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BMC

20160707000140220 DEED
Bk:RB6152 Pg:52
07/07/2016 03:36:32 PM 1/3

FILED Mark Chilton
Register of Deeds, Orange Co., NC
Recording Fee: \$26.00
NC Real Estate TX: \$860.00

GB

NORTH CAROLINA GENERAL WARRANTY DEED

Excise Tax: \$860.00
Parcel Identifier: 9788419609 *MMW*

Mail/Box to: Grantee at address below

This instrument was prepared by: Richard Bircher, Attorney at Law, 200 N. Greensboro St., Ste D-2, Carrboro, NC 27510

Brief description for the Index: 111 Purefoy Road

THIS DEED made July 5, 2016

GRANTOR	GRANTEE
UNC PROPERTIES 7, L.L.C., a North Carolina Limited Liability Company	KENNETH M. GORFKLE
1611 Ferncliff Road Charlotte, NC 28211	1436 Poinsett Dr. Chapel Hill, NC 27517

The designation Grantor and Grantee as used herein shall include said parties, their heirs, successors and assigns, and shall include singular, plural, masculine, feminine or neuter as required by context.

WITNESSETH, that the Grantor, for a valuable consideration paid to them by the Grantee, the receipt of which is hereby acknowledged, has and by these presents does grant, bargain, sell and convey unto the Grantee in fee simple, all of that certain lot or parcel of land situated in Orange County, North Carolina and more particularly described as follows:

AS DESCRIBED IN EXHIBIT A, ATTACHED HERETO AND INCORPORATED HEREIN.

Property address is 111 Purefoy Road, Chapel Hill, NC 27514

Said property does ___ does not include the primary residence of at least one of Grantors.

The property hereinabove described was acquired by Grantor by instruments recorded in Book 5988, Page 168.

A map showing the above described property is recorded in Plat Book 3 Page 40



20160707000140220
RB6152 53 2/3

TO HAVE AND TO HOLD the aforesaid lot or parcel of land and all privileges and appurtenances thereto belonging to the Grantee in fee simple; And the Grantor covenants that the Grantor is seized of the premises in fee simple, has the right to convey the same in fee simple, that title is marketable and free and clear of all encumbrances, and that Grantor will warrant and defend the title against the lawful claims of all persons whomsoever, other than the following exceptions: Real Property Taxes for 2016 and subsequent years, and all easements, rights-of-way and restrictive covenants of record.

IN WITNESS WHEREOF, the Grantor has duly executed the foregoing as of the day and year first above written.

UNC PROPERTIES 7, L.L.C., A NC LIMITED LIABILITY COMPANY

BY:
X Greg White
Greg White, Member/Manager

X _____ (SEAL)

X _____ (SEAL)

X _____ (SEAL)

X _____ (SEAL)

USE BLACK INK ONLY

X _____

X _____

STATE OF NORTH CAROLINA, COUNTY OF _____

I, the undersigned Notary Public, hereby certify that GREG WHITE appeared before me on this date and acknowledged the execution of the foregoing instrument for the purpose stated therein and in the capacity indicated.

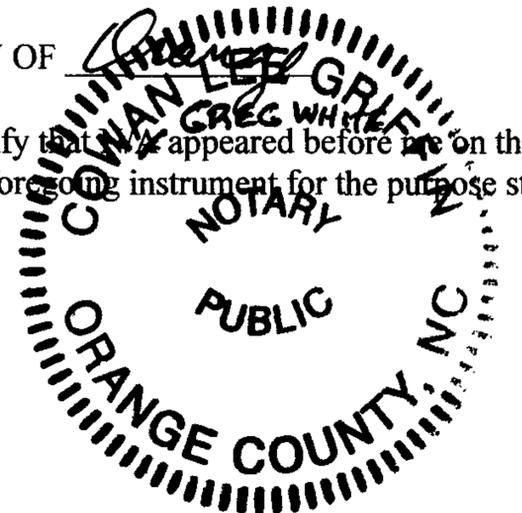
This x 6 day of x July, 2016

x Cowan Lee Griffin (SEAL)

Notary Public COWAN LEE GRIFFIN

My Commission Expires: x 3/18/17

USE BLACK INK ONLY



State of North Carolina, County of _____

I, the undersigned Notary Public of the County and State aforesaid, certify that the following person(s) personally appeared before me on this date and acknowledged that he/she executed the foregoing instrument for the purpose stated therein and in the capacity indicated: GREG WHITE

This x _____ day of x _____, 2016.

x _____ (SEAL)

Notary Public

My Commission Expires:

USE BLACK INK ONLY



EXHIBIT A

Beginning at an iron found in the eastern right of way line of Purefoy Road, said iron being located South 32 degrees 44'37" West 342.87 feet from the intersection of the centerlines of Purefoy Road and Mason Farm Road, said beginning point being at the northwest corner of the property herein conveyed and the southwest corner of the "Church Lot" as shown on Plat Book 47, Page 46, Orange County Registry, to which plat reference is hereby made for said Beginning Point; and running thence along and with the southern line of the aforesaid "Church Lot" South 59 degrees 57'00" East 318.33 feet to an iron found; thence South 29 degrees 41'27" West 100.98 feet to an iron found; thence North 85 degrees 42'43" West 324.14 feet to an iron found; thence North 00 degrees 33'45" East 63.53 feet to a calculated corner on the eastern right of way line of Purefoy Road; thence along the arc of a clockwise circle with a radius of 753.00 feet a distance of 133.74 feet to a calculated corner; thence North 34 degrees 59'10" East 53.20 feet to an iron found at the point and place of beginning, all as shown on survey entitled "Property of James R. Cherney," by Freehold Land Surveys, dated March 26, 1997, to which survey reference is hereby made, and being all of Lot 11, Mason Farm Road Development as shown on Plat Book 3, Page 40, and as conveyed in Deed Book 133, Page 203, Orange County Registry, SAVE AND EXCEPT that land conveyed in Deed Book 209, Page 727, Orange County Registry and that land shown as Lot B on Plat Book 47, Page 46, Orange County Registry and containing 1.30 acres, more or less; subject to the following exceptions:

- (1) Restrictive and Protective Covenants of record.
- (2) Right-of-Way in favor of the NC Department of Transportation, if any.
- (3) Any easements which may now exist in favor of any Public Utility Company.
- (4) City and County zoning ordinances.
- (5) Ad valorem taxes for the year 2007 not yet due and payable.
- (6) Any other matters as shown on said plats.



Project Meeting Notes

Meeting Information	
Project: 111 Purefoy DR	
Project # NA	Meeting Time: 11:00AM
Meeting Date: 21-1-14	Meeting Location: Planning Conference RM

Name	Phone	E-Mail
Jay Heikes, Planning and Sustainability	919-969-5082	jheikes@townofchapelhill.org
Judy Johnson, Planning and Sustainability	919-969-5078	jjohnson@townofchapelhill.org
Kay Pearlstein, Planning and Sustainability	919-969-5063	kpearlstein@townofchapelhill.org
Ernest Odei-Larbi, Stormwater	919-968-2717	Eodei-larbi@townofchapelhill.org
Chris Jensen, Stormwater	919-969-7233	cjensen@townofchapelhill.org

- **Will Barber III Purefoy Rd. R-4 NCD-2**
 - Size of property – refer to survey
 - SW Issues
 - Multi family- LUMO 5.4 applies
 - 1 year, 2 year, 25 year storm control/treatment limit 70%
 - Engage civil engineer- SW/grading
 - Max of 7 units
 - Sidewalk in frontage of property, curb and gutter, trainage around
 - New sidewalks, dedication of public ROW
 - Likely 5-10' of ROW dedication required
 - Floor area based on pre-dedication of ROW and (10% of credited street area)
 - Existing impervious surface – including 113 and 115 would get you to 2 acre pud threshold
- **Purpose of NCD**
 - Need to look into why lots were included in NCD
 - See research to memos regarding NCD – Judy / Megan
- **Process**
 - Site plan approval

- any MF that is less than 20k floor area/ 40K land use
- submit application
- technical review term (iterative process of review)
- planning commission
- final plan ZCP
- building permit
- NCD/R-4 zoning may be/may not be intentional – Need to Research
- Public involvement –especially neighbors on whitehead
- Public/pc/staff have ability to reject application based on intent of ordinance
 - Reach out to neighborhood
 - Seek pin for staff review
 - Engage engineer/lead design professional

Gene Poveromo

From: Dan Jewell <djewell@cjtpa.com>
Sent: Wednesday, September 28, 2016 3:34 PM
To: Gene Poveromo
Cc: Judy Johnson
Subject: Purefoy

Gene do you have a few minutes to talk about our Purefoy Road Project this afternoon or tomorrow?

Thanks

Dan

From: Ed McLean [mailto:ed.mclean@cjtpa.com]
Sent: Wednesday, September 28, 2016 3:17 PM
To: gpooveromo@townofchapelhill.org; kpearlstein@townofchapelhill.org
Cc: Dan Jewell <djewell@cjtpa.com>
Subject: 1165 Weaver Dairy Concept Plan Application Amendment

Please see the attached amended Concept Plan Application for 1165 Weaver Dairy Rd.

