT THE END OF THE WARRANTY PERIOD, PRIOR TO RETAINAGE RELEASE.

IRRIGATION NOTES & SPECIFICATIONS

PART 1: GENERAL

1.1 DESCRIPTION:

- A. UNLESS OTHERWISE INSTRUCTED BY THE OWNER, THE CONTRACTOR SHALL FURNISH AND INSTALL A TEMPORARY SURFACE IRRIGATION SYSTEM TO PROVIDE COMPLETE IRRIGATION COVERAGE FOR THE ESTABLISHMENT OF THE PROPOSED AND EXISTING LANDSCAPE IMPROVEMENTS.
- B. THE TEMPORARY SURFACE IRRIGATION SYSTEM SHALL BE REMOVABLE, WITHOUT SIGNIFICANT OR DETRIMENTAL DISTURBANCE TO THE SITE OR LANDSCAPE.
- C. ALL ABOVE GROUND, VISUAL COMPONENTS OF THE TEMPORARY SURFACE IRRIGATION SYSTEM WILL BE REMOVED NO LATER THAN 1 CALENDAR YEAR FOLLOWING THE DATE OF FINAL ACCEPTANCE OF THE TEMPORARY SURFACE IRRIGATION SYSTEM OR UNTIL THE NEWLY INSTALLED PLANT MATERIALS ARE DEEMED ESTABLISHED BY THE OWNER.
- D. THE CONTRACTOR SHALL SUBMIT PLAN AND SYSTEM INFORMATION TO THE OWNER FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.

Merin Road Community Master Plant List									
TYPE	SYMBOL	NUMBER	BOTANICAL NAME	COMMON NAME	SPECIFICATIONS				
					CALIPER	HEIGHT	SPREAD	ROOT	OTHER
SHADE DECIDUOUS TREES	AS	12	<i>Acer saccharum</i>	Sugar Maple	2-1/2"	12-14'	8'	B&B	Matched
	QE	8	<i>Quercus shumardii</i>	Shumard Oak	2-1/2"	12-14'	8'	B&B	Matched
	ZS	6	<i>Zelkova serrata</i>	Green Vase' Zelkova	2-1/2"	12-14'	8'	B&B	Matched
	LR	77	<i>Liquidambar styraciflua 'Rotundifolia'</i>	Frattess Sweetgum	2-1/2"	12-14'	8'	B&B	Matched
	NS	8	<i>Nyssa sylvatica</i>	Black Gum	2-1/2"	12-14'	8'	B&B	Matched
QA	9	<i>Quercus alba</i>	White Oak	2-1/2"	12-14'	8'	B&B	Matched	

CANOPY EVERGREEN TREES	QV	7	<i>Quercus virginiana</i>	Live Oak	2-1/2"	12-14'	8'	B&B	Full to Ground
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UNDERSTORY DECIDUOUS TREES	CF	19	<i>Cornus florida</i>	Flowering Dogwood	2"	8'	6'	B&B	Multi-Stem
	CC	11	<i>Cercis canadensis</i>	Eastern Redbud	2"	8'	6'	B&B	Multi-Stem
	PC	2	<i>Pistache chinensis</i>	Pistache	2"	8'	6'	B&B	Matched
	CV	8	<i>Chionodoxa virginicus</i>	Fringe Tree	2"	8'	6'	B&B	Multi-Stem

UNDERSTORY EVERGREEN TREES	CL	10	<i>Prunus caroliniana</i>	Cherry Laurel	2"	8'	6'	B&B	Full to Ground
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DECIDUOUS SHRUBS	WH	14	<i>Ilex verticillata</i>	Winterberry Holly	N/A	3'	3'	CONT.	Full to Ground
	VW	12	<i>Ilex virginica</i>	Wignia Willow	N/A	3'	3'	CONT.	Full to Ground

EVERGREEN SHRUBS	LI	111	<i>Ligustrum Japonicum</i>	Japanese Privet	N/A	4'	3'	CONT.	Full to Ground
	PL	28	<i>Prunus laurocerasus 'Otto Luyken'</i>	Otto Luyken	N/A	3'	3'	CONT.	Full to Ground
	AG	9	<i>Abelia x grandiflora 'Canyon Creek'</i>	Canyon Creek Abelia	N/A	3'	3'	CONT.	Full to Ground
	IG	56	<i>Ilex glabra</i>	Irkberry Holly	N/A	3'	3'	CONT.	Full to Ground
IC	45	<i>Ilex cornuta 'Carissa'</i>	Carissa Holly	N/A	3'	3'	CONT.	Full to Ground	

