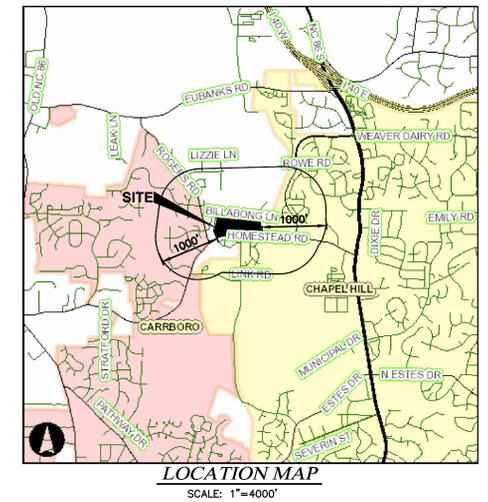


SPECIAL USE PERMIT PLANS

MERIN ROAD COMMUNITY

PINS: 9870710609, 9870811605, & 9870822048
CHAPEL HILL, NC
2015



PLAN PREPARED FOR:
CAPKOV VENTURES, INC.
 202 E WINMORE AVE.
 CHAPEL HILL, NC 27511
 PHONE: 919-942-8005

PLAN PREPARED BY:
ADVANCED CIVIL DESIGN
 ENGINEERS SURVEYORS
 51 Kilmayne Drive, Suite 105
 Cary, North Carolina 27511
 ph 919-481-6990
 fax 919-336-5127

PROJECT FACT SHEET
TOWN OF CHAPEL HILL
Planning Department

Section A: Project Information

Application type: Special Use Permit Date: June 29, 2015

Project Name: Merin Road Community

Use Type: (check/list all that apply)

Office/Institutional Residential Mixed-Use Other: _____

Overlay District: (check all those that apply)

Historic District Neighborhood Conservation District Airport Hazard Zone

Section B: Land Area

Net Land Area (NLA): Area within zoning lot boundaries	NLA=	1,076,181	sq. ft.
Choose one, or both, of the following (a or b), not to exceed 10% of NLA	a) Credited Street Area (total adjacent frontage) x 1/2 width of public right-of-way	CSA=	103,130
	b) Credited Permanent Open Space (total adjacent frontage) x 1/2 public or dedicated open space	COS=	4,488
TOTAL NLA + CSA and/or COS = Gross Land Area (not to exceed NLA + 10%)	GLA=	1,183,799	sq. ft.

Section C: Special Protection Areas, Land Disturbance, and Impervious Area

Special Protection Areas: (check all those that apply)

Jordan Buffer Resource Conservation District 100 Year Floodplain Watershed Protection District

Land Disturbance

Area of Land Disturbance (Includes: Footprint of proposed activity plus work area envelope, staging area for materials, access/equipment paths, all grading, including off-site clearing)	Total (sq ft)
Area of Land Disturbance within RCD	0
Area of Land Disturbance within Jordan Buffer	0

Impervious Areas

Existing (sq ft)	Demolition (sq ft)	Proposed (sq ft)	Total (sq ft)
19,416	19,416	339,624	339,624
Impervious Surface Area (ISA)			
Impervious Surface Ratio: Percent Impervious Surface Area of Gross Land Area (ISA/GLA) %	1.64%	1.64%	28.9%
If located in Watershed Protection District, % of impervious surface on 7/1/1993	N/A	N/A	N/A

Page 2 of 10
Revised 02.04.14 Permit Number: _____

PROJECT FACT SHEET
TOWN OF CHAPEL HILL
Planning Department

Section D: Dimensions

Dimensional Unit (sq ft)	Existing (sq ft)	Demolition (sq ft)	Proposed (sq ft)	Total (sq ft)
Number of Buildings	(3) 7,771	(3) 7,771	6169 (640sf-TH)	6169 (640sf-TH)
Number of Floors	2-1 & 1-1.5	2-1 & 1-1.5	2-3	2-3
Recreational Space	0	0	39,446	39,446

Residential Space

Dimensional Unit (sq ft)	Existing (sq ft)	Demolition (sq ft)	Proposed (sq ft)	Total (sq ft)
Floor Area (all floors - heated and unheated)	5,531	5,351	n/a	n/a
Total Square Footage of All Units	4,553	4,553	n/a	n/a
Total Square Footage of Affordable Units	0	0	11,520	11,520
Total Residential Density	0.11 units/ac	0.11 units/ac	2.57 units/ac	2.57 units/ac
Number of Dwelling Units	3	3	70	70
Number of Affordable Dwelling Units	0	0	9	9
Number of Single Bedroom Units	3	3	0	0
Number of Two Bedroom Units	0	0	5	5
Number of Three Bedroom Units	0	0	19	19
Number of Four Bedroom Units	0	0	46	46

Non-Residential Space (Gross Floor Area in Square Feet)

Use Type	Existing	Proposed	Uses	Existing	Proposed
Commercial					
Restaurant			# of Seats		
Government					
Institutional					
Medical					
Office					
Hotel			# of Rooms		
Industrial					
Place of Worship			# of Seats		
Other					

Project Perimeter Dimensional Requirements (does not apply to interior lots)

Setbacks (minimum)	Required by Ordinance	Existing	Proposed
Street	28'	n/a	0' (1)
Interior (neighboring property lines)	14'	n/a	0' (1)
Solar (northern property line)	17'	n/a	0' (1)
Height (maximum)	29'	n/a	n/a
Primary	40'	n/a	n/a
Secondary	64'	varies	55' (2)
Streets	80'	varies	54' r/w (3)

(1) Front & Rear = 0', Side = 0' (for side yards 12-ft separation to be maintained between buildings)
 (2) R/W frontage less than 55' are Lots 6 & 7 = 30', Lot 14 = 48', Lots 17 & 18 = 46', & Lot 47 = 32'
 (3) Western loop road & eastern cul-de-sac street propose r/w less than 54', see Section F below.

Page 3 of 10
Revised 02.04.14 Permit Number: _____

PROJECT FACT SHEET
TOWN OF CHAPEL HILL
Planning Department

Section E: Adjoining or Connecting Streets and Sidewalks

(Note: For approval of proposed street names, contact the Engineering Department)

Street Name	Right-of-way Width	Pavement Width	Number of Lanes	Existing Sidewalk*	Existing curb/gutter
Homestead Road (SR 1127)	80'	27'	2	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No
Merin Road (SR 2251)	50'	18'	2	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No
Billabong Lane (SR 2252)	60'	18'	2	<input type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No

List Proposed Points of Access (Ex: Number, Street Name):

*If existing sidewalks do not exist and the applicant is adding sidewalks, please provide the following information:

Street Names	Dimensions	Surface	Handicapped Ramps
Local Public Streets - (1,915 lf +/-)	27' b/b 54' r/w	Asphalt	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A
Local Public Streets - (342 lf +/-)	27' b/b 35' r/w	Asphalt	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A
Local Public Streets - (593 lf +/-)	27' b/b 49.5' r/w	Asphalt	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A

Section G: Parking Information

Parking Spaces	Minimum	Maximum	Proposed
Regular Spaces	13	18	18
Handicap Spaces	0	0	0
Total Spaces	13	18	18
Loading Spaces	0	0	0
Bicycle Spaces	3	n/a	4
Surface Type	Asphalt		

Section H: Landscape Buffers

Location (North, South, Street, Etc.)	Minimum Width	Proposed Width	Alternate Buffer	Modify Buffer
Homestead Road (1)	20'	20'	<input type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No
Merin Road (2)	15'	20'	<input type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No
Billabong Ln. Residences (1) (3)	10'	15' & 30'	<input type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No
Southeast	10'	10'	<input type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No

(1) Per Section 5.6.6 of the LUMO
 (2) Buffer increased in good faith per discussions with The Episcopal Church of the Advocate
 (3) Buffer increased in good faith per discussions with Miller & Ferreiro families

Page 4 of 10
Revised 02.04.14 Permit Number: _____

PROJECT FACT SHEET
TOWN OF CHAPEL HILL
Planning Department

Section I: Land Use Intensity

Existing Zoning District: _____
 Proposed Zoning Change (if any): _____

Note: Refer to Table 3.8-1 (Dimensional Matrix) in the Land Use Management Ordinance for help completing this table.

Zoning - Area - Ratio	Floor Area Ratio (FAR)	Recreation Space Ratio (RSR)	Low Density Residential (0.24)	High Density Residential (0.50)	Non-Residential (0.70)	Maximum Floor Area (MFA) = FAR x GLA	Minimum Recreation Space (MSR) = RSR x GLA
R-1 & R-1A	n/a	0.025	n/a	0.50	n/a	n/a	29,595 sq ft
TOTAL							
RCD Streamside	0.01						
RCD Managed	0.019						
RCD Upland							

Section J: Utility Service

Check all that apply

Water	<input checked="" type="checkbox"/> OWASA	<input type="checkbox"/> Individual Well	<input type="checkbox"/> Community Well	<input type="checkbox"/> Other
Sewer	<input checked="" type="checkbox"/> OWASA	<input type="checkbox"/> Individual Septic Tank	<input type="checkbox"/> Community Package Plant	<input type="checkbox"/> Other
Electrical	<input checked="" type="checkbox"/> Underground	<input type="checkbox"/> Above Ground		
Telephone	<input checked="" type="checkbox"/> Underground	<input type="checkbox"/> Above Ground		
Solid Waste	<input checked="" type="checkbox"/> Town	<input type="checkbox"/> Private		

Page 5 of 10
Revised 02.04.14 Permit Number: _____

OWNERS

BURCH FAMILY PROPERTIES LLC
5502 CRAIG ROAD
DURHAM, NC 27712

HOMESTREAM GROUP LLC
PO BOX 2334
CHAPEL HILL, NC 27515

JAMES THOMAS LOVE, JR
3150 LAUREL RIDGE ROAD
HICKORY, NC 28601

DEVELOPER

CAPKOV VENTURES, INC.
202 E WINMORE AVE.
CHAPEL HILL, NC 27511
PHONE: 919.942.8005

ENGINEER/SURVEYOR

ADVANCED CIVIL DESIGN, INC.
51 KILMAYNE DRIVE, SUITE 105
CARY, NC 27511
PHONE (919) 481-6290
FAX (919) 336-5127

LANDSCAPE ARCHITECT

MULLIS DESIGN GROUP, PLLC
133 KEYBRIDGE DRIVE, SUITE E
MORRISVILLE, NC 27560
PHONE (941) 400-1624

SHEET INDEX

- 1 COVER SHEET
- 2 AREA MAP
- 3 EXISTING CONDITIONS PLAN
- 4 DETAILED SITE PLAN
- 5 OVERALL STORMWATER MANAGEMENT PLAN
- 6-7 STORMWATER MANAGEMENT PLAN
- 8 LANDSCAPE PROTECTION PLAN
- 9A PERIMETER BUFFER & TREE CANOPY CALCULATIONS
- 9B PERIMETER BUFFER LAYOUT
- 9C PARKING LOT SHADE & SCREENING PLAN
- 10 UTILITY PLAN
- 11 GRADING & EROSION CONTROL PLAN
- 12 ARCHITECTURAL ELEVATIONS

Issue Dates:
06/29/2015 - Initial Submittal

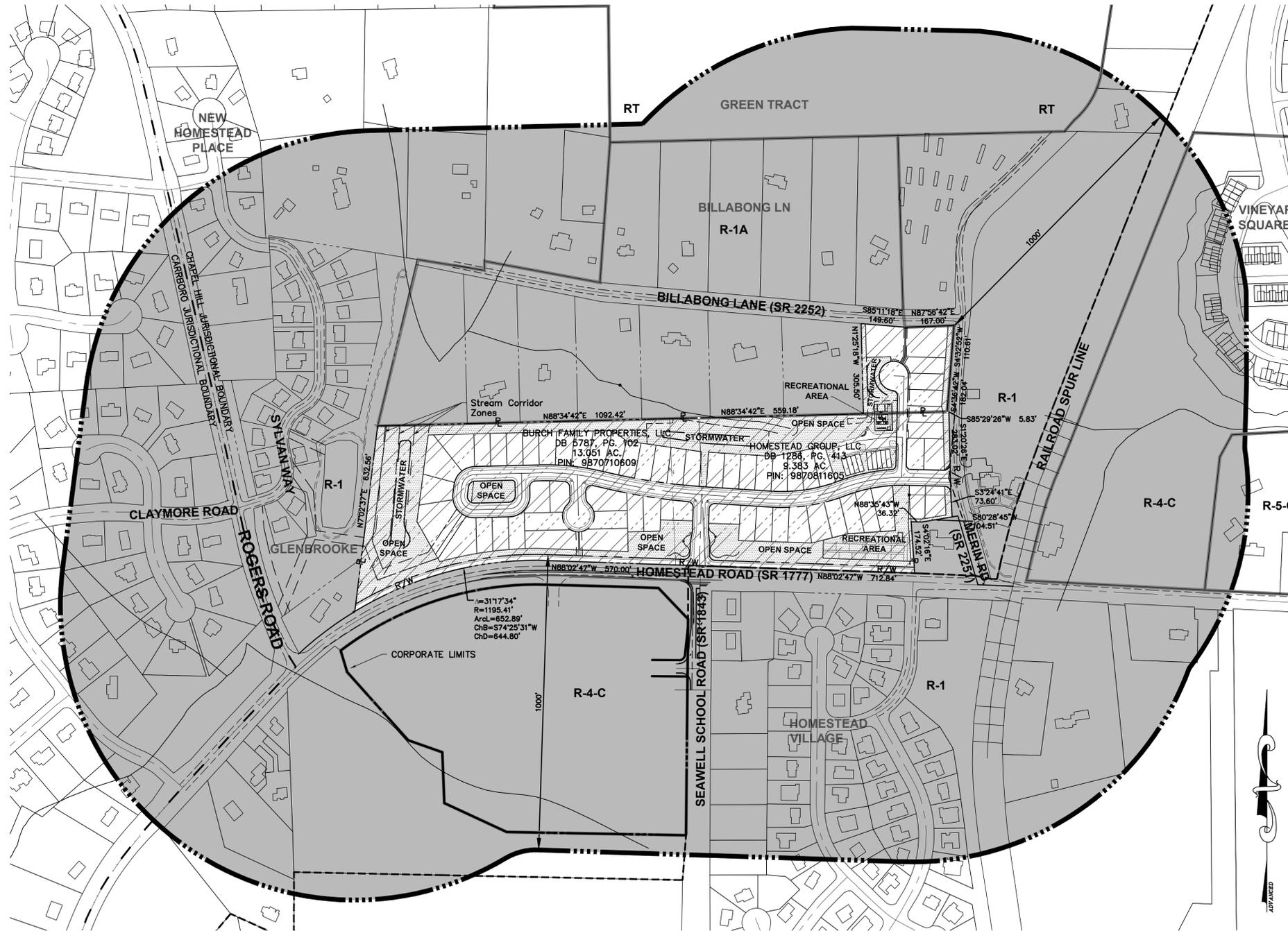
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Checked By: JDW