Thanks

--

Ed McLean

Coulter Jewell Thames, PA

111 West Main Street
Durham, NC 27701

Phone: [919-682-0368](tel:919-682-0368) Ext. [206](tel:206)

Mobile: [828-406-3776](tel:828-406-3776)

Gene Poveromo

From: Andrew Porter <andrew.porter@cjtpa.com>
Sent: Friday, October 28, 2016 4:42 PM
To: Jay Heikes
Cc: Ken Gorfkle; Dan Jewell; Gene Poveromo
Subject: RE: Project 16-106 111 Purefoy Rd

Hi Jay.

I checked with the developer and 11/29 works for the TRT meeting. Please go ahead and schedule us in.

Thanks,
Andy

Andy Porter, RLA
Project Manager

Coulter Jewell Thames, PA

111 West Main Street
Durham, NC 27701
phone: 919-682-0368
fax: 919-688-5646

From: Jay Heikes [mailto:jheikes@townofchapelhill.org]
Sent: Friday, October 28, 2016 1:25 PM
To: Andrew Porter <andrew.porter@cjtpa.com>
Cc: Ken Gorfkle <kgorfkle@bellsouth.net>; Daniel Jewell <djewell@cjtpa.com>; Gene Poveromo <gpoveromo@townofchapelhill.org>
Subject: RE: Project 16-106 111 Purefoy Rd

Hi Andrew,

Great. I will get that scheduled and sent out! After discussing with Gene, we do need to make adjustments to the schedule to account for workload and the Thanksgiving holiday. We also have a policy that I missed in my previous schedule of holding the full internal Technical Review Team meeting *after* the PIM.

- Application Distributed for staff Review: 10/17 (ahead of November submittal cycle)
- Internal Planning and Technical Review meetings: 11/7 and 11/17
- Comments sent to applicant: 11/17
- Public Information meeting: 11/16 at 5:15pm Town Hall
- Technical Review Team meeting with applicant: 11/29 at 2pm Town Hall

Thanks!

Jay



Jay Heikes, Planner

Development Services Division | Planning and Sustainability
405 Martin Luther King Jr Blvd. | Chapel Hill NC 27514

Town of Chapel Hill | www.townofchapelhill.org
t: 919-969-5082 | jheikes@townofchapelhill.org

From: Andrew Porter [<mailto:andrew.porter@cjtpa.com>]
Sent: Friday, October 28, 2016 1:13 PM
To: Jay Heikes
Cc: Ken Gorfkle; Daniel Jewell
Subject: RE: Project 16-106 111 Purefoy Rd

Hi Jay.

The developer and I are both available for the public information meeting on 11/16 at 5:15pm Town Hall.

Can you provide an alternate date for the TRT meeting? I am out for a continuing education event on 11/17.

Thanks,
Andy

Andy Porter, RLA
Project Manager

Coulter Jewell Thames, PA
111 West Main Street
Durham, NC 27701
phone: 919-682-0368
fax: 919-688-5646

From: Jay Heikes [<mailto:jheikes@townofchapelhill.org>]
Sent: Friday, October 28, 2016 11:42 AM
To: Andrew Porter (andrew.porter@cjtpa.com) <andrew.porter@cjtpa.com>
Subject: Project 16-106 111 Purefoy Rd

Hi Andrew,

I just wanted to pass along that I will be the case planner working with you on this project. A tentative review schedule is below. Please let me know if the meeting dates will work for your team. I do need to know about the PIM as soon as possible as I need to send a notification mailing.

- Application Distributed for staff Review: 10/17
- Internal Technical Review meetings: 11/7 and 11/8
- Comments sent to applicant: 11/10
- Public Information meeting: 11/16 at 5:15pm Town Hall
- Technical Review Team meeting with applicant: 11/17 at 10:30am Town Hall

Please let me know if these meeting dates will work for your team. Thanks,

Jay



Jay Heikes, Planner

Development Services Division | Planning and Sustainability
405 Martin Luther King Jr Blvd. | Chapel Hill NC 27514

Town of Chapel Hill | www.townofchapelhill.org
t: 919-969-5082 | jheikes@townofchapelhill.org

Gene Poveromo

From: Jeff Scouten <jscouten@orangecountync.gov>
Sent: Friday, October 28, 2016 9:07 AM
To: Gene Poveromo
Subject: Purefoy Road Apartments (111 Purefoy Rd.) Plan Review Comments Dated 10/28/16
Attachments: Purefoy Rd. Apts. Plan Review Comments Dated 10-28-16 JS.pdf; SWM Plan.doc

Importance: High

Gene:

Since the transmittal that came with the plans for this project indicated the project planner was TBD I am sending my review comments to you.

They are attached herewith.

In addition I have attached a blank copy of the **Solid Waste Management Plan** document which the applicant must complete and return to me for review and approval.

Thanks for the opportunity to review and comment on this plan and let me know if you have any questions or wish to discuss this matter further.

*Jeff Scouten
Environmental Enforcement Supervisor
Orange County Solid Waste Management
P.O. Box 17177
1207 Eubanks Road
Chapel Hill, NC 27516-7177
919-968-2788 x107 (Office)*

Pursuant to North Carolina General Statute 132, correspondence sent and received from this account is a public record and may be disclosed to third parties.

Gene Poveromo

From: Becky McDonnell
Sent: Monday, May 16, 2016 2:05 PM
To: Technical Review Team
Subject: REVISED TRT Digest 5-16-16
Attachments: 5-16-16 TRT_Digest.pdf

TRT Agenda --- This Week (May 16 – May 20)

Tuesday, May 17

- **2:00-3:00pm** Nothing Scheduled
- **3:00-4:00pm** Carraway Village - apartments
 - Address: 3000 Eubanks Rd
 - LAMA Project Number: **201611349**
 - Type of Application: Final Plans ZCP
 - Round of Review: Round 1
 - Planner: Gene Poveromo
 - Required Staff: Full TRT

Thursday, May 19

- **10:30-11:15am** Carraway Village – road widening
 - Address: Eubanks Road
 - LAMA Project Number: **201612081**
 - Type of Application: Final Plans ZCP
 - Round of Review: Round 1
 - Planner: Gene Poveromo
 - Required Staff: NCDOT, OWASA, Kumar Neppalli, Chris Jensen, Chris Roberts, Bill Webster, David Bonk, Curtis Brooks, Ernest Odei-Larbi, Larry Tucker
- **11:15-12:00pm** 111 Purefoy (3 units)
 - Address: 111 Purefoy
 - LAMA Project Number: **TBD**
 - Type of Application: Site Plan
 - Round of Review: Pre-application
 - Planner: Judy Johnson
 - Required Staff: CD Staff, Chris Jensen, Travis Crabtree, Mike Taylor, Ernest Odei-Larbi, Dave Milkereit, Curtis Brooks, Bill Webster, Jeff Scouten

TRT Agenda --- Next Week (May 23 - 27)

Tuesday, May 24

- **2:00-3:00pm** Chapel Hill Retirement Residence
 - Address: 700 N Estes
 - LAMA Project Number: **16-055 & 16-057**
 - Type of Application: ZAA & SUP
 - Round of Review: Round 1
 - Planner: Eric Feld
 - Required Staff: Full TRT
- **3:00-4:00pm** Nothing Scheduled

Thursday, May 26

- **10:30-11:15am** Nothing Scheduled
- **11:15-12:00pm** Nothing Scheduled

Comments Due This Week (May 9 – May 13):

- **No Comments Due**

Comments Due Next Week (May 16 – May 20):

- Cedar Village Family Fare
 - Address: 618 Weaver Dairy Rd
 - LAMA Project Number: **201612057**
 - Type of Application: Admin ZCP
 - Round of Review: Round 1
 - Planner: Kay Pearlstein
 - Comments Due: 5/23/16
- University Place Dumpster - Silverspot
 - Address: 210 S Estes Dr
 - LAMA Project Number: **201612100**
 - Type of Application: Admin ZCP
 - Round of Review: Round 1
 - Planner: Jay Heikes
 - Comments Due: 5/23/16
- Zoe's Kitchen
 - Address: 1800 E Franklin St, Unit 30
 - LAMA Project Number: **201612129**
 - Type of Application: Admin ZCP
 - Round of Review: Round 1
 - Planner: Jay Heikes
 - Comments Due: 5/23/16

Plan Distribution

Plans for the following projects have been distributed digitally on LAMA. Paper copies are available in your box at Town Hall if you normally receive paper copies. Please enter your comments in LAMA by the date noted below if you have access to LAMA, otherwise email your comments to the planner.