Consultant:



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Seat:

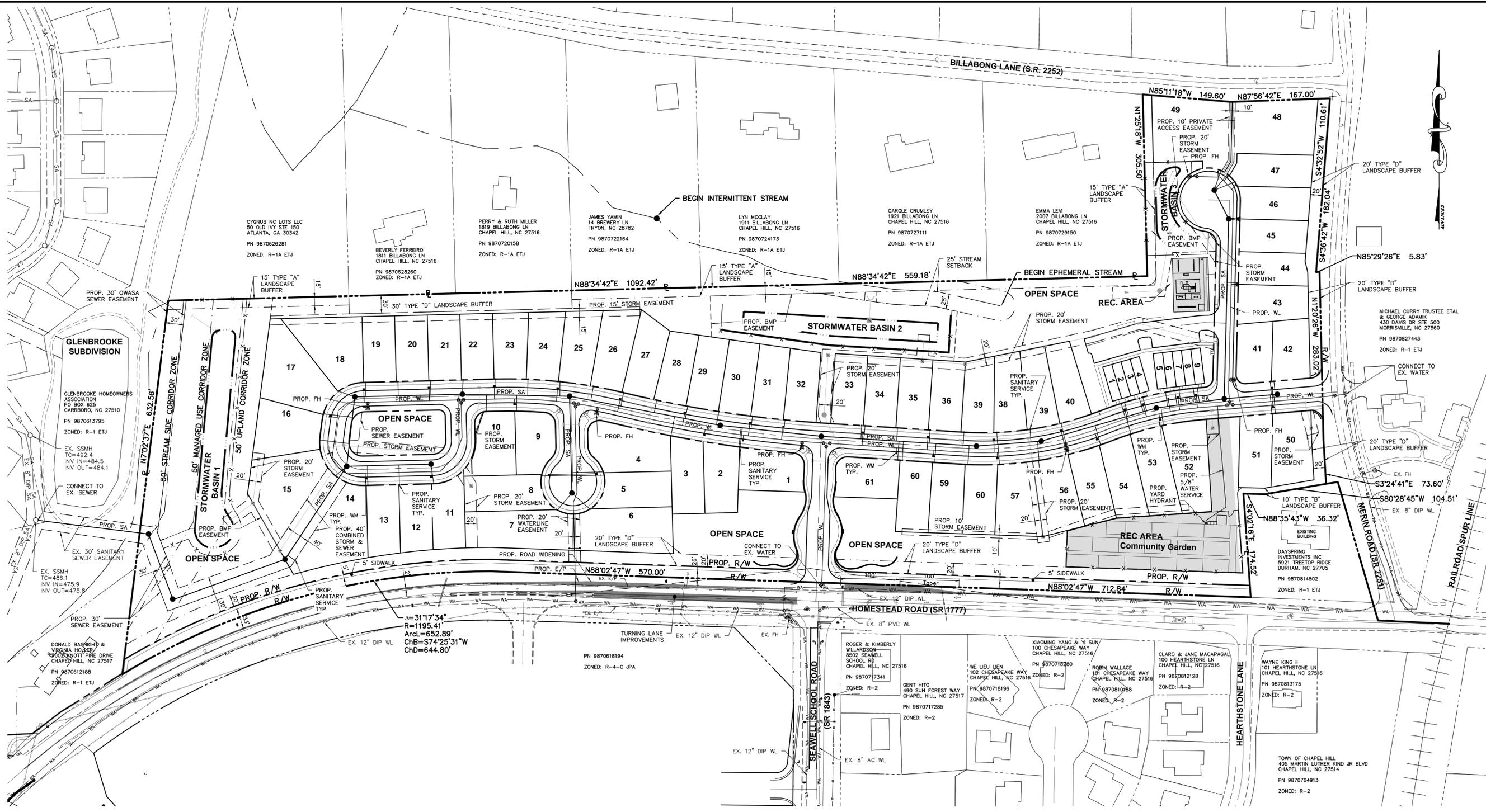
Project Name:
Merin Road Community
Address:
Homestead Road
Chapel Hill, North Carolina
SPECIAL USE PERMIT PLANS - NOT FOR CONSTRUCTION