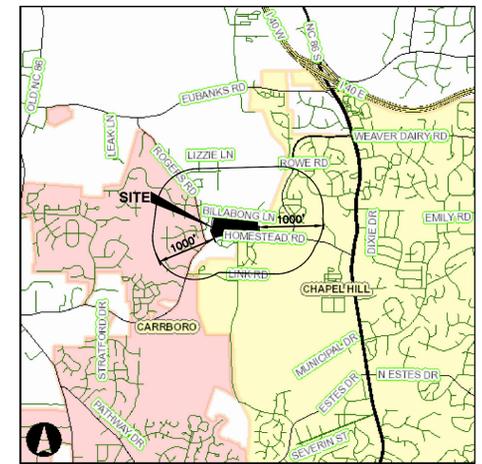
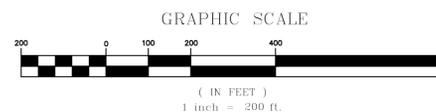
Project Number:
14-0001-651

Drawing Number:
1 / 12

C:\14-0001-651NC\Production Drawings\Special Use Permit\14-0001-651-SUP02.dwg AREA MAP Jun 26, 2015 1:28:49pm Foyal



AREA MAP
SCALE 1" = 200'



LOCATION MAP
SCALE: 1"=4000'

SITE DATA TABLE

PROJECT NAME:	MERRIN ROAD COMMUNITY
APPLICANT:	ADVANCED CIVIL DESIGN, INC. 51 KILMAYNE DRIVE, SUITE 105 CARY, NC 27511
PARCEL ID NUMBERS:	9870710609, 9870811605, & 9870822048
LAND AREA CALCULATIONS	
NET LAND AREA:	24.706 ACRES
CREDITED STREET AREA:	1.775 ACRES (1/2 HOMESTEAD R/W)
CREDITED STREET AREA:	0.368 ACRES (1/2 MERRIN RD R/W)
CREDITED STREET AREA:	0.225 ACRES (1/2 BILLABONG LN R/W)
CREDITED PERMANENT OPEN SPACE:	0.103 ACRES (GLENBROOKE SUBDIVISION)
TOTAL GROSS LAND AREA (GLA):	27.177 ACRES (USED FOR DENSITY CALCULATION)
CURRENT ZONING:	R-1 & R-1A
OUTSIDE CORPORATE LIMITS:	YES (ANNEXATION REQUIRED)
OUTSIDE WATERSHED PROTECTION DISTRICT:	YES
OUTSIDE FLOODPLAIN:	YES
OVERLAY DISTRICTS:	NONE
EXISTING LAND USE:	SINGLE FAMILY
PROPOSED LAND USE:	R-1 WITH SPECIAL USE PERMIT
ALLOWABLE DENSITY R-1A:	2 UNITS/AC GROSS LAND AREA = 2,821 AC # UNITS ALLOWED = 5.6
ALLOWABLE DENSITY R-1:	3 UNITS/AC GROSS LAND AREA = 24,356 AC # UNITS ALLOWED = 73.1
TOTAL ALLOWABLE DENSITY:	78 (R-1 & R-1A)
PROPOSED SINGLE FAMILY UNITS:	61
PROPOSED AFFORDABLE UNITS:	9
PROPOSED TOTAL # OF UNITS:	70
PROPOSED MINIMUM LOT SIZE:	6,000 SF
RECREATION SPACE REQUIRED:	29,595 SF (2.5%)
RECREATION SPACE PROVIDED:	39,446 SF
PROPOSED LOT SETBACKS:	
FRONT SETBACK:	0'
SIDE SETBACK:	0'
SIDE CORNER SETBACK:	0'
REAR SETBACK:	0'
PROPOSED BUILDING SEPARATION:	12'

LEGEND

	CHAPEL HILL CORPORATE LIMITS
	ZONING BOUNDARY
	1000' NOTIFICATION LINE
	PROPERTY'S WITHIN NOTIFICATION AREA
	PROPOSED SITE
	OPEN SPACE

PLAN PREPARED BY:
ADVANCED CIVIL DESIGN
ENGINEERS SURVEYORS

PLAN PREPARED FOR:
CAPKOV VENTURES, INC.
202 E WINNEMORE AVE. #4-30
CHAPEL HILL, NC 27517
PHONE: 919-942-8005

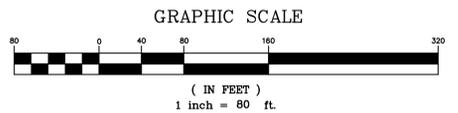
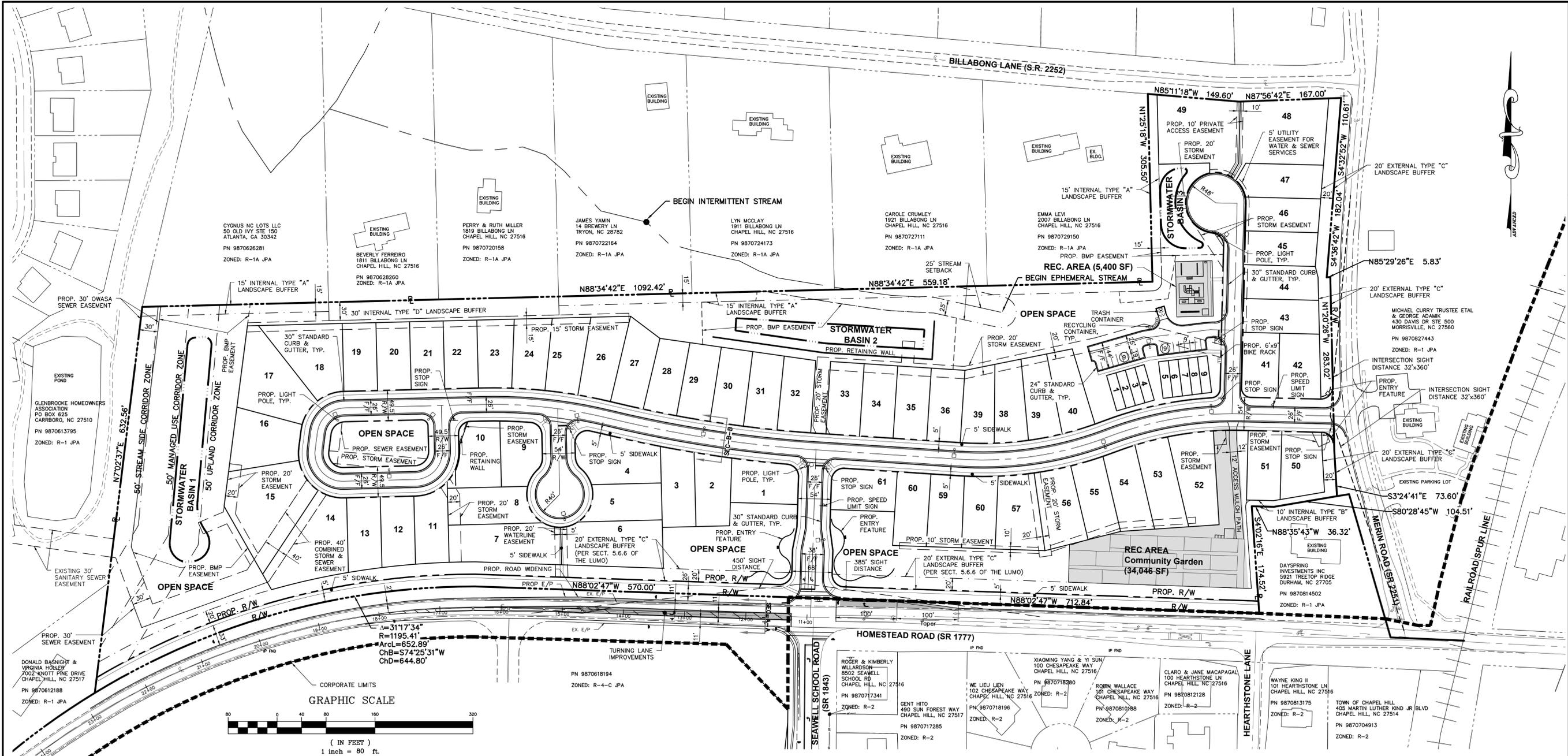
HOMESTEAD ROAD, CHAPEL HILL, NC - ORANGE COUNTY
MERRIN ROAD COMMUNITY
SPECIAL USE PERMIT PLANS
FOR
CAPKOV VENTURES, INC.
AREA MAP



Issue Dates:
06/29/2015 - Initial Submittal

Date: 06/29/2015
Scale: AS NOTED
Drawn By: CMR
Checked By: JDW
Project Number:
14-0001-651
Drawing Number:
2 / 12

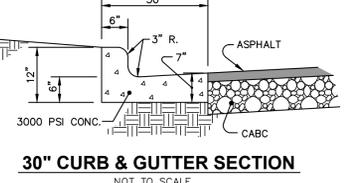
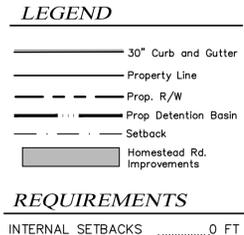
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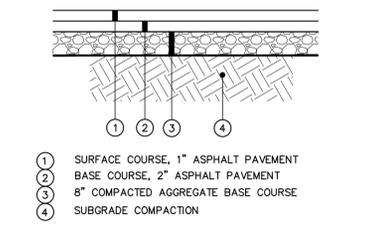
SITE DATA TABLE

PROJECT NAME:	MERIN ROAD COMMUNITY	PROPOSED LOT SETBACKS:	FRONT SETBACK: 0'
APPLICANT:	ADVANCED CIVIL DESIGN, INC. 51 KILWAYNE DRIVE, SUITE 105 CARY, NC 27511	SIDE SETBACK: 0'	SIDE CORNER SETBACK: 0'
PARCEL ID NUMBERS:	9870710609, 9870811605, & 9870822048	REAR SETBACK: 0'	
LAND AREA CALCULATIONS		PROPOSED BUILDING SEPARATION:	12'
NET LAND AREA:	24.708 ACRES	VEHICULAR PARKING REQUIRED:	5 - 2 BDRM UNITS 4 - 3 BDRM UNITS MIN. = 1.25 SPACES/# OF 2 BDRM UNITS MAX. = 1.75 SPACES/# OF 2 BDRM UNITS MIN. = 1.50 SPACES/# OF 3 BDRM UNITS MAX. = 2.25 SPACES/# OF 3 BDRM UNITS MIN. REQUIRED: 13 SPACES MAX. REQUIRED: 18 SPACES
CREDITED STREET AREA:	1.775 ACRES (1/2 HOMESTEAD R/W)	VEHICULAR PARKING PROVIDED:	18 SPACES
CREDITED STREET AREA:	0.368 ACRES (1/2 MERRIN RD R/W)	BICYCLE PARKING REQUIRED:	1 SPACE / 4 DWELLING UNITS = 3 SPACES
CREDITED STREET AREA:	0.225 ACRES (1/2 BILLABONG LN R/W)	BICYCLE PARKING PROVIDED:	4 SPACES
CREDITED PERMANENT OPEN SPACE:	0.103 ACRES (GLENBROOKE SUBDIVISION)		
TOTAL GROSS LAND AREA (GLA):	27.177 ACRES (USED FOR DENSITY CALCULATION)		
CURRENT ZONING:	R-1 & R-1A		
OUTSIDE CORPORATE LIMITS:	YES (ANNEXATION REQUIRED)		
OUTSIDE WATERSHED PROTECTION DISTRICT:	YES		
OUTSIDE FLOODPLAIN:	YES		
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RECREATION SPACE REQUIRED:	29,595 SF (2.5%)		
RECREATION SPACE PROVIDED:	39,446 SF		