Rebecca McDonnell, Planner I

Development Services Division | Planning and Sustainability
405 Martin Luther King Jr Blvd. | Chapel Hill NC 27514

Town of Chapel Hill | www.townofchapelhill.org
t: 919-968-2892 | rmcdonnell@townofchapelhill.org

Gene Poveromo

From: Becky McDonnell
Sent: Monday, May 09, 2016 12:32 PM
To: Technical Review Team
Subject: TRT Digest 5-9-16
Attachments: 5-9-16 TRT_Digest.pdf

TRT Agenda --- This Week (May 9 - 13)

Tuesday, May 10

- **2:00-3:00pm** Nothing Scheduled
- **3:00-4:00pm** Nothing Scheduled

Thursday, May 12

- **10:30-11:15am** Nothing Scheduled
- **11:15-12:00pm** Glenwood Sq Shopping Center
 - Address: 1208 Raleigh Road
 - LAMA Project Number: TBD
 - Type of Application: Admin ZCP
 - Round of Review: Pre-application
 - Planner: TBD
 - Required Staff: Current Development ONLY

TRT Agenda --- Next Week (May 16 – May 20)

Tuesday, May 17

- **2:00-3:00pm** AC Hotel
 - Address: 210 W Rosemary
 - LAMA Project Number: **201611389**
 - Type of Application: Final Plans – Phase 1
 - Round of Review: Round 1
 - Planner: Kay Pearlstein
 - Required Staff: FULL TRT
- **3:00-4:00pm** Carroway Village
 - Address: 3000 Eubanks Rd
 - LAMA Project Number: **201611349**
 - Type of Application: Final Plans ZCP
 - Round of Review: Round 1
 - Planner: Gene Poveromo
 - Required Staff: Full TRT

Thursday, May

- **10:30-11:15am** Carroway Village – road widening
 - Address: Eubanks Road
 - LAMA Project Number: **201612081**
 - Type of Application: Final Plans ZCP
 - Round of Review: Round 1
 - Planner: Gene Poveromo
 - Required Staff: NCDOT, OWASA, Kumar Neppalli, Chris Jensen, Chris Roberts, Bill Webster, David Bonk, Curtis Brooks, Ernest Odei-Larbi, Larry Tucker
- **11:15-12:00pm** 111 Purefoy
 - Address: 111 Purefoy
 - LAMA Project Number: **TBD**

- Type of Application: Site Plan
- Round of Review: Pre-application
- Planner: Judy Johnson
- Required Staff: CD Staff, Chris Jensen, Travis Crabtree, Mike Taylor, Ernest Odei-Larbi, Dave Milkereit, Curtis Brooks, Bill Webster, Jeff Scouten

Comments Due This Week (May 9 – May 13):

- **No Comments Due**

Comments Due Next Week (May 16 – May 20):

- **No Comments Due**

Plan Distribution

Plans for the following projects have been distributed digitally on LAMA. Paper copies are available in your box at Town Hall if you normally receive paper copies. Please enter your comments in LAMA by the date noted below if you have access to LAMA, otherwise email your comments to the planner.

- Cedar Village Family Fare
 - Address: 618 Weaver Dairy Rd
 - LAMA Project Number: **201612057**
 - Type of Application: Admin ZCP
 - Round of Review:
 - Planner: Kay Pearlstein
 - Comments Due: 5/23/16
- University Place Dumpster
 - Address: 210 S Estes Dr
 - LAMA Project Number: **201612100**
 - Type of Application: Admin ZCP
 - Round of Review: Round 1
 - Planner: Jay Heikes
 - Comments Due: 5/23/16
- Zoe's Kitchen
 - Address: 1800 E Franklin St
 - LAMA Project Number: **201612129**
 - Type of Application: Admin ZCP
 - Round of Review: Round 1
 - Planner: Jay Heikes
 - Comments Due: 5/23/16



Rebecca McDonnell, Planner I

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Gene Poveromo

From: Becky McDonnell
Sent: Monday, May 16, 2016 1:42 PM
To: Technical Review Team
Subject: TRT Digest 5-16-16
Attachments: 5-16-16 TRT_Digest.pdf

TRT Agenda --- This Week (May 16 – May 20)

Tuesday, May 17

- **2:00-3:00pm** AC Hotel
 - Address: 210 W Rosemary
 - LAMA Project Number: **201611389**
 - Type of Application: Final Plans – Phase 1
 - Round of Review: Round 1
 - Planner: Kay Pearlstein
 - Required Staff: FULL TRT
- **3:00-4:00pm** Carraway Village - apartments
 - Address: 3000 Eubanks Rd
 - LAMA Project Number: **201611349**
 - Type of Application: Final Plans ZCP
 - Round of Review: Round 1
 - Planner: Gene Poveromo
 - Required Staff: Full TRT

Thursday, May 19

- **10:30-11:15am** Carraway Village – road widening
 - Address: Eubanks Road
 - LAMA Project Number: **201612081**
 - Type of Application: Final Plans ZCP
 - Round of Review: Round 1
 - Planner: Gene Poveromo
 - Required Staff: NCDOT, OWASA, Kumar Neppalli, Chris Jensen, Chris Roberts, Bill Webster, David Bonk, Curtis Brooks, Ernest Odei-Larbi, Larry Tucker
- **11:15-12:00pm** 111 Purefoy (3 units)
 - Address: 111 Purefoy
 - LAMA Project Number: **TBD**
 - Type of Application: Site Plan
 - Round of Review: Pre-application
 - Planner: Judy Johnson
 - Required Staff: CD Staff, Chris Jensen, Travis Crabtree, Mike Taylor, Ernest Odei-Larbi, Dave Milkereit, Curtis Brooks, Bill Webster, Jeff Scouten

TRT Agenda --- Next Week (May 23 - 27)

Tuesday, May 24

- **2:00-3:00pm** Chapel Hill Retirement Residence
 - Address: 700 N Estes
 - LAMA Project Number: **16-055 & 16-057**
 - Type of Application: ZAA & SUP
 - Round of Review: Round 1
 - Planner: Eric Feld
 - Required Staff: Full TRT
- **3:00-4:00pm** Nothing Scheduled

Thursday, May 26

- **10:30-11:15am** Nothing Scheduled
- **11:15-12:00pm** Nothing Scheduled

Comments Due This Week (May 9 – May 13):

- **No Comments Due**

Comments Due Next Week (May 16 – May 20):

- Cedar Village Family Fare
 - Address: 618 Weaver Dairy Rd
 - LAMA Project Number: **201612057**
 - Type of Application: Admin ZCP
Round of Review: Round 1
 - Planner: Kay Pearlstein
 - Comments Due: 5/23/16
- University Place Dumpster - Silverspot
 - Address: 210 S Estes Dr
 - LAMA Project Number: **201612100**
 - Type of Application: Admin ZCP
Round of Review: Round 1
 - Planner: Jay Heikes
 - Comments Due: 5/23/16
- Zoe's Kitchen
 - Address: 1800 E Franklin St, Unit 30
 - LAMA Project Number: **201612129**
 - Type of Application: Admin ZCP
Round of Review: Round 1
 - Planner: Jay Heikes
 - Comments Due: 5/23/16

Plan Distribution

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Rebecca McDonnell, Planner I

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405 Martin Luther King Jr Blvd. | Chapel Hill NC 27514

Town of Chapel Hill | www.townofchapelhill.org
t: 919-968-2892 | rmcdonnell@townofchapelhill.org

Gene Poveromo

From: Becky McDonnell
Sent: Tuesday, October 18, 2016 11:56 AM
To: Technical Review Team
Subject: TRT Digest 10-17-16
Attachments: 10-17-16 TRT_Digest.pdf

TRT Agenda --- This Week (October 17 – 21)

Tuesday, October 18

- **2:00-3:00pm** Columbia St Annex
 - Address: 1150 S Columbia St
 - LAMA Project Number: 13-048
 - Type of Application: **ZAA/SUP**
 - Round of Review: Round 1 Post TRT
 - Planner: Kay Pearlstein
 - Required Staff: Full TRT
- **3:00-4:00pm** Montessori School
 - Address: 4512 Pope Road
 - LAMA Project Number: 16-093
 - Type of Application: **SUP**
 - Round of Review: Pre-application
 - Planner: Gene Poveromo
 - Required Staff: Full TRT

Thursday, October 20

- **10:30-11:15am** Timberlyne Movie Theater & Trailer Park
 - Address: 90 Banks Dr
 - LAMA Project Number: TBD
 - Type of Application: TBD
 - Round of Review: Pre-concept plan
 - Planner: TBD
 - Required Staff: Full TRT
- **11:15-12:00pm** Nothing Scheduled

TRT Agenda --- Next Week (October 24 - 28)

Tuesday, October 25

- **2:00-3:00pm** Oxford Reserve
 - Address: 2204 Old Oxford Rd
 - LAMA Permit Number: 16-097
 - Type of Application: **ZAA/SUP**
 - Round of Review: Round 1
 - Planner: Gene Poveromo
 - Required Staff: Full TRT
- **3:00-4:00pm** Station at East 54
 - Address: 1003 S Hamilton Rd
 - LAMA Project Number: 15-099
 - Type of Application: **SUP/ZAA**
 - Round of Review:
 - Planner:
 - Required Staff: Full TRT

Thursday, October 27

- **10:30-11:15am** Nothing Scheduled
 - **11:15-12:00pm** Nothing Scheduled
-

Comments Due This Week (October 17 - 21):

- No Comments Due

Comments Due Next Week (October 24 - 28):

- Carolina Collision Center
 - Address: 1705 Legion Rd
 - LAMA Permit Number: 201613363
 - Type of Application: Admin ZCP (E/F)
 - Round of Review: Round 1
 - Planner: Jay Heikes
 - Comments Due: 10/25/2016
- Eastgate Building D Modification (electronic only)
 - Address: 1490 Fordham Blvd
 - LAMA Permit Number: 201612954
 - Type of Application: Form District Permit modification
 - Round of Review: Round 1
 - Planner: Jay Heikes
 - Comments Due: 10/25/2016
- Babalu Tapas & Tacos
 - Address: 1800 E Franklin St
 - LAMA Permit Number: 201612656
 - Type of Application: Admin ZCP
 - Round of Review: Round 4
 - Planner: Jay Heikes
 - Comments Due: 10/25/2016

Plan Distribution

Plans for the following projects have been distributed digitally on LAMA. Paper copies are available in your box at Town Hall if you normally receive paper copies. Please enter your comments in LAMA by the date noted below if you have access to LAMA, otherwise email your comments to the planner.