Revision Schedule			
Rev	Date	By	Description

MDG Project #:	000149
DATE:	9-10-2015
Design By:	RMM/TAW
Checked by:	MDG
T.O.C.H. File #:	
T.O.C.H. Project #:	

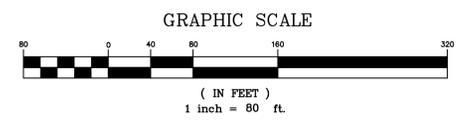
Sheet Title:
LANDSCAPE NOTES & PLANT LIST

Sheet Number:
9H/12



MINIMUM REQUIRED FIRE FLOW	
SINGLE FAMILY (< 3,600 SF)	1,000 GAL/MIN
MULTI-FAMILY	1,750 GAL/MIN

- LEGEND**
- PROPOSED STORM SEWER
 - PROPOSED SANITARY
 - PROPOSED WATERLINE
 - EXISTING UTILITY POLE
 - ST EXISTING STORM SEWER
 - SA EXISTING SANITARY SEWER MAIN
 - WA EXISTING WATERLINE



PLAN PREPARED BY:

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PLAN PREPARED FOR:

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MERIN ROAD COMMUNITY
SPECIAL USE PERMIT PLANS
FOR
CAPKOV VENTURES, INC.
UTILITY PLAN

HOMESTEAD ROAD, CHAPEL HILL, NC - ORANGE COUNTY

PRELIMINARY

09/11/2015

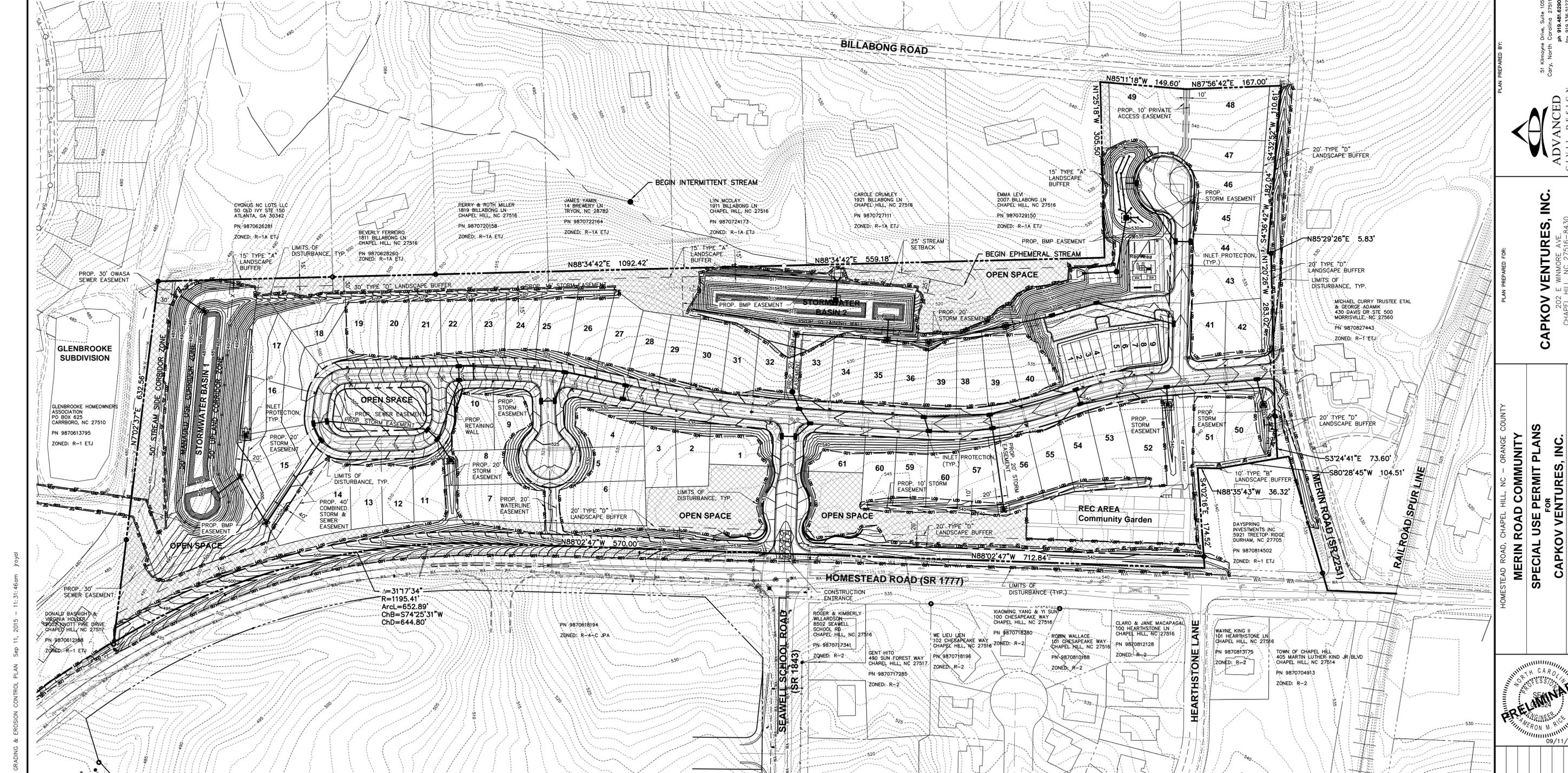
Issue Dates:
06/29/2015 - Initial Submittal
09/11/2015 - Response to 1st Review Comments