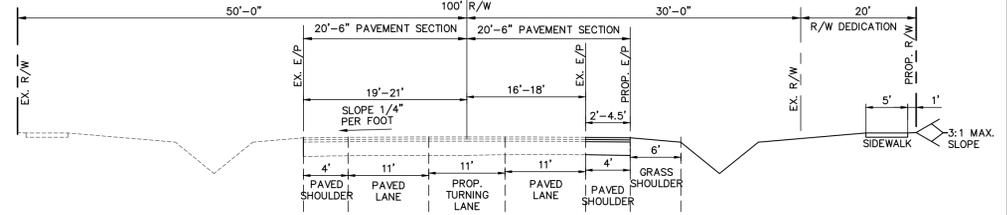
GENERAL NOTES
 A DESCRIPTION AND ANALYSIS OF ADJACENT LAND USES, ROADS, TOPOGRAPHY, SOILS, DRAINAGE PATTERNS, ENVIRONMENTAL CONSTRAINTS, FEATURES, EXISTING VEGETATION, AND VISTAS CAN BE FOUND ON SHEET 3 - EXISTING CONDITIONS PLAN.
 ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
 THE REQUIRED RECREATION SPACE HAS BEEN MET AND EXCEEDED. SEE SITE DATA TABLE ON THIS SHEET.
 ALL TRASH FOR SINGLE FAMILY LOTS WILL BE COLLECTED BY ROLL-OUT CURBSIDE PICK UP. TRASH RECEPTACLES AND A COMMUNITY RECYCLING RECEPTACLE HAS BEEN PROPOSED ON THE NORTH SIDE OF THE TOWN HOMES. PARKING SHOWN FOR THE TOWNHOME LOTS ARE 90 DEGREE BAYS AND SPACE MARKINGS PER TOWN OF CHAPEL HILL CODE FOR PARKING LOTS.
 CURRENTLY, THERE IS NO DIRECT BUS SERVICE TO THE SITE. THE CLOSEST TRANSIT FACILITY IS A 20 MINUTE WALK ACCORDING TO MILA VEGA.
RECREATION SPACE
 THE REQUIRED RECREATION SPACE (0.68 ACRES) HAS BEEN PROVIDED BY THE COMMUNITY GARDEN (0.74 ACRES) AND THE RECREATION AREA (0.12 ACRES).



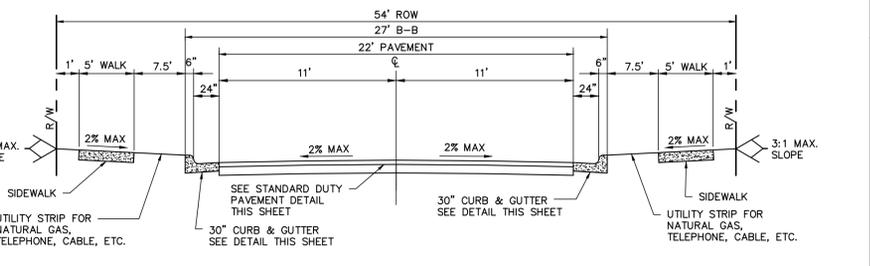
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NOT TO SCALE



STANDARD DUTY PAVEMENT SECTION
NOT TO SCALE



SECTION A-A HOMESTEAD ROAD WIDENING
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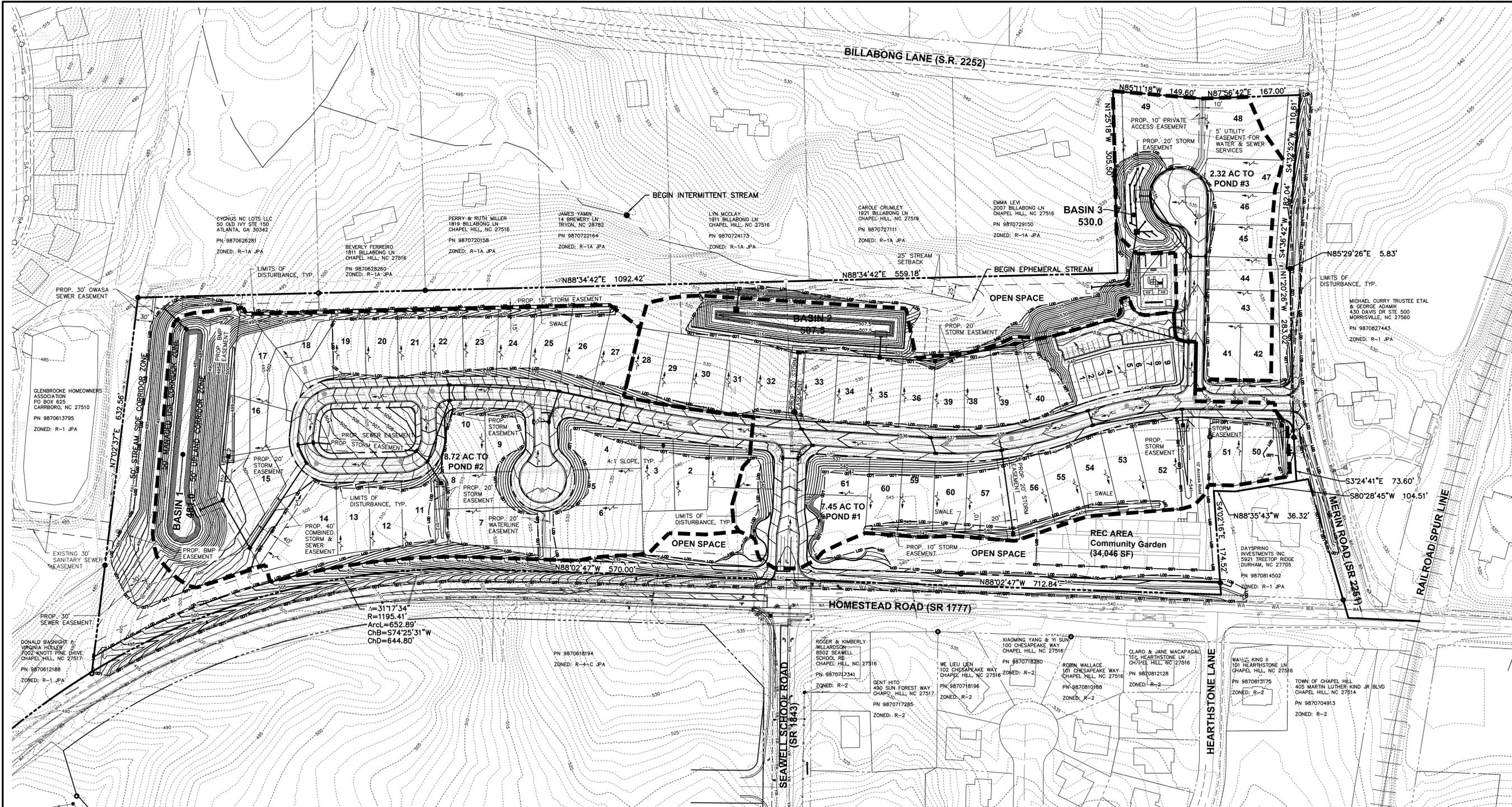
SECTION B-B STANDARD LOCAL STREET SECTION
NOT TO SCALE

PLAN PREPARED BY: 51 Kilwayne Drive, Suite 105, Cary, North Carolina 27511, PH 919.481.6990, FAX 919.336.5127
ADVANCED CIVIL DESIGN ENGINEERS SURVEYORS

PLAN PREPARED FOR: **CAPKOV VENTURES, INC.**
 902 E WINNIE AVE #4-30, CHAPEL HILL, NC 27514, PHONE: 919.942.8005

COUNTY: ORANGE COUNTY
 ROAD: MERIN ROAD COMMUNITY
 SPECIAL USE PERMIT PLANS FOR CAPKOV VENTURES, INC.
 DETAILED SITE PLAN

Issue Date: 06/29/2015 - Initial Submittal
 Date: 06/29/2015
 Scale: 1" = 80'
 Drawn By: CMR
 Checked By: JDW
 Project Number: 14-0001-651
 Drawing Number: 4 / 12



GENERAL NOTES:

TO MINIMIZE DAMAGE TO EXISTING TREES NEAR THE EXTERIOR EDGE OF THE SITE ADJACENT TO TREE CONSERVATION AREAS, THE CONTRACTOR SHALL CUT MINIMUM 2' TRENCHES ALONG THE LIMITS OF DISTURBANCE, SO AS TO CUT RATHER THAN TEAR ROOTS.

THE TREE PROTECTION FENCE SHALL BE MAINTAINED ON THE SITE UNTIL ALL SITE WORK IS COMPLETED AND THE FINAL SITE INSPECTION PRIOR TO THE CERTIFICATE OF OCCUPANCY (CO) IS SCHEDULED. THE FENCING SHALL BE REMOVED PRIOR TO FINAL SITE INSPECTION FOR THE CO.

PERMANENT GROUND COVER WILL BE ESTABLISHED IN 7 TO 14 WORKING DAYS PER NPDES REQUIREMENTS. REFER TO APPROVED SEDIMENT AND EROSION CONTROL PLANS.

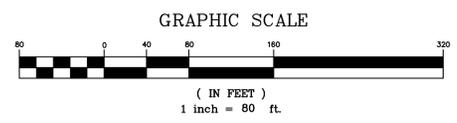
CUT/FILL SLOPES SHALL BE STABILIZED WITHIN 14 DAYS OF ANY PHASE OF GRADING.

A PRE-CONSTRUCTION CONFERENCE WILL BE REQUIRED PRIOR TO THE GRADING PERMIT BEING ISSUED.

STREETS ADJACENT TO THIS PROJECT TO BE KEPT CLEAN AT ALL TIMES OR A WASH STATION WILL BE REQUIRED.

LOTS 41-46 TO BE GRADED DURING BUILDING CONSTRUCTION TO DRAIN TO PROPOSED CUL-DE-SAC STREET.

- LEGEND**
- - - - - 916 - - - - - EXISTING CONTOUR - 1'
 - - - - - 916 - - - - - EXISTING CONTOUR - 5'
 - - - - - ST - - - - - EXISTING STORM SEWER
 - - - - - SA - - - - - EXISTING SANITARY SEWER
 - - - - - WA - - - - - EXISTING WATER LINE
 - - - - - 916 - - - - - PROPOSED CONTOUR - 1'
 - - - - - 916 - - - - - PROPOSED CONTOUR - 5'
 - - - - - PROPOSED STORM SEWER
 - - - - - PROPOSED SANITARY
 - - - - - PROPOSED WATER LINE
 - - - - - LOD - - - - - PROPOSED WATER LINE
 - - - - - DRAINAGE BOUNDARY TO POND
 - - - - - SURFACE FLOW ARROW



PLAN PREPARED BY: **ADVANCED CIVIL DESIGN ENGINEERS SURVEYORS**
 51 Kilmegone Drive, Suite 105
 Cary, North Carolina 27511
 ph 919.481.6990
 fax 919.336.5127

PLAN PREPARED FOR: **CAPKOV VENTURES, INC.**
 902 E WINNABEE AVE #94-30
 CHAPEL HILL, NC 27514
 PHONE: 919.942.8005

HOMESTEAD ROAD, CHAPEL HILL, NC - ORANGE COUNTY
MERIN ROAD COMMUNITY SPECIAL USE PERMIT PLANS FOR CAPKOV VENTURES, INC. OVERALL STORMWATER MANAGEMENT PLAN

Issue Dates:
 06/29/2015 - Initial Submittal

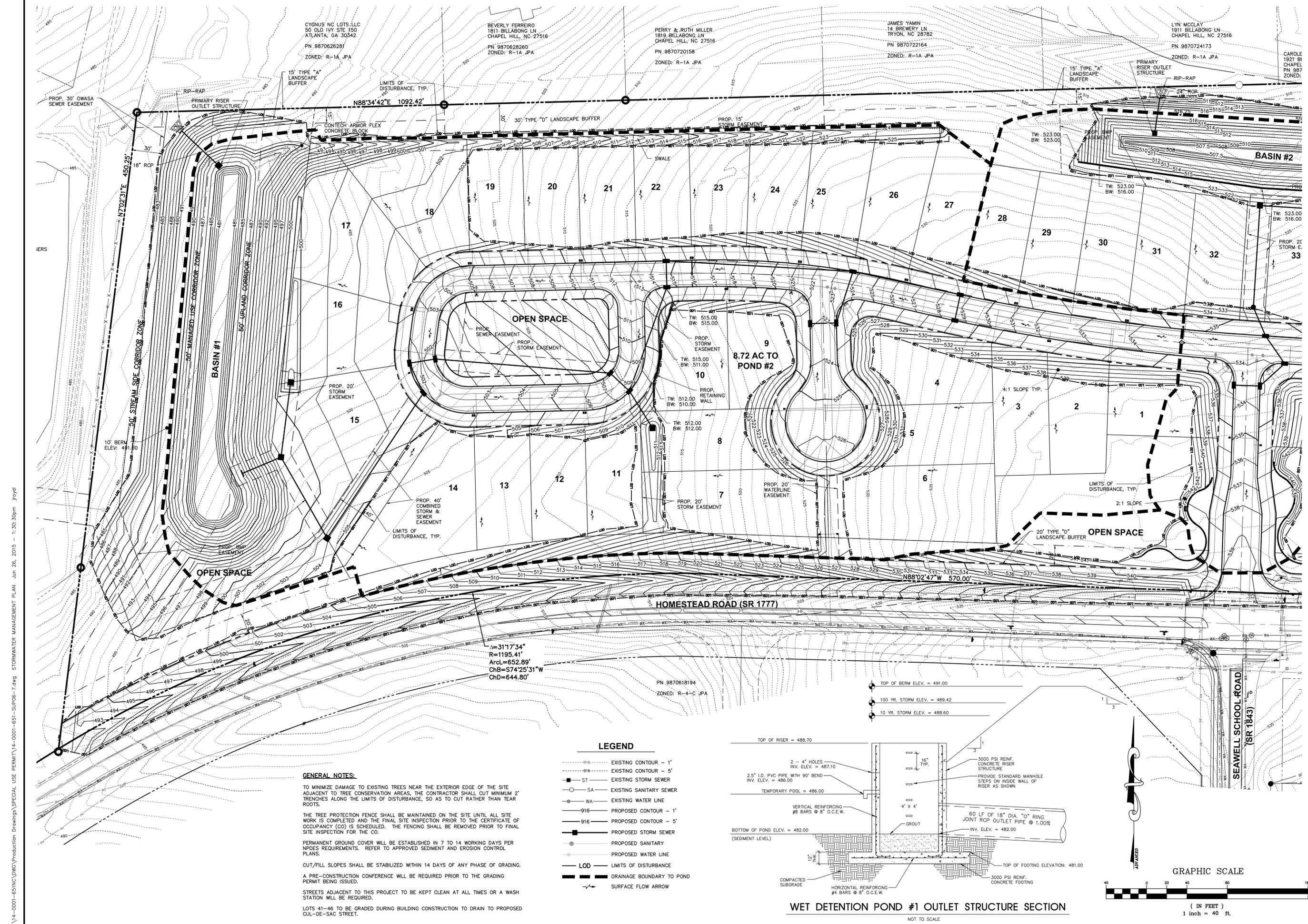
Date: 06/29/2015
 Scale: 1"=80'