- Chapel Hill Maintenance Building
 - Address: 1708 High School Rd
 - LAMA Permit Number: 16-103
 - Type of Application: SUP/ZAA
 - Round of Review: Round 1
 - Planner: Kay Pearlstein
 - Comments Due: 10/31/2016
- Purefoy Rd Apartments
 - Address: 111 Purefoy Rd
 - LAMA Permit Number: 16-106
 - Type of Application: Site Plan
 - Round of Review: Round 1
 - Planner: TBD
 - Comments Due: 10/31/2016

Current Development Staff ONLY Meetings

Standing Tuesday and Wednesday meetings for CD Staff ONLY. These meetings have been added to the Digest so that all TRT members are aware of projects coming down the pipeline.

Tuesday, October 18

- **1:30-2:00pm** Windsor Circle
 - Applicant: Tim Smith
 - Description: Recombination plat

Wednesday, October 19

- **1:00-1:30pm** Nothing Scheduled



Rebecca McDonnell, Planner I

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Gene Poveromo

From: Becky McDonnell
Sent: Monday, October 31, 2016 11:12 AM
To: Technical Review Team
Subject: TRT Digest 10-31-16
Attachments: 10-31-16 TRT_Digest.pdf

TRT Agenda --- This Week (October 31 – November 4)

Tuesday, November 1

- **2:00-3:00pm** 106 S Estes / FRMR Pizza Hut – [Pre Application Meeting with Applicant](#)
 - Address: 106 S Estes Dr
 - LAMA Project Number: NA
 - Type of Application: **Final Plans**
 - Round of Review: Pre Application
 - Planner: Jay Heikes
 - Required Staff: Full TRT
 - Comment: Tear down existing +/- 2000 sf structure, replace with +/- 3000 sf structure. RCD / Floodplain. Parking lot / landscape improvements.
- **3:00-4:00pm** Signature Healthcare
 - Address: 1602 E Franklin
 - LAMA Project Number: TBD
 - Type of Application: **SUP**
 - Round of Review: Pre Application
 - Planner: Kay Pearlstein
 - Required Staff: Full TRT
 - Comment: Pre-SUP submittal meeting

Thursday, November 3

- **10:30-11:15am** Station at East 54
 - Address: 1003 Hamilton Road
 - LAMA Project Number: TBD
 - Type of Application: **Development Agreement Compliance Permit**
 - Round of Review: Pre Application
 - Planner: Kay Pearlstein
 - Required Staff: Full TRT
- **11:15-12:00pm** Bolinwood Dr Interceptor
 - Address: Bolinwood Dr
 - LAMA Project Number: TBD
 - Type of Application: **Admin ZCP**
 - Round of Review: Pre Application
 - Planner: TBD
 - Required Staff: Gene Poveromo, Kay Pearlstein, Ernest Odei-Larbi, Curtis Brooks, Bill Webster, Larry Tucker

TRT Agenda --- Next Week (November 7 – 11)

Tuesday, November 8

- **2:00-3:00pm** Oxford Reserve
 - Address: 2204 Old Oxford Rd
 - LAMA Project Number: 16-097
 - Type of Application: **ZAA/SUP**
 - Round of Review: Round 1
 - Planner: Kay Pearlstein
 - Required Staff: Full TRT

- **3:00-4:00pm** Nothing Scheduled
- Thursday, November 10**
- **10:30-11:15am** Nothing Scheduled
 - **11:15-12:00pm** Nothing Scheduled
-

Comments Due This Week (October 31 – November 4):

- Chapel Hill Maintenance Building
 - Address: 1708 High School Rd
 - LAMA Permit Number: 16-103
 - Type of Application: SUP/ZAA
 - Round of Review: Round 1
 - Planner: Eric Feld?
 - Comments Due: 10/31/2016

Comments Due Next Week (November 7 – 11):

- Rogers Road Sewer Project
 - Address: Rogers Rd
 - LAMA Permit Number: 201612363
 - Type of Application: Final Plans
 - Round of Review: Round 2
 - Planner: Judy Johnson
 - Comments Due: 11/10/2016
-

Plan Distribution

Plans for the following projects have been distributed digitally on LAMA. Paper copies are available in your box at Town Hall if you normally receive paper copies. Please enter your comments in LAMA by the date noted below if you have access to LAMA, otherwise email your comments to the planner.

- La Residence Restaurant
 - Address: 202 W Rosemary St
 - LAMA Permit Number: 201613607
 - Type of Application: Admin ZCP
 - Round of Review: Round 1
 - Planner: Jay Heikes
 - Comments Due: 11/21/2016
- Chapel Hill Bible Church
 - Address: 260 Erwin Road
 - LAMA Project Number: 201613606
 - Type of Application: Final Plans (Phase 2)
 - Round of Review: Round 1
 - Planner: Kay Pearlstein
 - Comments Due: 11/21/2016
- Purefoy Rd Apartments
 - Address: 111 Purefoy Rd
 - LAMA Permit Number: 16-106
 - Type of Application: Site Plan
 - Round of Review: Round 1
 - Planner: Jay Heikes
 - Comments Due: 11/15/2016
- Rogers Road Sewer Project
 - Address: Rogers Rd

- LAMA Permit Number: 201612363
- Type of Application: Final Plans
- Round of Review: Round 2
- Planner: Judy Johnson
- Comments Due: 11/10/2016

Current Development Staff ONLY Meetings

Standing Tuesday and Wednesday meetings for CD Staff ONLY. These meetings have been added to the Digest so that all TRT members are aware of projects coming down the pipeline.

Tuesday, November 1

- **1:30-2:00pm Homestead Road Properties**
 - Applicant: Preston Nesbit
 - Description: Looking for access through Nesbit property to Homestead Road

Wednesday, November 2

- **1:00-1:30pm Homestead Rd Wood Property**
 - Applicant: Richard Gurlitz
 - Description: a townhouse development at Dr. Wood's property on Homestead Road



Rebecca McDonnell, Planner I

Development Services Division | Planning and Sustainability
405 Martin Luther King Jr Blvd. | Chapel Hill NC 27514

Town of Chapel Hill | www.townofchapelhill.org
t: 919-968-2892 | rmcdonnell@townofchapelhill.org

Gene Poveromo

From: Dan Jewell <djewell@cjtpa.com>
Sent: Monday, September 26, 2016 8:46 AM
To: Judy Johnson; Gene Poveromo
Cc: Ken Gorfkle; Phil; Andrew Porter
Subject: RE: Purefoy Road Apartments

Any time after 10:30 this AM would be good

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Dan

When is a good time for you?

Judy



Judy Johnson, Principal Planner

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Thanks as always

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That said based on this understanding can you confirm the following height restrictions for the property? Per the NCD regulations the maximum secondary building height is 30 feet. Would this then make the primary building height 29'?

Thanks,
Andy

Andy Porter, RLA
Project Manager

Coulter Jewell Thames, PA

111 West Main Street
Durham, NC 27701
phone: 919-682-0368
fax: 919-688-5646

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Maximum building height (primary) – 34

Maximum building height (secondary) -60

Please let me know if you have any questions.

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phone: 919-682-0368

fax: 919-688-5646

Gene Poveromo

From: Jay Heikes
Sent: Tuesday, August 30, 2016 11:22 AM
To: Gene Poveromo
Cc: Phil Mason; Ben Hitchings
Subject: RE: Copy of Project Update Status presentation to Senior Leadership Team
Attachments: Project Update (Appriaser)6-27-16.pptx; Selected Developments 6.29.16xlsx.xlsx

Here ya go...

I would love to be of assistance as I have been tracking this information for the better part of three years and working on ways to better present it. I have also assembled and am preparing some additional data related to COs, pop growth, job growth, UNC demographics, school impacts, etc... as time allows.

Jay

Jay Heikes

Town of Chapel Hill
Planning and Sustainability
919-969-5082

From: Gene Poveromo
Sent: Tuesday, August 30, 2016 10:56 AM
To: Jay Heikes
Cc: Phil Mason
Subject: Copy of Project Update Status presentation to Senior Leadership Team
Importance: High

Jay,
A few months ago you made a presentation to the Senior Leadership Team - Project Update Status.

Is that a presentation you can forward to my attention?

Ben and I are meeting with some folks who are interested in development trends and I would like to decide if your work is something that might be useful to me.

Thanks

G



Gene Poveromo, Development Manager
Current Development | Planning and Sustainability
405 Martin Luther King Jr Blvd | Chapel Hill, NC 27514-5705

Town of Chapel Hill | www.townofchapelhill.org
t: (919) 969-5069 | gpoveromo@townofchapelhill.org
m: (919) 619-5389
Fax: (919) 969-2014



Gene Poveromo

From: Jeff Scouten <jscouten@orangecountync.gov>
Sent: Friday, October 28, 2016 9:21 AM
To: Gene Poveromo
Cc: Jay Heikes; Becky McDonnell
Subject: RE: Purefoy Road Apartments (111 Purefoy Rd.) Plan Review Comments Dated 10/28/16

Thank you.
Take care.