Date: 09/11/2015
Scale: 1" = 80'

Drawn By: CMR
Checked By: JDW

Project Number:
14-0001-651

Drawing Number:
10 / 12



O:\14-0001-651NC\DWG\Production Drawings\Special Use Permits\14-0001-651-SUPT1.dwg GRADING & EROSION CONTROL PLAN Sep 11, 2015 11:31:46am Jroyal

NOTE:
 BMPS TO BE UTILIZED AS SEDIMENTATION CONTROL DEVICES DURING GRADING OPERATIONS.

TOTAL DISTURBED AREA = 14.3 AC.

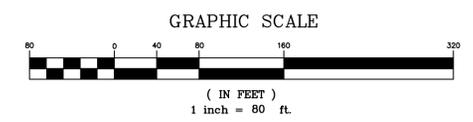
EXISTING IMPERVIOUS SURFACES

BUILDINGS	= 7,771 SF
DRIVEWAYS	= 11,645 SF
TOTAL	= 19,416 SF

PROPOSED IMPERVIOUS SURFACES

BUILDINGS	= 150,696 SF
DRIVEWAYS	= 64,988 SF
ROADWAYS	= 87,431 SF
PARKING LOT	= 3,134 SF
SIDEWALK	= 33,375 SF
TOTAL	= 339,624 SF

- LEGEND**
- 916--- EXISTING CONTOUR - 1'
 - 915--- EXISTING CONTOUR - 5'
 - ST--- EXISTING STORM SEWER
 - SA--- EXISTING SANITARY SEWER
 - WA--- EXISTING WATER LINE
 - 916--- PROPOSED CONTOUR - 1'
 - 915--- PROPOSED CONTOUR - 5'
 - SF--- PROPOSED SILT FENCE
 - >--- SURFACE FLOW ARROW
 - LOD--- LIMITS OF DISTURBANCE
 - [Symbol]--- INLET PROTECTION
 - [Symbol]--- DIVERSION DITCH
 - [Symbol]--- TREE SAVE AREA
 - [Symbol]--- CONSTRUCTION ENTRANCE



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PLAN PREPARED FOR:
 MERIN ROAD COMMUNITY
 HOMESTEAD ROAD, CHAPEL HILL, NC - ORANGE COUNTY