Drawn By: CMR Checked By: JDW

Project Number:
14-0001-651

Drawing Number:
5 / 12

PRELIMINARY
 NORTH CAROLINA PROFESSIONAL ENGINEER
 MERON M. RICE
 06/29/2015



O:\14-0001-651NC\DWG\Production Drawings\SPECIAL USE PERMIT\4-0001-651-SUP06-7.dwg STORMWATER MANAGEMENT PLAN Jun 26, 2015 - 1:30:30pm Jroyal

GENERAL NOTES:

TO MINIMIZE DAMAGE TO EXISTING TREES NEAR THE EXTERIOR EDGE OF THE SITE ADJACENT TO TREE CONSERVATION AREAS, THE CONTRACTOR SHALL CUT MINIMUM 2' TRENCHES ALONG THE LIMITS OF DISTURBANCE, SO AS TO CUT RATHER THAN TEAR ROOTS.

THE TREE PROTECTION FENCE SHALL BE MAINTAINED ON THE SITE UNTIL ALL SITE WORK IS COMPLETED AND THE FINAL SITE INSPECTION PRIOR TO THE CERTIFICATE OF OCCUPANCY (CO) IS SCHEDULED. THE FENCING SHALL BE REMOVED PRIOR TO FINAL SITE INSPECTION FOR THE CO.

PERMANENT GROUND COVER WILL BE ESTABLISHED IN 7 TO 14 WORKING DAYS PER NPDES REQUIREMENTS. REFER TO APPROVED SEDIMENT AND EROSION CONTROL PLANS.

CUT/FILL SLOPES SHALL BE STABILIZED WITHIN 14 DAYS OF ANY PHASE OF GRADING.

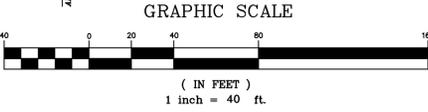
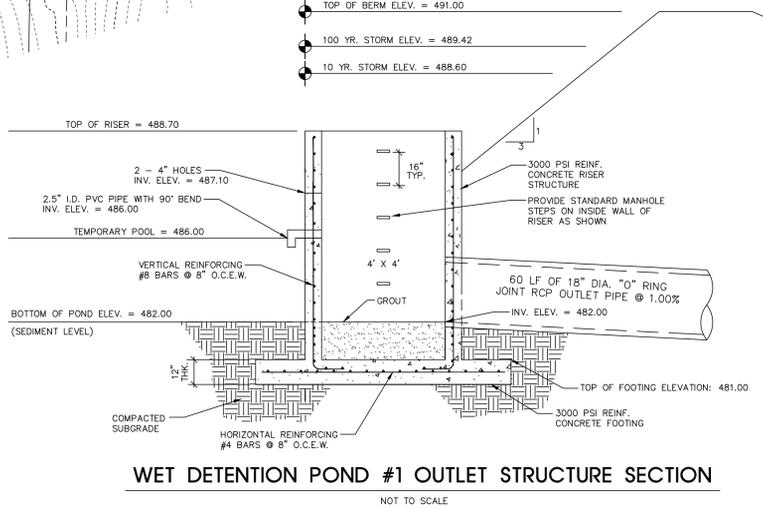
A PRE-CONSTRUCTION CONFERENCE WILL BE REQUIRED PRIOR TO THE GRADING PERMIT BEING ISSUED.

STREETS ADJACENT TO THIS PROJECT TO BE KEPT CLEAN AT ALL TIMES OR A WASH STATION WILL BE REQUIRED.

LOTS 41-46 TO BE GRADED DURING BUILDING CONSTRUCTION TO DRAIN TO PROPOSED CUL-DE-SAC STREET.

LEGEND

--- 916 ---	EXISTING CONTOUR - 1'
--- 916 ---	EXISTING CONTOUR - 5'
--- 916 ---	EXISTING SANITARY SEWER
--- WA ---	EXISTING WATER LINE
--- 916 ---	PROPOSED CONTOUR - 1'
--- 916 ---	PROPOSED CONTOUR - 5'
--- ST ---	PROPOSED STORM SEWER
--- SA ---	PROPOSED SANITARY
--- WA ---	PROPOSED WATER LINE
--- LOD ---	LIMITS OF DISTURBANCE
--- ---	DRAINAGE BOUNDARY TO POND
--->---	SURFACE FLOW ARROW



PLAN PREPARED BY: ADVANCED CIVIL DESIGN ENGINEERS SURVEYORS
 51 Kilmorye Drive, Suite 105
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PLAN PREPARED FOR:
CAPKOV VENTURES, INC.
 202 E. WINNABEE AVE.
 CHAPEL HILL, NC 27516
 PHONE: 919.942.8005

PROJECT:
MERIN ROAD COMMUNITY
 SPECIAL USE PERMIT PLANS
 FOR
CAPKOV VENTURES, INC.
 STORMWATER MANAGEMENT PLAN

PROJECT LOCATION:
 HOMESTEAD ROAD, CHAPEL HILL, NC - ORANGE COUNTY

DATE:
 06/29/2015 - Initial Submittal

DRAWN BY:
 CMR

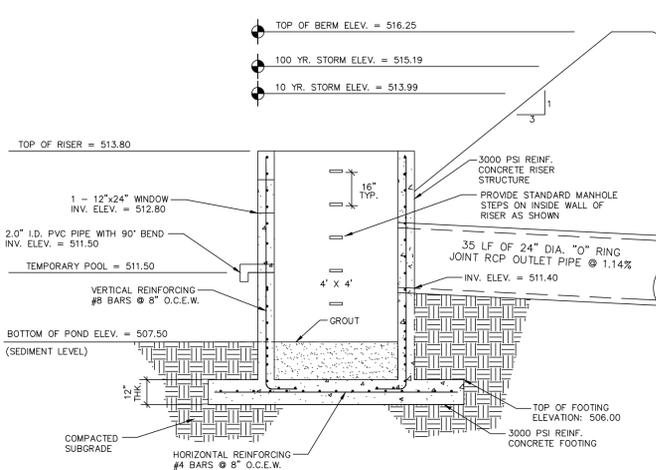
CHECKED BY:
 JDW

PROJECT NUMBER:
14-0001-651

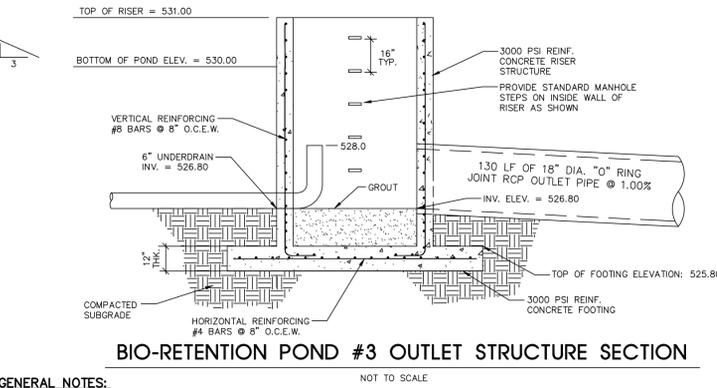
DRAWING NUMBER:
6 / 12

NORTH CAROLINA PROFESSIONAL SEAL
 PRELIMINARY
 MERON M. RICE
 06/29/2015

O:\14-0001-651NC\DWG\Production Drawings\Special Use Permit\14-0001-651-SUP06-7.dwg STORMWATER MANAGEMENT PLAN 2 Jun 26, 2015 - 1:30:35pm Proyl



WET DETENTION POND #2 OUTLET STRUCTURE SECTION
NOT TO SCALE



BIO-RETENTION POND #3 OUTLET STRUCTURE SECTION
NOT TO SCALE

GENERAL NOTES:

TO MINIMIZE DAMAGE TO EXISTING TREES NEAR THE EXTERIOR EDGE OF THE SITE ADJACENT TO TREE CONSERVATION AREAS, THE CONTRACTOR SHALL CUT MINIMUM 2' TRENCHES ALONG THE LIMITS OF DISTURBANCE, SO AS TO CUT RATHER THAN TEAR ROOTS.

THE TREE PROTECTION FENCE SHALL BE MAINTAINED ON THE SITE UNTIL ALL SITE WORK IS COMPLETED AND THE FINAL SITE INSPECTION PRIOR TO THE CERTIFICATE OF OCCUPANCY (CO) IS SCHEDULED. THE FENCING SHALL BE REMOVED PRIOR TO FINAL SITE INSPECTION FOR THE CO.

PERMANENT GROUND COVER WILL BE ESTABLISHED IN 7 TO 14 WORKING DAYS PER NPDES REQUIREMENTS. REFER TO APPROVED SEDIMENT AND EROSION CONTROL PLANS.

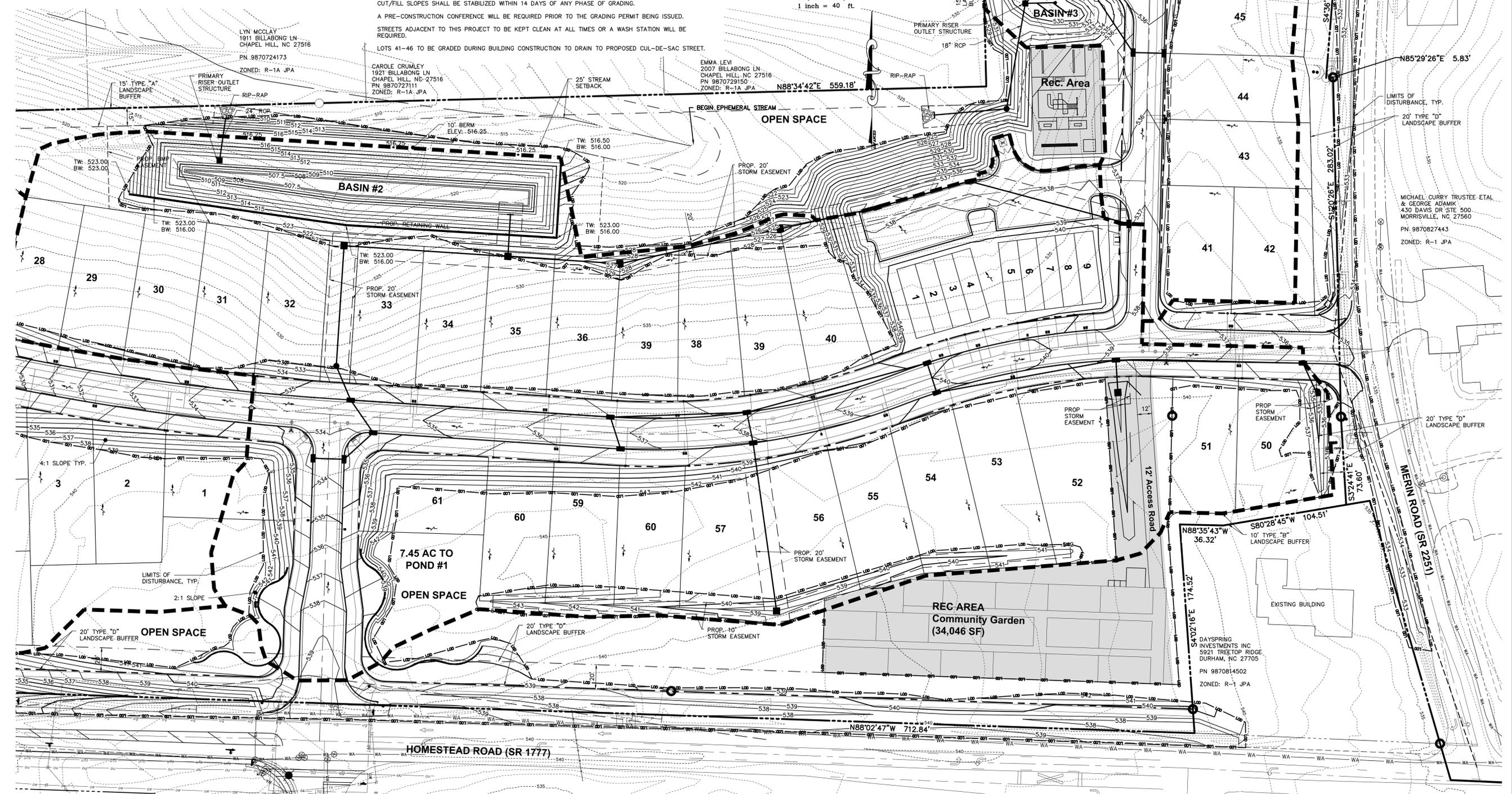
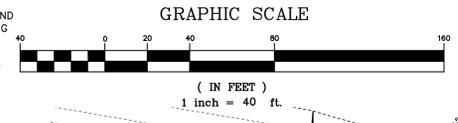
CUT/FILL SLOPES SHALL BE STABILIZED WITHIN 14 DAYS OF ANY PHASE OF GRADING.