*Jeff Scouten
Environmental Enforcement Supervisor
Orange County Solid Waste Management
P.O. Box 17177
1207 Eubanks Road
Chapel Hill, NC 27516-7177
919-968-2788 x107 (Office)*

Pursuant to North Carolina General Statute 132, correspondence sent and received from this account is a public record and may be disclosed to third parties.

From: Gene Poveromo [mailto:gpoveromo@townofchapelhill.org]
Sent: Friday, October 28, 2016 9:19 AM
To: Jeff Scouten
Cc: Jay Heikes; Becky McDonnell
Subject: FW: Purefoy Road Apartments (111 Purefoy Rd.) Plan Review Comments Dated 10/28/16
Importance: High

Jeff,

I am sending this information to Jay Heikes (lead planner).

I will ask **Becky** to update all future correspondence noting Jay as the lead.

Thanks and have a good weekend.

G



Gene Poveromo, Development Manager
Current Development | Planning and Sustainability
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From: Jeff Scouten [<mailto:jscouten@orangecountync.gov>]
Sent: Friday, October 28, 2016 9:07 AM
To: Gene Poveromo <gpoveromo@townofchapelhill.org>
Subject: Purefoy Road Apartments (111 Purefoy Rd.) Plan Review Comments Dated 10/28/16
Importance: High

Gene:

Since the transmittal that came with the plans for this project indicated the project planner was TBD I am sending my review comments to you.

They are attached herewith.

In addition I have attached a blank copy of the **Solid Waste Management Plan** document which the applicant must complete and return to me for review and approval.

Thanks for the opportunity to review and comment on this plan and let me know if you have any questions or wish to discuss this matter further.

*Jeff Scouten
Environmental Enforcement Supervisor
Orange County Solid Waste Management
P.O. Box 17177
1207 Eubanks Road
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919-968-2788 x.107 (Office)*

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To: Judy Johnson; Gene Poveromo
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Subject: RE: Purefoy Road Apartments

Hi Judy

Any air in your and Gene's schedule?

Thanks

dan

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Any time after 10:30 this AM would be good

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Sent: Wednesday, September 21, 2016 9:34 AM

To: Andrew Porter <andrew.porter@cjtpa.com>

Cc: Ken Gorfkle <kgorfkle@bellsouth.net>; Phil <pkiester@tisekiester.com>; Dan Jewell <djewell@cjtpa.com>

Subject: RE: Purefoy Road Apartments

Primary height would be 30' as well as the primary height for R-4 is 34'.



Judy Johnson, Principal Planner

Office of Housing and Community

405 Martin Luther King Jr Blvd. | Chapel Hill NC 27514

Town of Chapel Hill | www.townofchapelhill.org

t: 919-969-5078 | jjohnson@townofchapelhill.org

From: Andrew Porter [mailto:andrew.porter@cjtpa.com]

Sent: Tuesday, September 20, 2016 1:24 PM

To: Judy Johnson <jjohnson@townofchapelhill.org>

Cc: Ken Gorfkle <kgorfkle@bellsouth.net>; Phil <pkiester@tisekiester.com>; Dan Jewell <djewell@cjtpa.com>; Kay Pearlstein <kpearlstein@townofchapelhill.org>

Subject: RE: Purefoy Road Apartments

Thanks for clarifying Judy. I wasn't sure if the legislation passed covered all of the NCD regulations.

That said based on this understanding can you confirm the following height restrictions for the property? Per the NCD regulations the maximum secondary building height is 30 feet. Would this then make the primary building height 29'?

Thanks,
Andy

Andy Porter, RLA
Project Manager

Coulter Jewell Thames, PA

111 West Main Street
Durham, NC 27701
phone: 919-682-0368

From: Judy Johnson [mailto:jjohnson@townofchapelhill.org]
Sent: Tuesday, September 20, 2016 11:22 AM
To: Andrew Porter <andrew.porter@cjtpa.com>
Cc: Ken Gorfkle <kgorfkle@bellsouth.net>; Phil <pkiester@tisekiester.com>; Daniel Jewell <djewell@cjtpa.com>; Kay Pearlstein <kpearlstein@townofchapelhill.org>
Subject: RE: Purefoy Road Apartments

Andy

Kay and I were talking and maybe what you are referring to about the NCD regulations not be enforceable was regarding some of the requirements in that NCD. That NCD has regulations that limit the amount of bedroom space to common space – we can not longer enforce that but that does not mean that the entire NCD regulations are not enforceable.

Judy



Judy Johnson, Principal Planner

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t: 919-969-5078 | jjohnson@townofchapelhill.org

From: Judy Johnson
Sent: Tuesday, September 20, 2016 10:34 AM
To: 'Andrew Porter' <andrew.porter@cjtpa.com>
Cc: Ken Gorfkle <kgorfkle@bellsouth.net>; Phil <pkiester@tisekiester.com>; Daniel Jewell <djewell@cjtpa.com>; Kay Pearlstein <kpearlstein@townofchapelhill.org>
Subject: RE: Purefoy Road Apartments

Andy

We do not recall saying that the NCD regulations were no longer enforceable by the Town – the property is subject to the NCD regulations and would be subject to the height limitations.

Judy



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Town of Chapel Hill | www.townofchapelhill.org
t: 919-969-5078 | jjohnson@townofchapelhill.org

From: Andrew Porter [<mailto:andrew.porter@cjtpa.com>]

Sent: Tuesday, September 20, 2016 8:23 AM

To: Judy Johnson <jjohnson@townofchapelhill.org>

Cc: Ken Gorfkle <kgorfkle@bellsouth.net>; Phil <pkiester@tisekiester.com>; Daniel Jewell <djewell@cjtpa.com>

Subject: Purefoy Road Apartments

Good morning Judy,

I have a quick question for you regarding the maximum building height (primary and secondary) allowed for the Purefoy Road Apartment project.

I recall we discussed during the pre-design conference that the Mason Farm / Whitehead Circle Neighborhood Conservation District Plan is no longer enforceable by the Town. That said can you confirm that the 30' maximum secondary building height is no longer enforceable from the NCD plan and the underlying zoning height requirements should apply (underlying zoning below)?

Zoning - R-4

Maximum building height (primary) – 34

Maximum building height (secondary) -60

Please let me know if you have any questions.

Thanks,
Andy

Andy Porter, RLA
Project Manager

Coulter Jewell Thames, PA

111 West Main Street
Durham, NC 27701
phone: 919-682-0368
fax: 919-688-5646

Gene Poveromo

From: Dan Jewell <djewell@cjtpa.com>
Sent: Thursday, September 29, 2016 8:06 AM
To: Gene Poveromo
Cc: Judy Johnson
Subject: Re: Purefoy

Thanks

Cell is good. 919.219.6601

Dan Jewell
Coulter Jewell Thames, PA
919.682.0368

On Sep 28, 2016, at 5:25 PM, Gene Poveromo <gpoveromo@townofchapelhill.org> wrote:

Tomorrow.

I'll call you before 9am.

G

<image001.gif> **Gene Poveromo, Development Manager**
Current Development | Planning and Sustainability
405 Martin Luther King Jr Blvd | Chapel Hill, NC 27514-5705

Town of Chapel Hill | www.townofchapelhill.org
t: (919) 969-5069 | gpoveromo@townofchapelhill.org
m: (919) 619-5389
Fax: (919) 969-2014

<image002.png>

From: Dan Jewell [<mailto:djewell@cjtpa.com>]
Sent: Wednesday, September 28, 2016 3:34 PM
To: Gene Poveromo <gpoveromo@townofchapelhill.org>
Cc: Judy Johnson <jjohnson@townofchapelhill.org>
Subject: Purefoy

Gene do you have a few minutes to talk about our Purefoy Road Project this afternoon or tomorrow?

Thanks

Dan

From: Ed McLean [<mailto:ed.mclean@cjtpa.com>]
Sent: Wednesday, September 28, 2016 3:17 PM
To: gpoveromo@townofchapelhill.org; kpearlstein@townofchapelhill.org

Cc: Dan Jewell <djewell@citpa.com>

Subject: 1165 Weaver Dairy Concept Plan Application Amendment

Please see the attached amended Concept Plan Application for 1165 Weaver Dairy Rd.

Thanks

--

Ed McLean

Coulter Jewell Thames, PA

111 West Main Street
Durham, NC 27701

Phone: [919-682-0368](tel:919-682-0368) Ext. [206](tel:206)

Mobile: [828-406-3776](tel:828-406-3776)

Gene Poveromo

From: Jay Heikes
Sent: Friday, October 28, 2016 2:50 PM
To: Gene Poveromo
Subject: RE: Project 16-106 111 Purefoy Rd

11/17 – it will be after the PIM on 11/16. This scheduling will also be helpful, because it will allow me to get this one “out the door” when 16-088 Co-op preschool comes back in. Current anticipated resubmittal on that one is 11/11 – which I told Co-op Preschool that would probably put them on the 1/3 PC meeting which I will already be at.