SPECIAL USE PERMIT PLANS
 FOR
 GRADING & EROSION CONTROL PLAN

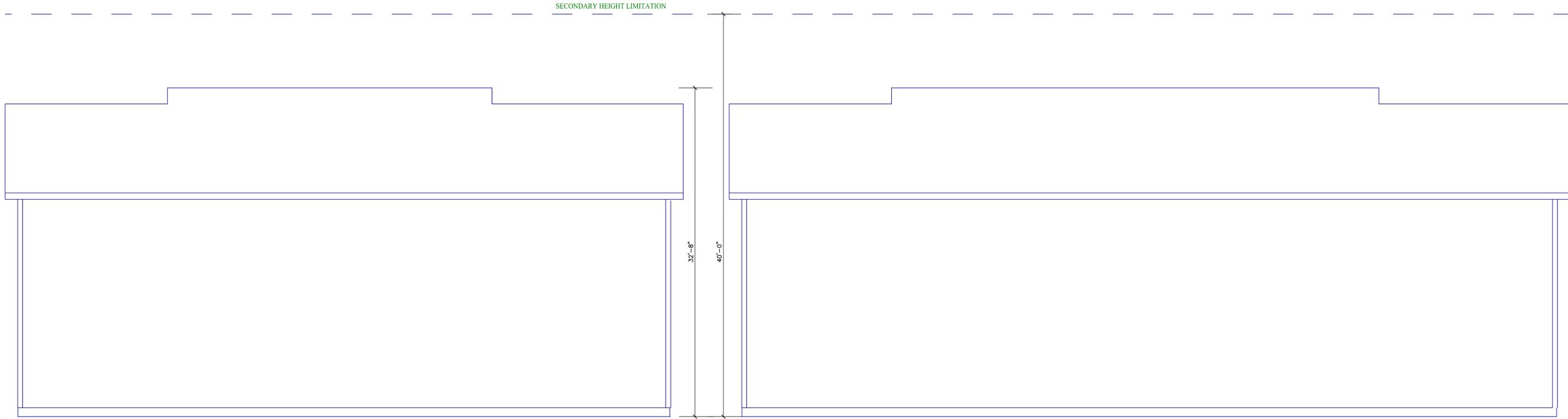
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14-0001-651
 Drawing Number:
11 / 12

09/11/2015

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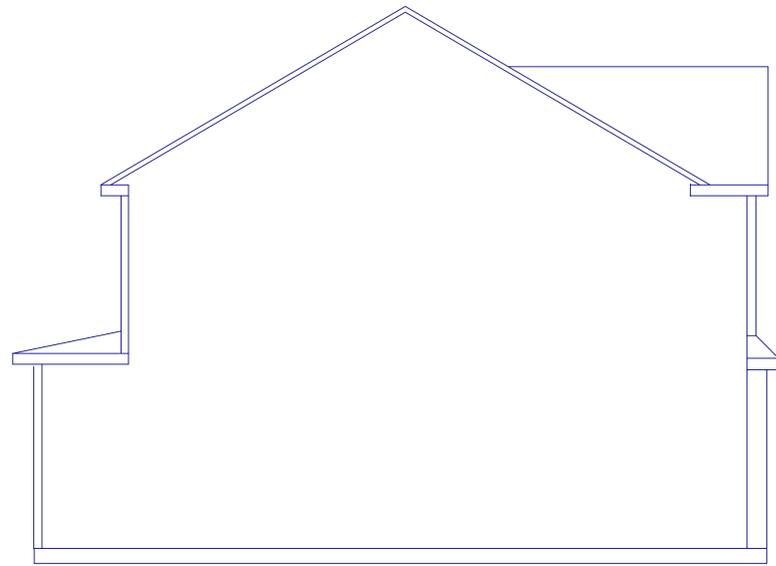


4-UNIT TOWNHOME - FRONT ELEVATION

SCALE: 1" = 10'

5-UNIT TOWNHOME - FRONT ELEVATION

SCALE: 1" = 10'



TOWNHOME - SIDE ELEVATION

SCALE: 1" = 10'

Issue Dates:

06/29/2015 - Initial Submittal
09/11/2015 - Response to 1st Review Comments

Date: 09/11/2015

Scale: AS NOTED

Drawn By: CMR
Checked By: JDW

Project Number:

14-0001-651

Drawing Number:

12 / 12

HOMESTEAD ROAD, CHAPEL HILL, NC - ORANGE COUNTY

MERIN ROAD COMMUNITY

SPECIAL USE PERMIT PLANS

FOR

CAPKOV VENTURES, INC.

ARCHITECTURAL ELEVATIONS

PLAN PREPARED FOR:

CAPKOV VENTURES, INC.

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PHONE: 919-942-8005

PLAN PREPARED BY:



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