A PRE-CONSTRUCTION CONFERENCE WILL BE REQUIRED PRIOR TO THE GRADING PERMIT BEING ISSUED.

STREETS ADJACENT TO THIS PROJECT TO BE KEPT CLEAN AT ALL TIMES OR A WASH STATION WILL BE REQUIRED.

LOTS 41-46 TO BE GRADED DURING BUILDING CONSTRUCTION TO DRAIN TO PROPOSED CUL-DE-SAC STREET.

- LEGEND**
- - - - - 916 - - - - - EXISTING CONTOUR - 1'
 - - - - - 916 - - - - - EXISTING CONTOUR - 5'
 - - - - - ST - - - - - EXISTING STORM SEWER
 - - - - - SA - - - - - EXISTING SANITARY SEWER
 - - - - - WA - - - - - EXISTING WATER LINE
 - - - - - 916 - - - - - PROPOSED CONTOUR - 1'
 - - - - - 916 - - - - - PROPOSED CONTOUR - 5'
 - - - - - - - - - - PROPOSED STORM SEWER
 - - - - - - - - - - PROPOSED SANITARY
 - - - - - - - - - - PROPOSED WATER LINE
 - - - - - LOD - - - - - LIMITS OF DISTURBANCE
 - - - - - - - - - - DRAINAGE BOUNDARY TO POND
 - - - - - - - - - - SURFACE FLOW ARROW



PLAN PREPARED BY:

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PLAN PREPARED FOR:

CAPKOV VENTURES, INC.

202 E WINDSOR AVE
CHAPEL HILL, NC 27514-9430
PHONE: 919.942.8005

FOR:

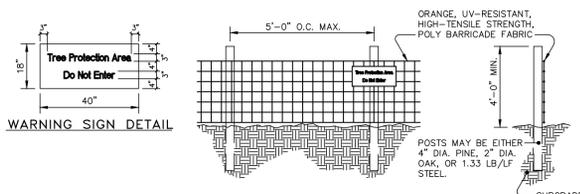
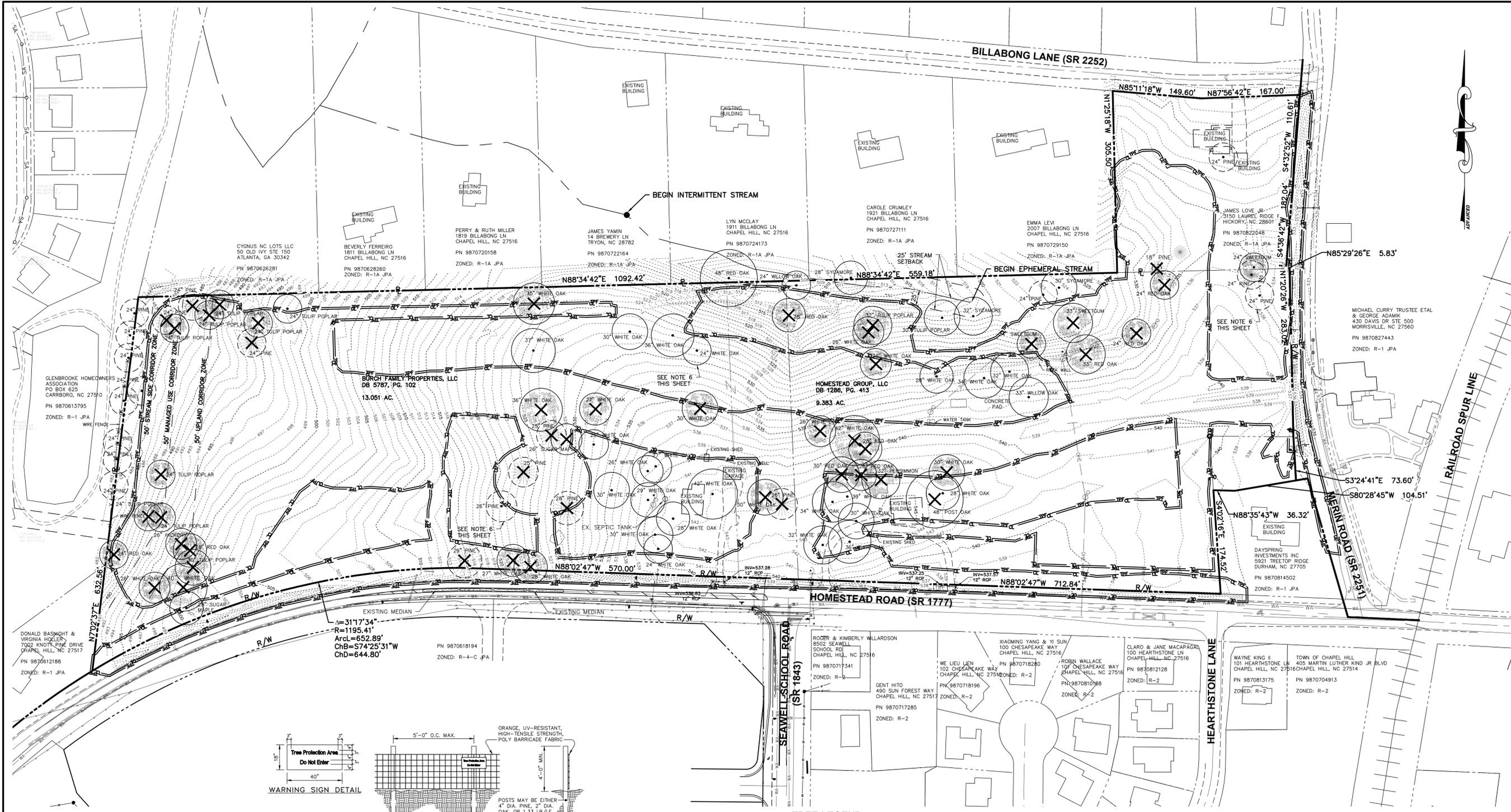
MERIN ROAD COMMUNITY SPECIAL USE PERMIT PLANS

FOR

CAPKOV VENTURES, INC. STORMWATER MANAGEMENT PLAN



| | |
|-----------------|--------------------------------|
| Issue Date: | 06/29/2015 - Initial Submittal |
| Date: | 06/29/2015 |
| Scale: | 1"=40' |
| Drawn By: | CMR |
| Checked By: | JDW |
| Project Number: | 14-0001-651 |
| Drawing Number: | 7 / 12 |



- NOTES:**
- WARNING SIGNS TO BE MADE OF DURABLE, WEATHERPROOF MATERIAL.
 - LETTERS TO BE 3" HIGH MINIMUM, CLEARLY LEGIBLE AND SPACED AS DETAILED.
 - SIGNS SHALL BE PLACED AT 50' MAXIMUM INTERVALS.
 - PLACE A SIGN AT EACH END OF LINEAR TREE PROTECTION AND 50' ON CENTER THEREAFTER.
 - FOR TREE PROTECTION AREAS LESS THAN 200' IN PERIMETER, PROVIDE NO LESS THAN ONE SIGN PER PROTECTION AREA.
 - ATTACH SIGNS SECURELY TO FENCE POSTS AND FABRIC.
 - MAINTAIN TREE PROTECTION FENCE THROUGHOUT DURATION OF PROJECT. ADDITIONAL SIGNS MAY BE REQUIRED BY THE TOWN OF CHAPEL HILL INSPECTIONS DEPARTMENT BASED ON ACTUAL FIELD CONDITIONS.
- MAINTENANCE:**
- INSPECT SEDIMENT FENCES AT LEAST ONCE A WEEK AND AFTER EACH RAINFALL. MAKE ANY REQUIRED REPAIRS IMMEDIATELY.
 - SHOULD THE FABRIC OF A SEDIMENT FENCE COLLAPSE, TEAR, DECOMPOSE OR BECOME INEFFECTIVE, REPLACE IT PROMPTLY.
 - REMOVE SEDIMENT DEPOSITS AS NECESSARY TO PROVIDE ADEQUATE STORAGE VOLUME FOR THE NEXT RAIN AND TO REDUCE PRESSURE ON THE FENCE. TAKE CARE TO AVOID UNDERMINING THE FENCE DURING CLEANOUT.
 - REMOVE ALL FENCING MATERIALS AND UNSTABLE SEDIMENT DEPOSITS AND BRING THE AREA TO GRADE AND STABILIZE IT AFTER THE CONTRIBUTING DRAINAGE AREA HAS BEEN PROPERLY STABILIZED.

TREE PROTECTION FENCE
NOT TO SCALE

TREE LEGEND

- 24" PINE - SPECIMEN TREE W/ CRITICAL ROOT ZONE
- 24" PINE (with X) - SPECIMEN TREE TO BE REMOVED
- 36" PINE - RARE TREE W/ CRITICAL ROOT ZONE
- 36" PINE (with X) - RARE TREE TO BE REMOVED
- CL - CLEARING LIMITS
- TPF - TREE PROTECTION FENCE

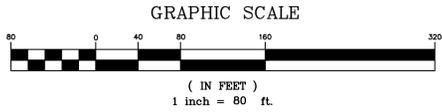
TREE SUMMARY

| | SPECIMEN | RARE | TOTAL |
|---------------------|----------|------|-------|
| EXISTING TREES | 22 | 70 | 92 |
| TREES TO BE REMOVED | 10 | 37 | 47 |

- CONSTRUCTION WASTE:**
- BY ORANGE COUNTY ORDINANCE, CLEAN WOOD WASTE, SCRAP METAL AND CORRUGATED CARDBOARD, ALL PRESENT IN CONSTRUCTION WASTE, MUST BE RECYCLED.
 - BY ORANGE COUNTY ORDINANCE, ALL HAULERS OF CONSTRUCTION WASTE MUST BE PROPERLY LICENSED.
 - PRIOR TO ANY DEMOLITION OR CONSTRUCTION ACTIVITY ON THE SITE, THE APPLICANT WILL HOLD A PRE-DEMOLITION/PRE-CONSTRUCTION CONFERENCE WITH THE COUNTY'S SOLID WASTE STAFF. THIS MAY BE THE SAME MEETING HELD WITH OTHER DEVELOPMENT OFFICIALS.

TREE PROTECTION NOTES

- A PRE-CONSTRUCTION CONFERENCE WILL BE HELD WITH THE TOWN'S URBAN FORESTER, EMILY CAMERON PRIOR TO BEGINNING SITE WORK.
- ANY TREE ROOTS EXPOSED BY CONSTRUCTION WILL BE SEVERED CLEANLY WITH AN APPROPRIATE PRUNING TOOL.
- THE SOIL WITHIN THE CRITICAL ROOT ZONES OF EXISTING TREES WILL NOT BE DRIVEN ON OR OTHERWISE DISTURBED DURING THE INSTALLATION OF LANDSCAPING.
- A LANDSCAPE PROTECTION SUPERVISOR WHO IS REGISTERED WITH THE TOWN OF CHAPEL HILL WILL BE PRESENT ON SITE AT ALL TIMES WHEN THE FOLLOWING ACTIVITIES ARE TAKING PLACE: CLEARING, GRUBBING, EXCAVATION, GRADING, TRENCHING, MOVING OF SOIL, INSTALLATION AND REMOVAL OF TREE PROTECTION FENCING, AND THE DELIVERY TRANSPORTING AND PLACEMENT OF CONSTRUCTION MATERIALS AND EQUIPMENT.
- MIKE MULLIS, RLA, WITH MULLIS DESIGN GROUP VISITED THE SITE TO EVALUATE EXISTING TREES.
- TREES LOCATED ON LOT LINES OR AT REAR OF LOTS WILL BE SAVED TO THE GREATEST EXTENTS POSSIBLE, BUT MAY NEED TO BE REMOVED DURING HOME CONSTRUCTION.