Jay



Jay Heikes, Planner

Development Services Division | Planning and Sustainability
405 Martin Luther King Jr Blvd. | Chapel Hill NC 27514

Town of Chapel Hill | www.townofchapelhill.org
t: 919-969-5082 | jheikes@townofchapelhill.org

From: Gene Poveromo
Sent: Friday, October 28, 2016 2:26 PM
To: Jay Heikes
Subject: RE: Project 16-106 111 Purefoy Rd

When is the TRT meeting date?

G



Gene Poveromo, Development Manager

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t: (919) 969-5069 | gpoveromo@townofchapelhill.org
m: (919) 619-5389
Fax: (919) 969-2014



From: Jay Heikes
Sent: Friday, October 28, 2016 2:19 PM
To: Gene Poveromo <gpoveromo@townofchapelhill.org>
Subject: RE: Project 16-106 111 Purefoy Rd

Just TRT with the applicant.

Jay



Jay Heikes, Planner

Development Services Division | Planning and Sustainability
405 Martin Luther King Jr Blvd. | Chapel Hill NC 27514

Town of Chapel Hill | www.townofchapelhill.org
t: 919-969-5082 | jheikes@townofchapelhill.org

From: Gene Poveromo
Sent: Friday, October 28, 2016 2:16 PM
To: Jay Heikes
Subject: RE: Project 16-106 111 Purefoy Rd

Jay
I thought we were doing TRT and TRT with applicant after thanksgiving.

G



Gene Poveromo, Development Manager

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Cc: Ken Gorfkle <kgorfkle@bellsouth.net>; Daniel Jewell <djewell@cjtpa.com>; Gene Poveromo <gpoveromo@townofchapelhill.org>
Subject: RE: Project 16-106 111 Purefoy Rd

Hi Andrew,

Great. I will get that scheduled and sent out! After discussing with Gene, we do need to make adjustments to the schedule to account for workload and the Thanksgiving holiday. We also have a policy that I missed in my previous schedule of holding the full internal Technical Review Team meeting *after* the PIM.

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- Comments sent to applicant: 11/17
- Public Information meeting: 11/16 at 5:15pm Town Hall
- Technical Review Team meeting with applicant: 11/29 at 2pm Town Hall

Thanks!

Jay



Jay Heikes, Planner

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Cc: Ken Gorfkle; Daniel Jewell
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Hi Jay.

The developer and I are both available for the public information meeting on 11/16 at 5:15pm Town Hall.

Can you provide an alternate date for the TRT meeting? I am out for a continuing education event on 11/17.

Thanks,
Andy

Andy Porter, RLA
Project Manager

Coulter Jewell Thames, PA
111 West Main Street
Durham, NC 27701
phone: 919-682-0368
fax: 919-688-5646

From: Jay Heikes [<mailto:jheikes@townofchapelhill.org>]
Sent: Friday, October 28, 2016 11:42 AM
To: Andrew Porter (andrew.porter@cjtpa.com) <andrew.porter@cjtpa.com>
Subject: Project 16-106 111 Purefoy Rd

Hi Andrew,

I just wanted to pass along that to pass along that I will be the case planner working with you on this project. A tentative review schedule is below. Please let me know if the meeting dates will work for your team. I do need to know about the PIM as soon as possible as I need to send a notification mailing.

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111 West Main Street
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Project Manager

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t: 919-969-5082 | jheikes@townofchapelhill.org

Gene Poveromo

From: Jay Heikes
Sent: Monday, October 31, 2016 9:52 AM
To: Andrew Porter
Cc: Ken Gorfkle; Dan Jewell; Gene Poveromo
Subject: RE: Project 16-106 111 Purefoy Rd

Excellent,

You are all set for the 11/29 meeting at 2pm. It will be held in the first floor conference room. I will be sending comments on or shortly after 11/17.

Please let me know if you have any questions,

Jay



Jay Heikes, Planner

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405 Martin Luther King Jr Blvd. | Chapel Hill NC 27514

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t: 919-969-5082 | jheikes@townofchapelhill.org

From: Andrew Porter [mailto:andrew.porter@cjtpa.com]
Sent: Friday, October 28, 2016 4:42 PM
To: Jay Heikes
Cc: Ken Gorfkle; Dan Jewell; Gene Poveromo
Subject: RE: Project 16-106 111 Purefoy Rd

Hi Jay.

I checked with the developer and 11/29 works for the TRT meeting. Please go ahead and schedule us in.

Thanks,
Andy

Andy Porter, RLA
Project Manager

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405 Martin Luther King Jr Blvd. | Chapel Hill NC 27514

Town of Chapel Hill | www.townofchapelhill.org
t: 919-969-5082 | jheikes@townofchapelhill.org

Gene Poveromo

From: Ernest Odei-Larbi
Sent: Monday, October 31, 2016 4:08 PM
To: Gene Poveromo
Cc: Mike Klein; Chris Jensen; Kiel Harms
Subject: 111 Purefoy Road--Site Plan review(LAMA 16-106)

Gene,

Find below my comments.

1. Provide a copy of site plan permit application form showing the existing and proposed impervious area.
2. Label on plan sheet SD 3, the top and bottom elevation of the retaining wall.
3. Show on plan sheet SD-3.0, Junction Box at the upstream of underground detention pipe.
4. Show on plan sheet SD-3, the cross-section A-A.
5. Provide in the calculation document the 2-year-24 hour storm event volume difference between the post and pre-development.
6. Provide the first inch runoff computation and show that the first inch and 2-year volume will meet the draw down requirement.
7. Dimension on the plan view of the bioretention basin, the length, width and radius of the top surface basin. The surface area in square feet should also be listed on the plan sheet.

Let me know if you have any questions. Thanks.



Ernest Odei-Larbi, PE, CFM | Stormwater Management Division | [Town of Chapel Hill](#)
Public Works Department | 208N. Columbia St. | Chapel Hill, NC 27514
Phone: 919-968-2717 | Fax: 919-968-7276

Gene Poveromo

From: Town of Chapel Hill, NC <info@townofchapelhill.org>
Sent: Friday, October 21, 2016 4:36 PM
To: Gene Poveromo
Subject: Chapel Hill eNews

Chapel Hill eNews

The e-newsletter of the Town of Chapel Hill offers a fresh update each week!

Post Date: 10/21/2016 9:16 AM



The e-newsletter of the Town of Chapel Hill offers a fresh update each week! Signing up -- or, changing your subscription preferences - is easy at www.townofchapelhill.org/signup.

Stay connected with us on [Facebook](#), [Twitter](#), [YouTube](#) - and via our [weekly newspaper ads](#) in the Chapel Hill News.

For more information, including media inquiries and requests for hi-res photos, please contact us at info@townofchapelhill.org.

Having trouble viewing this email? [Open in your web browser.](#)

1. [TOWNweek](#)
2. [Chapel Hill Plans for Monday Halloween on Franklin Street](#)
3. [Council Meeting Highlights](#)
4. [Learning, Serving and Working Together in the Cameron-McCauley Neighborhood](#)
5. [Public Hearing on 2017-2018 Community Development Block Grant \(CDBG\) Annual Public Needs Assessment](#)
6. [Policing, Race and Community](#)
7. [Haunted Homestead Aquatics Center](#)
8. [Congressman David Price Visits Digital Literacy Class](#)
9. [Public Input Invited on Library Internet Policy](#)
10. [Books Sandwiched In Meets Nov. 2](#)
11. [Wegmans Approved for Performance-Based Economic Incentive](#)
12. [Chapel Hill Police Department Joins Police Data Initiative](#)
13. [Volunteers needed for Project Connect!](#)
14. [School and Affordable Housing Bonds on November 8 Ballot](#)
15. [Interested in local issues? Apply to be a member of an advisory board, committee or commission.](#)
16. [Shop Locally at the Downtown Pop Up Farmers' Market](#)
17. [Bike Lanes Coming to Sage Road](#)
18. [Rosemary Street Improvements](#)
19. [Lane Closures at West Franklin and North Roberson Streets](#)
20. [Laurel Hill Road Detour](#)
21. [Chapel Hill Transit Fall Break Schedule](#)
22. [Leaf Collection for the Week of Oct. 23-29](#)
23. [Town In News](#)

Policing, Race and Community: From Conversations to Solutions



Join community leaders to discuss race and policing in this town hall style panel discussion. The panel will be moderated by Joel Brown, weekend anchor of WTVD, from 7 to 9 p.m. on Monday, Oct. 24, at Chapel Hill Town Hall. [Read more...](#)

- 24. [Police Seek Information in Robberies](#)
- 25. [Media Advisory: Special Class on Town Planning](#)
- 26. [Ephesus Church Road Closure Begins Nov. 1](#)

Early Voting Begins in Orange County
Thursday, October 20, 2016

Click [here](#) for locations and hours
(919) 245-2350

1. TOWNweek has been posted!

www.townofchapelhill.org/townweek

###



2. Chapel Hill Plans for Monday Halloween on Franklin Street

Visitors to Franklin Street on the night of Halloween (Monday, Oct. 31) will notice some things just the same as always – and, some changes too. After all, Halloween falls on a Monday this year!

What's the same?