PLAN PREPARED BY: CAPKOV VENTURES, INC.
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 Cary, North Carolina 27511
 ph 919.481.6990
 for 919.336.5127
 ENGINEERS SURVEYORS

PLAN PREPARED FOR: MERIN ROAD COMMUNITY
 SPECIAL USE PERMIT PLANS
 FOR
 CAPKOV VENTURES, INC.
 LANDSCAPE PROTECTION PLAN

HOMESTEAD ROAD, CHAPEL HILL, NC - ORANGE COUNTY

DATE: 06/29/2015
 SCALE: 1" = 80'
 DRAWN BY: CMR
 CHECKED BY: JOW
 PROJECT NUMBER: 14-0001-651
 DRAWING NUMBER: 8 / 12

Issue Dates:
 06/29/2015 - Initial Submittal

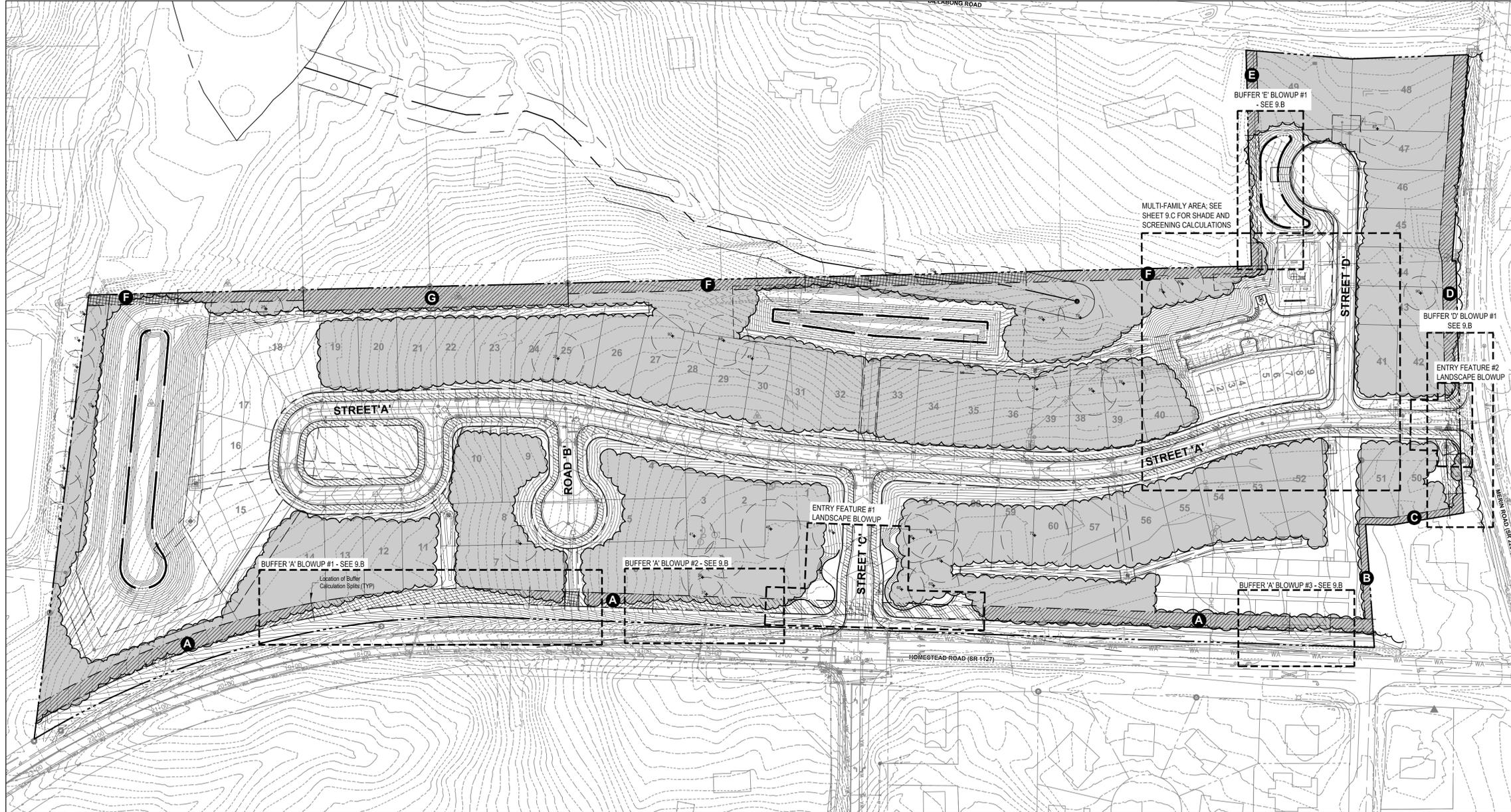
DATE: 06/29/2015
 SCALE: 1" = 80'

DRAWN BY: CMR
 CHECKED BY: JOW

PROJECT NUMBER: 14-0001-651

DRAWING NUMBER: 8 / 12

Perimeter Buffer, Street Tree, and Improved Landscape Area Locations



TREE CANOPY COVERAGE CALCULATIONS:

| | |
|--|-------------------------------------|
| Tree Canopy coverage required: | 30% |
| Net Land Area: | 24,706 Ac. or 1,076,193.36 SF |
| Areas Not Counting Toward Tree Canopy Calcs: | |
| Required Cleared Active Recreation Areas: | .906 Acres |
| 39,465.36 SF Active Recreation Area | (.906 Acres Active Recreation Area) |
| Easements: | 4,454 Acres |
| 194,016.24 SF Easements | (4,454 Acres Easements) |
| R.O.W. Dedication: | 4,345 Acres |
| 189,268.2 SF R.O.W. Dedication | 4,345 Acres R.O.W. Dedication |
| Total Land Area Not Counted: | 9,705 Acres |

Applicable Land Area:
1,076,193.36 - 422,749.8 (9,705 Acres) = 653,443.5 SF
= (15.001 Acres)

Tree Canopy Required: 653,443.5 SF x 30% = 196,033.05 SF
Existing Tree Canopy to remain: 125,757.72 SF
(64.15% of Required)

196,033.05 - 125,757.72 = 70,275.33 SF Tree Canopy Short
70,275.33 / 500 = 140.55 Supplemental Trees

Trees required to supplement: 141 Trees
Trees proposed to supplement: 142 Trees

Location of Proposed Large Trees (See Landscape Plans)
Buffers: 31 Large Trees
Street Trees: 92 Large Trees
Other Site Trees: 19 Large Trees
Total: 142 Large Trees

Note: This sheet was created as defined in the Town of Chapel Hill Special Use Permit Application Submittal Requirements. It illustrates the location of the perimeter buffers, as well as the location of the proposed street trees.

This sheet also displays the calculations for each buffer, and graphically illustrates the areas that have been removed or used as part of the buffer calculations (easements, existing vegetation, etc).

Detailed information about each of the perimeter buffers, including location of proposed vegetation and density, can be found on Sheet 9.2. Once plant locations and counts have been verified and accepted by the Town of Chapel Hill, the design team will identify species, as well as other required characteristics, as identified by the Town of Chapel Hill Design Manual.

Each of the trees and shrubs proposed within this property will be in accordance with the standards set forth in the Design Manual, including the use of diverse plantings of native and well-adapted non-native species in all landscaping projects.

Perimeter Buffer Calculations

A BUFFER REQUIREMENTS:

TYPE "C" 20' INTERNAL BUFFER
1,929 LF Total Length
Less 39 LF Driveway
Less 20 LF Water Easement
Less 1,063 LF Existing Vegetation
Less 245 LF Entry Feature Area
Applicable Total = 562 LF

| | |
|-------------|-------------|
| REQUIRED: | PROPOSED: |
| 29 LG TREES | 24 LG TREES |
| 57 SM TREES | 52 SM TREES |
| 203 SHRUBS | 203 SHRUBS |

*Note: This buffer has been reduced by one grade of intensity (D' to C') because the development has been designed such that there is no parking between the buildings located on the site and the adjacent street.

*Note: At least 50% of required shrubs must be evergreen

B BUFFER REQUIREMENTS:

TYPE "B" 10' INTERNAL BUFFER
154 LF Total Length
Less 154 LF Existing Vegetation
Applicable Total = 0 LF

| | |
|------------|------------|
| REQUIRED: | PROPOSED: |
| 0 LG TREES | 0 LG TREES |
| 0 SM TREES | 0 SM TREES |
| 0 SHRUBS | 0 SHRUBS |

C BUFFER REQUIREMENTS:

TYPE "B" 10' INTERNAL BUFFER
141 LF Total Length
Less 141 LF Existing Vegetation
Applicable Total = 0 LF

| | |
|------------|------------|
| REQUIRED: | PROPOSED: |
| 0 LG TREES | 0 LG TREES |
| 0 SM TREES | 0 SM TREES |
| 0 SHRUBS | 0 SHRUBS |

D BUFFER REQUIREMENTS:

TYPE "C" 20' EXTERNAL BUFFER
650 LF Total Length
Less 32 LF of Driveway
Less 69 LF Entry Feature Area
Less 494 LF Existing Vegetation
Applicable Total = 55 LF

| | |
|------------|------------|
| REQUIRED: | PROPOSED: |
| 3 LG TREES | 3 LG TREES |
| 6 SM TREES | 6 SM TREES |
| 20 SHRUBS | 20 SHRUBS |

*Note: This buffer has been reduced by one grade of intensity (D' to C') because the development has been designed such that there is no parking between the buildings located on the site and the adjacent street.

*Note: At least 50% of required shrubs must be evergreen

E BUFFER REQUIREMENTS:

TYPE "A" 15' INTERNAL BUFFER
305 LF Total Length
Less 153 LF Existing Vegetation
Applicable Total = 152 LF

| | |
|------------|------------|
| REQUIRED: | PROPOSED: |
| 4 LG TREES | 4 LG TREES |
| 7 SM TREES | 7 SM TREES |
| 10 SHRUBS | 15 SHRUBS |

*Note: At least 50% of required shrubs must be evergreen

G BUFFER REQUIREMENTS:

TYPE "D" 30' INTERNAL BUFFER
376 LF Total Length
Less 376 LF Existing Vegetation
Applicable Total = 0 LF

| | |
|------------|------------|
| REQUIRED: | PROPOSED: |
| 0 LG TREES | 0 LG TREES |
| 0 SM TREES | 0 SM TREES |
| 0 SHRUBS | 0 SHRUBS |

F BUFFER REQUIREMENTS:

TYPE "A" 15' INTERNAL BUFFER
1290 LF Total Length
Less 849 LF Existing Vegetation
Less 314 LF Stream Buffer
Less 127 LF Stream Corridor Zone
Applicable Total = 0 LF

| | |
|------------|------------|
| REQUIRED: | PROPOSED: |
| 0 LG TREES | 0 LG TREES |
| 0 SM TREES | 0 SM TREES |
| 0 SHRUBS | 0 SHRUBS |

STREET TREE PROVISIONS

Provision: At least one shade tree per lot that faces a road, when the proposed width of lot frontage will allow both a street tree and a driveway, within the 'Street Tree Zone' as identified on the map. Driveway will have priority. Some lots have more than one street tree. See Landscape Plans for exact location, species, and other relative information about proposed street trees.

Street A: 78 Street Trees
Street B: 6 Street Trees
Street C: 8 Street Trees
Street D: 0 Street Trees

This is the minimum number of street trees that will be provided within the 7' landscape strip along streets via the Landscape Plans. At this time, the exact design of individual lots is unknown. Upon development, street trees are to be placed in the locations shown on this sheet, or in a location as close as possible. Counts shown for demonstrating compliance with the Tree Cover calculations.

ENTRY FEATURE LANDSCAPE BLOWUPS

Note: These plans do not show the landscape plans for the entry areas of the development. These areas will be developed after the counts and locations of the Buffer Calculations, Shade Canopy Calculations, and Parking Lot Shading Plans have been approved by Town of Chapel Hill Staff.

These entry features will utilize the Design Standards set forth in the Town Design Manual, and will feature the use of diverse plantings of native and well adapted non-native species.

At this time, only two-foot tall Chapel Hill stone retaining walls have been shown, along with associated grades. No vegetation has been provided for these areas.

MULTI-FAMILY TOWNHOMES AREA

Note: This area contains multi-family townhomes, and will meet different standards within the Town's Design Manual than the other lots within the property (Parking Lot Shading, Parking Lot Screening, and Utility Service Screening).

As seen on Sheet 9.C, the parking lot will be completely screened from the adjacent residential property with evergreen shrubs of the appropriate size.

Utility service areas, in this case dumpsters and trash bins, have also been screened from adjacent properties.

Parking lot shading calculations have been tabulated, and can be found on Sheet 9.C. The minimum 35% shading has been met for this parking lot.

There will be a landscape strip between the parking lot and townhomes, but at this time there is not enough detail associated with the entry to the townhomes to properly landscape this area.

As with other areas of the development, final landscape plans will be developed after Town of Chapel Hill Staff approves the buffer calculations and counts, and tree cover calculations.

Legend

Buffer Calculations

- Undisturbed Area
- Disturbed Area
- Easement Areas removed from calculations
- R.O.W. Areas removed from calculations
- Landscape Entry Area removed from calculations

Street Tree Locations

- Area for Street Trees (1 per lot, location T.B.D.)

Site Plan Information

- Property Line
- Tree Canopy (Post Development)
- Buffer Label

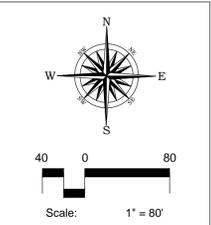
SPECIAL USE PERMIT PLANS - NOT FOR CONSTRUCTION

MDG
MULLIS DESIGN GROUP
LANDSCAPE ARCHITECTS
1333 Keybridge Drive, Suite E
Morrisville, NC 27560
941-400-1624
mike.mullis@mullisdesign.com
mullisdesigngroup.com

Seal:

Project Name:
Merin Road Community
Address:
Homestead Road
Chapel Hill, North Carolina

| Revision Schedule | | | |
|-------------------|------|----|-------------|
| Rev | Date | By | Description |
| | | | |
| | | | |
| | | | |



MDG Project #: 000149
DATE: 6-11-2014
Design By: RMM/TAW
Checked by: MDG
T.O.C.H. File #:
T.O.C.H. Project #:

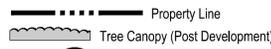
Sheet Title:
Perimeter Buffer & Tree Canopy Calculations

Sheet Number:
9A/12

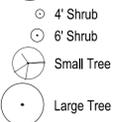
View of Buffer Labels, Street Tree Labels

| | | | | |
|--|---|--|--|--|
| <p>A BUFFER REQUIREMENTS:</p> <p>TYPE "C" 20' INTERNAL BUFFER
1,929 LF Total Length
Less 39 LF Driveway
Less 20 LF Water Easement
Less 1,083 LF Existing Vegetation
Less 245 LF Entry Feature Area
Applicable Total = 562 LF</p> <p>REQUIRED: 29 LG TREES
57 SM TREES
203 SHRUBS</p> <p>PROPOSED: 24 LG TREES
52 SM TREES
203 SHRUBS</p> <p>*Note: This buffer has been reduced by one grade of intensity (D' to C') because the development has been designed such that there is no parking between the buildings located on the site and the adjacent street.</p> <p>*Note: At least 50% of required shrubs must be evergreen</p> | <p>B BUFFER REQUIREMENTS:</p> <p>TYPE "B" 10' INTERNAL BUFFER
154 LF Total Length
Less 154 LF Existing Vegetation
Applicable Total = 0 LF</p> <p>REQUIRED: 0 LG TREES
0 SM TREES
0 SHRUBS</p> <p>PROPOSED: 0 LG TREES
0 SM TREES
0 SHRUBS</p> <p>C BUFFER REQUIREMENTS:</p> <p>TYPE "B" 10' INTERNAL BUFFER
141 LF Total Length
Less 141 LF Existing Vegetation
Applicable Total = 0 LF</p> <p>REQUIRED: 0 LG TREES
0 SM TREES
0 SHRUBS</p> <p>PROPOSED: 0 LG TREES
0 SM TREES
0 SHRUBS</p> | <p>D BUFFER REQUIREMENTS:</p> <p>TYPE "C" 20' EXTERNAL BUFFER
650 LF Total Length
Less 39 LF of Driveway
Less 69 LF of Entry Feature Area
Less 494 LF Existing Vegetation
Applicable Total = 55 LF</p> <p>REQUIRED: 3 LG TREES
6 SM TREES
20 SHRUBS</p> <p>PROPOSED: 3 LG TREES
6 SM TREES
20 SHRUBS</p> <p>*Note: This buffer has been reduced by one grade of intensity (D' to C') because the development has been designed such that there is no parking between the buildings located on the site and the adjacent street.</p> <p>*Note: At least 50% of required shrubs must be evergreen</p> | <p>E BUFFER REQUIREMENTS:</p> <p>TYPE "A" 15' INTERNAL BUFFER
305 LF Total Length
Less 153 LF Existing Vegetation
Applicable Total = 152 LF</p> <p>REQUIRED: 4 LG TREES
7 SM TREES
10 SHRUBS</p> <p>PROPOSED: 4 LG TREES
7 SM TREES
15 SHRUBS</p> <p>*Note: At least 50% of required shrubs must be evergreen</p> | <p>G BUFFER REQUIREMENTS:</p> <p>TYPE "D" 30' INTERNAL BUFFER
376 LF Total Length
Less 376 LF Existing Vegetation
Applicable Total = 0 LF</p> <p>REQUIRED: 0 LG TREES
0 SM TREES
0 SHRUBS</p> <p>PROPOSED: 0 LG TREES
0 SM TREES
0 SHRUBS</p> |
|--|---|--|--|--|

Site Plan Information



A Buffer Label



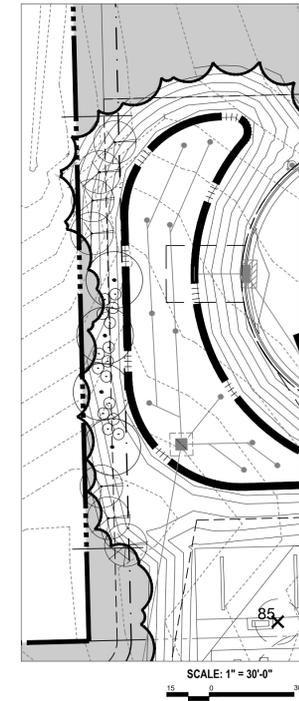
Note: This sheet illustrates the density of the proposed buffers. Because the grading associated with this development is not a mass-grading approach, but rather a low-impact approach, only portions of the existing, fully wooded buffer are being impacted. These sections are noted on this plan. The proposed vegetation counts have been provided to show that the minimum counts have been met to the fullest extent possible.

Buffer 'A' shows a proposed plant count that is lower than required. The plantings have been provided, in the disturbed areas only, to the fullest extent possible, by the designer.

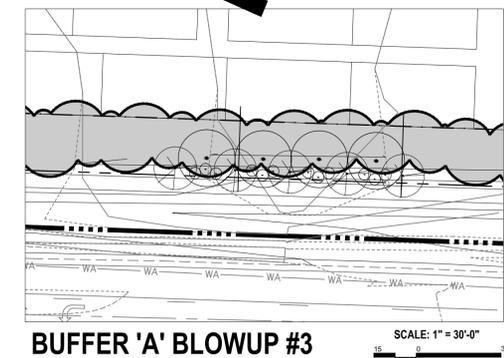
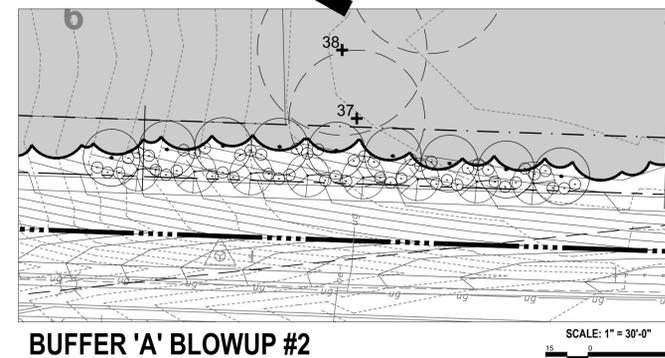
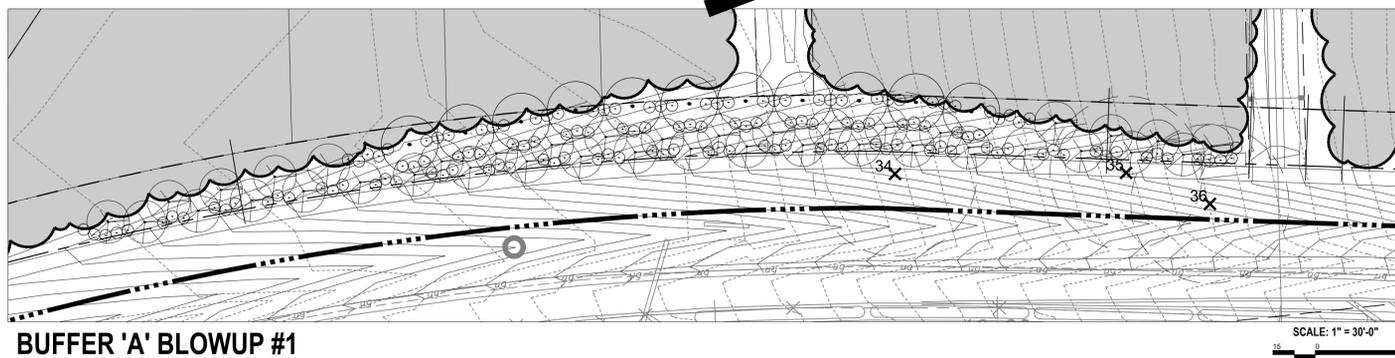
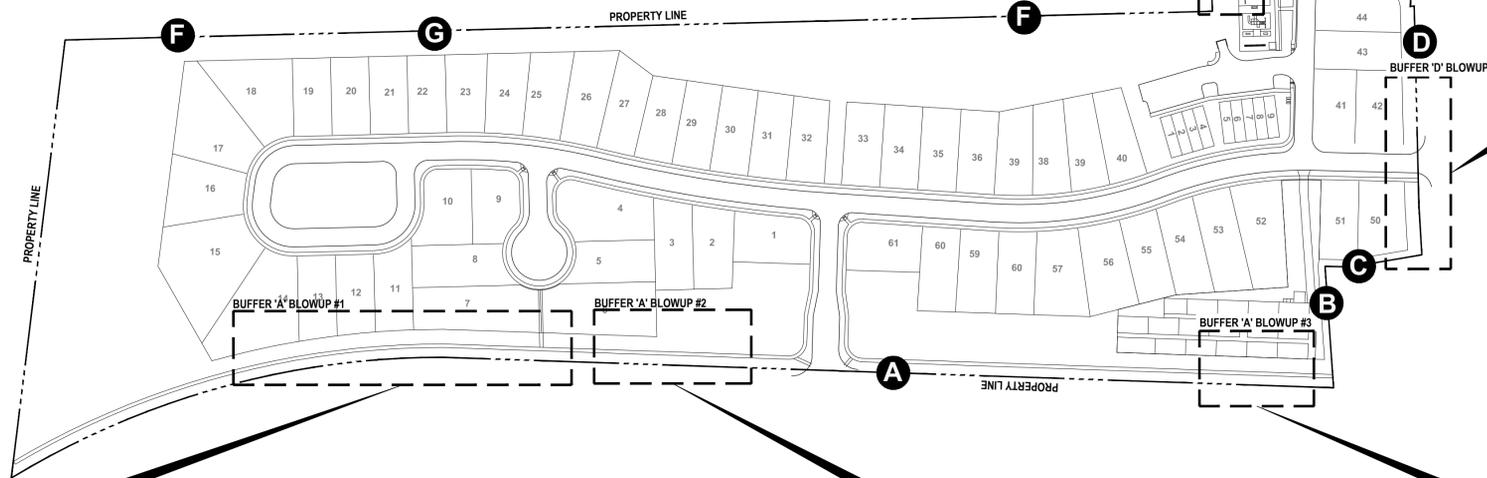
Note: Large Trees shown within these buffers are expected to be at least 2 1/2" DBH at the time of planting. Exact species to be determined after counts and locations are verified and accepted.

Note: All proposed Large Trees are located no closer than 20' O.C. from other Large Trees, as required by the Town of Chapel Hill.

BUFFER 'E' BLOWUP #1



BUFFER 'D' BLOWUP #1



SPECIAL USE PERMIT PLANS - NOT FOR CONSTRUCTION

Consultant:

MULLIS DESIGN GROUP
LANDSCAPE ARCHITECTS

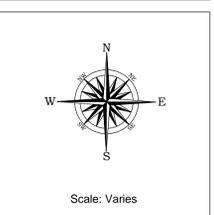
Address: 1331 Keybridge Drive, Suite E
Morrisville, NC 27560
Phone: 919-400-1624
Email: mike.mullis@mullisdesign.com
Web: mullisdesigngroup.com

Seal:

Project Name:
Merin Road Community

Address:
Homestead Road
Chapel Hill, North Carolina

| Revision Schedule | | | |
|-------------------|------|----|-------------|
| Rev | Date | By | Description |
| | | | |
| | | | |



MDG Project #: 000149
DATE: 6-11-2014
Design By: RMM/TAW
Checked by: MDG
T.O.C.H. File #:
T.O.C.H. Project #:

Sheet Title:
Perimeter Buffer Layout

Sheet Number:
9B/12

BLOW UP OF MULTI-FAMILY AREA



SHADE TREE CALCULATIONS:

Parking Lot Area: 8,997.7 sf
 Required Shading Area: 3,149.2 sf (35%)
 Proposed Shading Area: 4,388.52 sf (48.77%)

Tree Name: "A" Zelkova (Zelkova serrata 'Green Vase')
 50-60' Ht. & 40-50' Sprd.
 Projected shadow length - 58'

Note: At this time, species shown for calculations purposes, only.

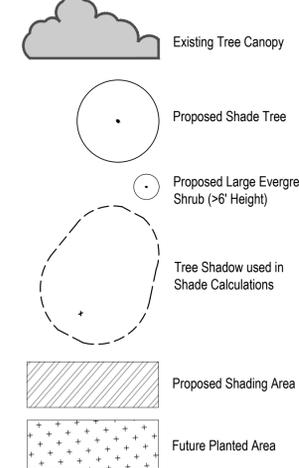
Upon approval of the shading requirement (among other vegetative counts and requirements) by the Town of Chapel Hill Staff, the designers will choose a particular species of tree, which may be different from 'Zelkova', for use in the final plans.

Any tree picked in place of 'Zelkova' will have the same characteristics (mature height, spread, and projected shadow length), as well as meet recommendations found within the Design Manual, which encourages the use of diverse plantings of native and well-adapted non-native species.