We can expect the exuberant display of Chapel Hill creativity at its best with costumes, group themes, and our community's special flair. Halloween on Franklin Street continues to be promoted as a local event, to keep it smaller and safer.

What's new?

The Franklin Street closure will occur earlier -- from 8 to 10:30 p.m. More children and families are coming out. Halloween on a Monday night is expected to be shorter and smaller. Entry points have changed to the event area.

"We expect to provide a safe and fun atmosphere for the ghouls on Franklin Street," said Chapel Hill Police Chief Chris Blue. "And we want to preserve access to the hospital whenever we can. Shifting the western event perimeter to the east of Columbia Street helps us meet this interest."

Beginning at 8 p.m., the below downtown streets will be closed to vehicular traffic:

- East Franklin Street, from Raleigh Street to Columbia Street.
- East Cameron Avenue, from Raleigh Street to South Columbia Street.
- Henderson Street, from East Rosemary Street to East Franklin Street.

Residential streets near downtown will be closed at 5 p.m. except to residents of those streets and their guests.

Entry to the closed portions of East Franklin Street will be limited to the following locations:

- Any alley located on the north or south side of the 100 block of E. Franklin St.
- Henderson Street.
- Raleigh Street via E. Franklin Street on the north side of Franklin Street.
- McCorkle Place and Raleigh Street via E. Franklin St.

This revised traffic plan keeps a major thoroughfare to UNC Hospitals open. Travel along this route is vital for emergency services.

Entry to the closed portions of Franklin Street will be limited to the following locations:

- Any alley located on the north or south side of the 100 block of E. Franklin St.
- Henderson Street
- Raleigh Street via E. Franklin Street on the north side of Franklin Street
- McCorkle Place and Raleigh Street via E. Franklin St.

Visitors are encouraged to approach the event via Rosemary Street or Cameron Avenue. Officers and other event staff will be on hand to guide visitors to the entry points.

Media parking is available at the Morehead Planetarium, and exit from this lot will not be permitted until Franklin Street reopens to vehicular traffic.

More information on Homegrown Halloween is available at townofchapelhill.org/Halloween.

###



3. Council Meeting Highlights

The Chapel Hill Town Council will meet at 7 p.m. Wednesday, Oct. 26, at Chapel Hill Town Hall, 405 Martin Luther King Jr. Blvd., to consider an agenda that includes the following highlights. The full agenda is available here <http://bit.ly/2dVlwBO> or by contacting Communications and Public Affairs at 919-968-2743 or publicaffairs@townofchapelhill.org.

Public attendance is welcome. Parking is available at Town Hall lots and the lot at Stephens Street and Martin Luther King Jr. Boulevard. Additional parking is available in several public lots on Rosemary Street. See parkonthehill.com. Town Hall is served by NS and T routes of Chapel Hill Transit (www.chtransit.org).

View the Council meetings live on the website at townofchapelhill.org/councilvideo – and on Chapel Hill Gov-TV (townofchapelhill.org/GovTV). Other ways to follow Council meetings are via live tweets (tagged [#CHTC](https://twitter.com/CHTC)) from individuals who tweet during the meetings. Council meeting summaries are issued from the Communications and Public Affairs Department following most business meetings. To sign up to receive these by email, please send a request to info@townofchapelhill.org.

Recommended Funding Plan for the Affordable Housing Development Reserve

The Council will consider a funding allocation from the Affordable Housing Development Reserve (AHDR), which is dedicated to the development and preservation of affordable housing in Chapel Hill. The proposed allocations are for infrastructure and construction of first of three affordable tiny homes for homeless individuals (\$70,000); and for land purchase in the Northside neighborhood by Habitat for Humanity (\$55,000). The reserve would maintain a balance of \$474,580.

Consider a Request to Close Porthole Alley and Fraternity Row Rights-of-Way

The Town received a request from UNC-Chapel Hill to close the Porthole Alley and Fraternity Row rights-of-way. This request will enable the University to control vehicular access and make significant pedestrian improvements to this prominent entranceway from the downtown area. To accommodate this closure, the University is proposing to construct a new east-west vehicular alley off South Columbia Street to provide service and emergency vehicle access to affected properties on East Franklin Street.

Adjust Municipal Campaign Contributions and Disclosure Limits as Required by Ordinance

The Council will consider enacting an ordinance to increase the municipal campaign maximum contribution to \$353 and the contribution disclosure exemption to \$36 as required by ordinance. The ordinance requires that these amounts be adjusted during even-numbered years and provides criteria for making these adjustments based on changes in the Consumer Price Index (CPI).

Consider the Possible Future Use of Historic Town Hall as a Visitor's and History Center

The Council will consider establishing a process for the future use of the Historic Town Hall facility at 100 W. Rosemary St. as a visitor's and history center. The process includes a committee structure and will culminate with a report and recommendation to the Council in May 2017. Historic Town Hall is currently home to the Inter-Faith Council for Social Service's Community Kitchen. The IFC is proceeding with plans to relocate its kitchen services to another facility.

###



4. Learning, Serving and Working Together in the Cameron-McCauley Neighborhood

A walking tour of the Cameron-McCauley neighborhood with Town of Chapel Hill staff and residents (including Kurt Ribisl, President of the West Side Neighborhood Association, and local residents Jim Spencer and Elizabeth Sasser, all pictured here) is leading to new insights to better understand and address neighborhood issues.

On Tuesday, Oct. 18, staff from the Town's Office of Planning & Sustainability, Fire Department, Housing & Community, and Police Department, ventured out. They learned more about this neighborhood next to UNC and Downtown, and what makes it special, including the shaded streets, historic homes, and easy access to UNC and Franklin Street.

The event is part of a series of walking tours that Town planners and other staff are doing throughout the community to hear directly from residents about what matters most to them.

The Town of Chapel Hill is learning, serving and working together to build a community where people thrive!

###



5. Public Hearing on 2017-2018 Community Development Block Grant (CDBG) Annual Public Needs Assessment

The federal CDBG Program, operated by the US Department of Housing and Urban Development, provides communities with resources to address a wide range of community needs to serve lower and moderate income residents including affordable housing, community services, job training, and youth services. The Town of Chapel Hill has received federal CDBG funds since 1975 and has used these funds to support a variety of affordable housing initiatives and community service programs.

The Chapel Hill Town Council will hold a public hearing at 7 p.m. Monday, Nov. 7, in the Council Chamber of Chapel Hill Town Hall to receive citizen input on the Town's community development needs. Public comments will be used to help determine specific funding priorities, and help identify potential uses of 2017-2018 federal Community Development Block Grant (CDBG) funds. For more information, email CDBG@TownofChapelHill.org.

###



6. Policing, Race and Community

From Conversations to Solutions

Come join leaders in our community as they discuss race and policing in light of recent events in this town hall style panel discussion. The panel will be moderated by Joel Brown, weekend anchor of WTVD, from 7 to 9 p.m. on Monday, Oct. 24 at Chapel Hill Town Hall, 405 Martin Luther King Jr Blvd.

The discussion will be available via live streaming at townofchapelhill.org/town-hall/departments-services/communications-public-affairs/streaming-media-archive.

Panelist include:

- Chapel Hill Police Chief Chris Blue
- Carrboro Police Chief Walter Horton
- Orange County Sheriff Charles Blackwood
- Carrboro Alderman Michelle Johnson
- Chapel Hill Attorney Tye Hunter
- Community member Terrence Foushee
- Director of Empowerment Inc. Delores Bailey
- Executive Director of the Scholars Latino Initiative Ricky Hurtado
- UNC Law Student Quisha Mallette

Sponsored by the Justice in Action Committee of the Town of Chapel Hill and the District 15B Racial Justice Task Force.

###



7. Haunted Homestead Aquatics Center

Chapel Hill Parks and Recreation hosts Haunted H.A.C. on Saturday, Oct. 22

The Town of Chapel Hill Parks and Recreation Department will host a Haunted H.A.C. at 5 p.m. Saturday, Oct. 22 at the Homestead Aquatics Center, 300 Aquatic Drive. The event will feature a Trunk-or-Treat, games, Spooktacular Swim and Dive in Movie. Our Dive in Movie will be *The Addams Family* (PG-13), a time to lounge about in the pool or on the pool deck, and enjoy this indoor Spooktacular movie. Bring your own chair, floats or blanket, to make your lounge space comfortable

We are still accepting Spooktacular Volunteers for the Trunk-or-Treat. We are asking for participants to decorate their vehicles trunk and provide pre-packaged candy (we are anticipating approximately 225 youth participating in the Trunk-or-Treat). This event is catered towards youth 12 and under, so decorations should be festive but not scary. The Trunk-or-Treat portion of the evening will end at 6:30 p.m., and cars will be allowed to exit shortly after.

We would be delighted to have your support. For more information and volunteer registration please contact Lizzie Burrill at eburrill@townofchapelhill.org or (919) 968-2798.

For more info, visit townofchapelhill.org/town-hall/departments-services/parks-and-recreation/festivals-events/trunk-or-treat.

###



8. Congressman David Price Visits Digital Literacy Class

U.S. Congressman David Price joined Town Manager Roger Stancil today (Wednesday, Oct. 19) in congratulating a graduating class of Town of Chapel Hill public housing residents in their efforts to advance their digital literacy.