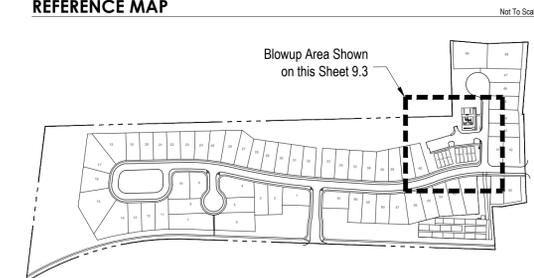
Consideration will also be given to species listed in the Tree Plant Palette section of the Chapel Hill Streetscape Master Plan Design Manual.

Shade projections are calculated from August 21 at 12:00pm, (altitude 60.1 degrees) with matured vegetation per Chapel Hill L.U.M.O. 5.9.6(d).

LEGEND



REFERENCE MAP



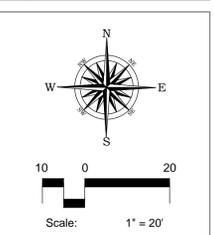
SPECIAL USE PERMIT PLANS - NOT FOR CONSTRUCTION

MDG
MULLIS DESIGN GROUP
LANDSCAPE ARCHITECTS
 Address: 1331 Keybridge Drive, Suite E Morrisville, NC 27560
 Email: mike.mullis@mullisdesign.com
 Web: mullisdesigngroup.com
 Phone: 941-400-1624

Seal:

Project Name:
Merin Road Community
 Address:
 Homestead Road
 Chapel Hill, North Carolina

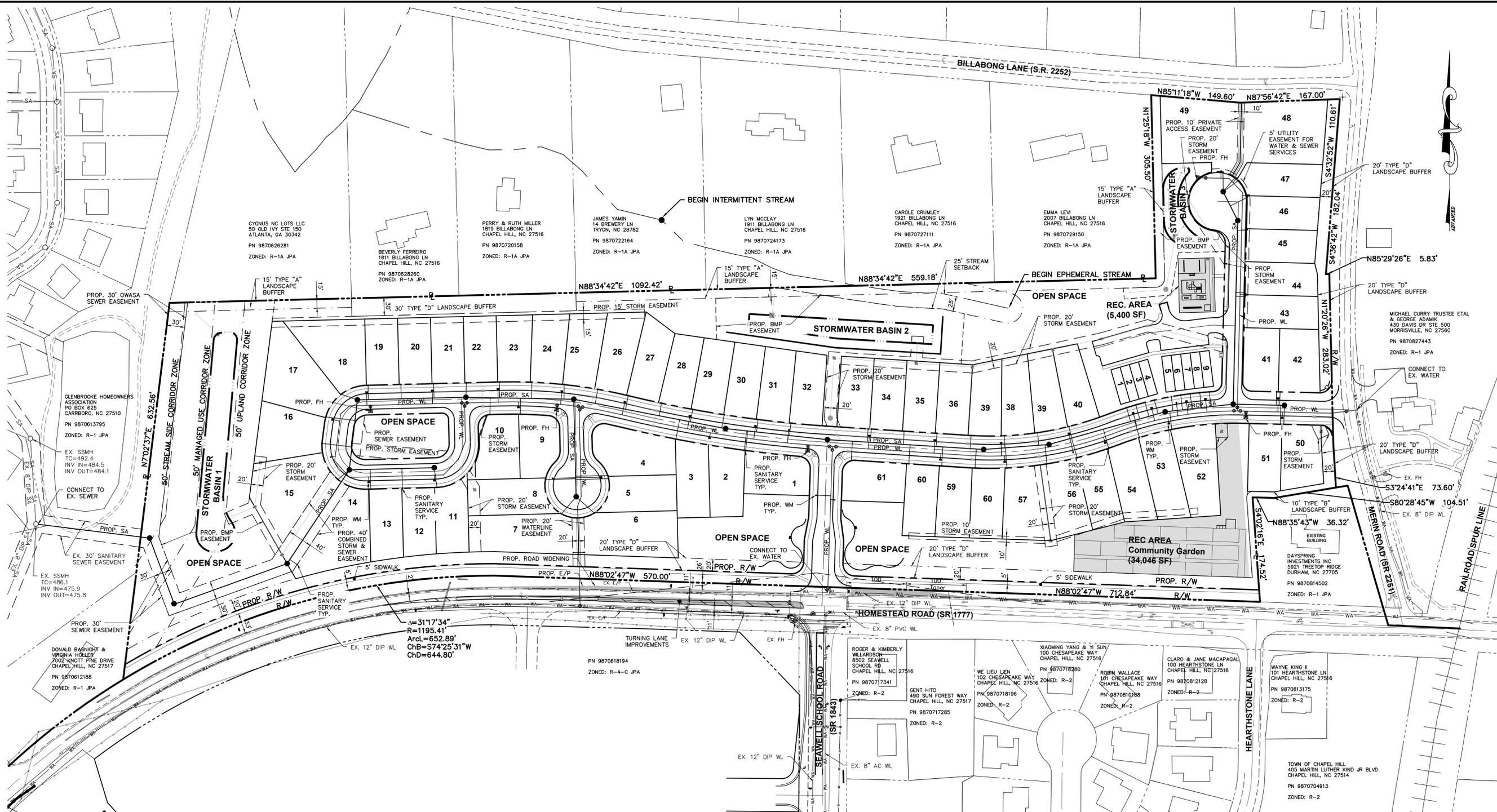
| Revision Schedule | | | |
|-------------------|------|----|-------------|
| Rev | Date | By | Description |
| | | | |
| | | | |
| | | | |



MDG Project #: 000149
 DATE: 6-11-2014
 Design By: RMM/TAW
 Checked by: MDG
 T.O.C.H. File #:
 T.O.C.H. Project #:

Sheet Title:
Parking Lot Shade and Screening Plan

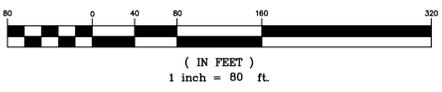
Sheet Number:
9C/12



LEGEND

- PROPOSED STORM SEWER
- PROPOSED SANITARY
- PROPOSED WATERLINE
- EXISTING UTILITY POLE
- ST EXISTING STORM SEWER
- SA EXISTING SANITARY SEWER MAIN
- WA EXISTING WATERLINE

GRAPHIC SCALE



PLAN PREPARED BY:

ADVANCED CIVIL DESIGN ENGINEERS & SURVEYORS

51 Kilmegon Drive, Suite 105
Cary, North Carolina 27511
ph 919.481.6990
fax 919.336.5127

PLAN PREPARED FOR:

CAPKOV VENTURES, INC.

902 E WINNIE AVE #9-30
CHAPEL HILL, NC 27514
PHONE: 919.942.8005

HOMESTEAD ROAD, CHAPEL HILL, NC - ORANGE COUNTY

MERIN ROAD COMMUNITY

SPECIAL USE PERMIT PLANS

FOR

CAPKOV VENTURES, INC.

UTILITY PLAN

PRELIMINARY

06/29/2015

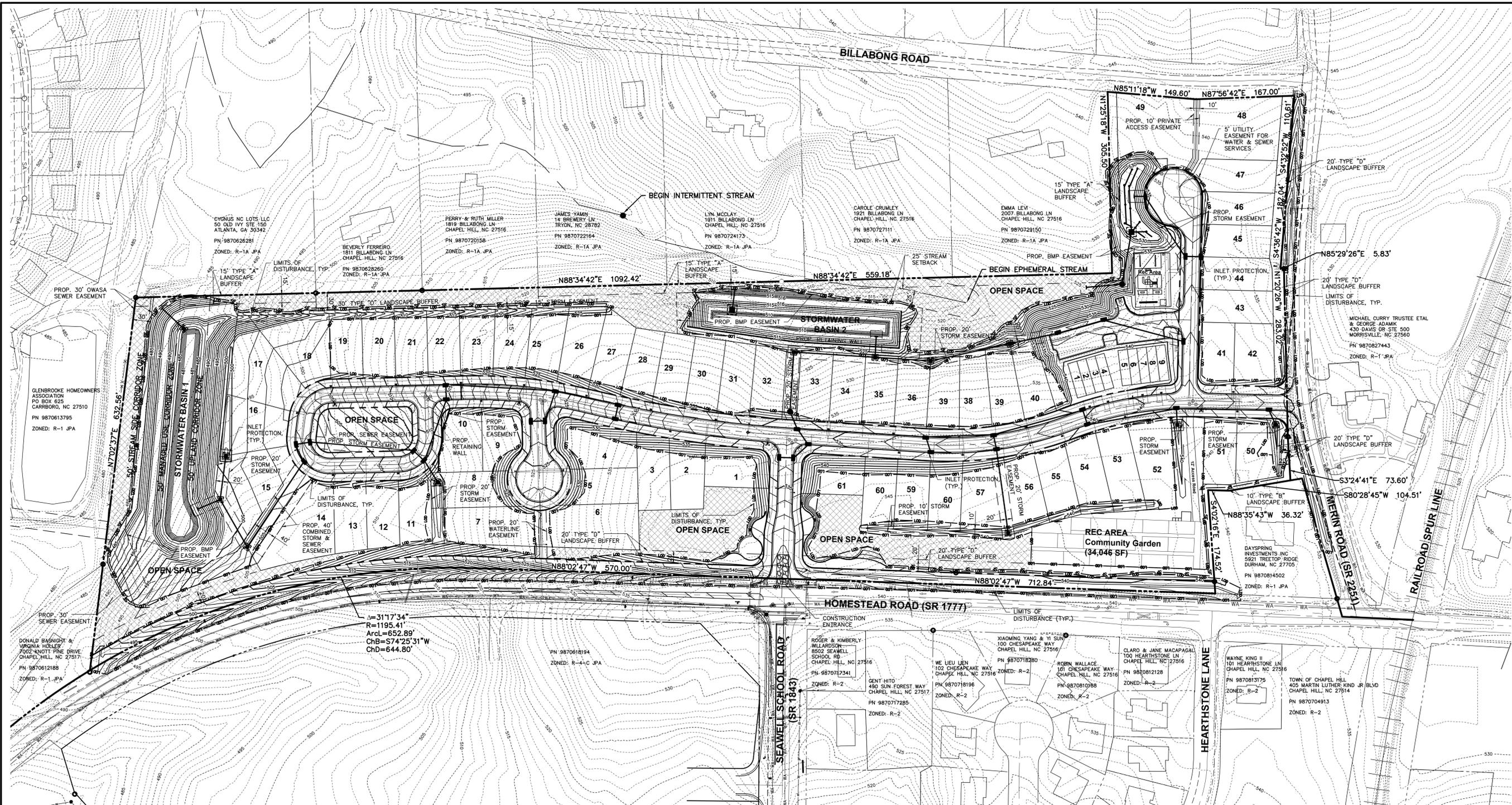
Issue Dates:
06/29/2015 - Initial Submittal

Date: 06/29/2015
Scale: 1" = 80'

Drawn By: CMR
Checked By: JDW

Project Number:
14-0001-651

Drawing Number:
10 / 12



$\Delta = 3117.34'$
 $R = 1195.41'$
 $ArL = 652.89'$
 $ChB = 574.2531'W$
 $ChD = 644.80'$

NOTE:
 BMPS TO BE UTILIZED AS SEDIMENTATION CONTROL DEVICES DURING GRADING OPERATIONS.

TOTAL DISTURBED AREA = 13.92 AC.

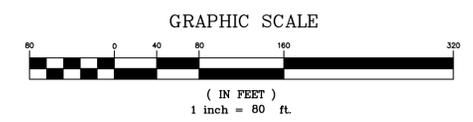
EXISTING IMPERVIOUS SURFACES

| | |
|-----------|-------------|
| BUILDINGS | = 7,771 SF |
| DRIVEWAYS | = 11,645 SF |
| TOTAL | = 19,416 SF |

PROPOSED IMPERVIOUS SURFACES

| | |
|-------------|--------------|
| BUILDINGS | = 150,696 SF |
| DRIVEWAYS | = 64,988 SF |
| ROADWAYS | = 87,431 SF |
| PARKING LOT | = 1,314 SF |
| SIDEWALK | = 33,375 SF |
| TOTAL | = 339,624 SF |

- LEGEND**
- - - 916 EXISTING CONTOUR - 1'
 - - - 916 EXISTING CONTOUR - 5'
 - - - ST EXISTING STORM SEWER
 - - - SA EXISTING SANITARY SEWER
 - - - WA EXISTING WATER LINE
 - - - 916 PROPOSED CONTOUR - 1'
 - - - 916 PROPOSED CONTOUR - 5'
 - - - SF PROPOSED SILT FENCE
 - - - SURFACE FLOW ARROW
 - - - LOD LIMITS OF DISTURBANCE
 - INLET PROTECTION
 - DIVERSION DITCH
 - TREE SAVE AREA
 - CONSTRUCTION ENTRANCE



51 Kilmegon Drive, Suite 105
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CAPKOV VENTURES, INC.
 902 E WINNABEE AVE. #9-30
 CHAPEL HILL, NC 27514
 PHONE: 919.942.8005

MERIN ROAD COMMUNITY SPECIAL USE PERMIT PLANS FOR CAPKOV VENTURES, INC. GRADING & EROSION CONTROL PLAN

HOMESTEAD ROAD, CHAPEL HILL, NC - ORANGE COUNTY

PLAN PREPARED FOR:
 PLAN PREPARED BY:

Issue Dates:
 06/29/2015 - Initial Submittal

Date: 06/29/2015
 Scale: 1"=80'

Drawn By: CMR Checked By: JDW

Project Number:
14-0001-651

Drawing Number:
11 / 12