The Town's Office of Housing and Community, in collaboration with the Chapel Hill Public Library and Technology Solutions Department, launched a new partnership with Kramden Institute in 2015 to provide computer skills training to public housing residents. The program seeks to address two major impediments to digital inclusion: lack of access to a computer and lack of technology skills. Through a four-part course series, participants learn basic computer skills and, upon completion of the course, are awarded a laptop computer.

In 2016, the program's Basic Digital Literacy curriculum was expanded to offer a Job Seeking in the Digital Age course, made possible through a generous grant from Google Fiber. This course curriculum compliments the Town's ongoing effort to provide free internet access to all public housing residents, a goal that was achieved earlier this year.

To date, five cohorts have completed the program (88 residents), and 14 more residents are currently enrolled in a new class. Key outcomes, as reported by participants include:

- 76 percent increased their confidence in using a computer
- 82 percent increased their knowledge of how to use programs available on home computers
- 70 percent increased their understanding of what the internet is and the ways it can be used

By establishing public-private partnerships like these, the Town strives to enable all members of the community to take part in the new forms of civic engagement, expanded opportunities for education, and economic growth associated with bringing faster internet speeds to the region.

For more on Chapel Hill's community broadband efforts visit townofchapelhill.org/broadband.

###



9. Public Input Invited on Library Internet Policy

The Chapel Hill Public Library will hold a public information meeting from 6 to 7 p.m. Tuesday, Nov. 1, in the Library's Meeting Room B, to gather input on a proposed change to the Library Internet Policy.

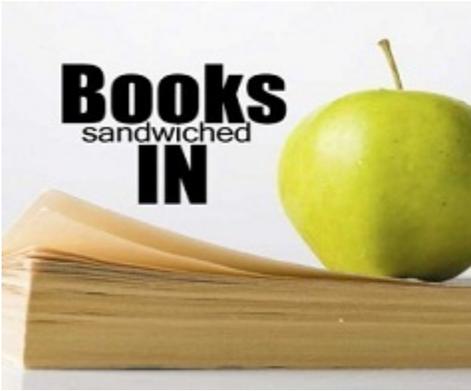
The Library is proposing an Internet Policy that would block access to visual depictions of child pornography and material that is defined as obscene or harmful to minors. They currently offer unfiltered access to the Internet. With the proposed change, the Library would purchase software to block access to such content. With the proposed change, the Library will be eligible to apply for federal funding for technology initiatives.

At the Nov. 1 public information meeting, Library staff will offer a brief presentation about the proposed policy change, answer questions, and receive public comment.

The Library will summarize the input and feedback received from staff, the Library Board of Trustees, and the public for Council consideration at a future public meeting.

For more information, or to submit comment electronically, please contact Library Director Susan Brown at 919-969-2034 or sbrown2@townofchapelhill.org

###



10. Books Sandwiched In Meets Nov. 2

Books Sandwiched In will meet at 11:30 a.m. Wednesday, Nov. 2, to discuss *Yes, Chef: A Memoir* by Marcus Samuelsson.

Yes, Chef: A Memoir by Marcus Samuelsson is the author's love letter to food and family. It is the story of an interesting life that begins with a simple ritual: Every Saturday afternoon a boy who loves to cook walks to his grandmother's house and helps her prepare roast chicken for dinner. The grandmother is Swedish, a retired domestic. The boy is Ethiopian and adopted, and he will grow up to become the world-renowned chef Marcus Samuelsson. From Sweden he came to New York and at Aquavit his talent earned him a three-star rating at the age of twenty-four. After a stunning career, he fulfilled a dream by opening Red Rooster in Harlem, a truly diverse, multi-racial dining room where anyone, famous or no, can feel at home.

Books Sandwiched In, the Friends of the Chapel Hill Public Library Book Club, meets at 11:30 a.m. on the first Wednesday of each month, except January and July, in meeting room C at the Library. Everyone is welcome to join the group which is free and open to the public. Participants are encouraged to bring a lunch and share their thoughts on the current reading selection. Copies of the books are available on a first-come first-served basis at the circulation desk.

Books Sandwiched In selections for the year are chosen by the members and can be found on the Friends' web site at www.friendschpl.org.

###



11. Wegmans Approved for Performance-Based Economic Incentive

Chapel Hill and Orange County partnering on initiatives to boost job creation and commercial tax base

The Chapel Hill Town Council and Orange County Board of Commissioners, in a first for these two local governments, voted unanimously in separate actions this week (Oct. 17 and Oct. 18) to approve performance-based incentives to entice Wegmans Food Markets Inc. to our area. Under the terms of an interlocal agreement, the Town of Chapel Hill will reimburse Orange County for one half of the approved economic incentive agreement.

The elected bodies support the incentives for their positive community impact on Orange County and Chapel Hill. Creating jobs, strengthening our economy, and growing our commercial tax base are the primary drivers of a new strategic focus on economic development in the area.

“The values that this community holds in high esteem align very well with Wegmans’ corporate culture,” said Orange County Board of Commissioners Chair Earl McKee. “They were very interested in learning about the area and being a part of this community.”

Wegmans has ranked consistently as the country’s best supermarket by Consumer Reports magazine. Headquartered in Rochester, N.Y., the family-owned company has 91 stores in New York, Pennsylvania, New Jersey, Virginia, Maryland, and Massachusetts; more than 46,000 employees and \$7.9 billion in revenue (2015).

The agreement between the Town and County calls for each government to contribute a maximum amount of \$2 million over five years -- if Wegmans meets specific targets for new jobs, and increases in both sales and property tax revenue.

“For years we’ve watched as Durham built up on the other side of I-40 and got all the benefits, as Chapel Hillians would cross and shop there and spend their tax dollars in a different county,” said George Cianciolo, Chair of the Town of Chapel Hill Economic Sustainability Committee. “This is an opportunity to allow, not only Chapel Hill, but Orange County to benefit from one of the best employers in the United States. This to me is a great opportunity to get something that the surrounding communities are going to wish they had.”

Development highlights and review process

- Wegmans plans 130,000 sq. ft. store to replace Performance Auto Mall dealership on U.S. 15-501
- Because of its use as a vehicle servicing station, 14-acre site requires environmental remediation.
- Wegmans has not yet submitted a development application. Concept plans are required prior to formal submittal of a major development proposal in Chapel Hill.
- Concept plan for Wegmans is available online at www.townofchapelhill.org/wegmans
- Concept plan process provides opportunity for Council and public to provide early input to developer
- Public hearing for the Wegmans concept plan is scheduled on Nov. 14, 2016, before the Town Council
- Following concept plan process, developer may proceed to submit a formal development application
- Development review requires public hearings and Town Council's final approval
- Process could take up to a year

With the following financial arrangement

- \$30 million in investment in the site by the developer, Leon Capital Group of Dallas
- Wegmans required to meet annual property and sales tax revenue targets to receive incentives
- Chapel Hill and Orange County expect an increase of \$1.7 million annually in net-new tax revenue derived from sales and property taxes
- Incentives would not begin until the company has been open and operational for a year
- Wegmans to create 350 jobs (full-time equivalents)
- Health insurance benefits must be provided to all full time employees
- Wegmans would be the largest sales tax generator in Orange County
- Chapel Hill and Orange County would use increase in tax revenues from project to reimburse Wegmans \$4 million – up to \$800,000 a year for five years

With the following public benefits

- Number of jobs created (350)
- Quality of jobs (including health insurance)
- Investment to redevelop site (\$30 million)
- New property and sales tax revenues for the Town and County (estimated at \$1.7 million annually)
- Wegmans ranks #4 on FORTUNE Magazine's 2016 list of "100 Best Companies to Work For"
- Replacement for Performance AutoMall, a vehicle sales facility
- Improvements to gateway location to Chapel Hill
- Proximity to potential light rail stop
- Regional draw for shoppers
- Natural fit for epicurean culture, values
- Wegmans is known for offering an unmatched variety, up to 700 different fruits and vegetables
- Each store builds strong partnerships with nearby family farms

FOR MORE INFORMATION: The agreements are published for public review at the Town of Chapel Hill at www.townofchapelhill.org/councilvideo and Orange County at http://www.orangecountync.gov/departments/board_of_county_commissioners/agendas.php.

CONTACTS: Catherine Lazorko, Town of Chapel Hill Communications Manager, at 919-969-5055 or clazorko@townofchapelhill.org and Travis Myren, Orange County Deputy Manager, at 919-245-2308 or tmyren@orangecountync.gov

###



12. Chapel Hill Police Department Joins Police Data Initiative

The Chapel Hill Police Department is announcing that it is joining the White House-led Police Data Initiative (PDI). The PDI supports efforts of local law enforcement agencies to leverage data to increase transparency and accountability and build trust with their communities. A number of the datasets that we are including have been available previously, in various locations. As part of the Police Data Initiative, we will be sharing use of force stats, employee demographic information, traffic stop data, and charges related to assaults on officers, among others. This effort coincides with a larger open data initiative with other Town departments also sharing relevant information that the public might find useful.

The available datasets can be found at www.chapelhillopendata.org.

We are excited to be participating in the Police Data Initiative.

###



13. Volunteers needed for Project Connect!

Project Connect Orange County is seeking volunteers for the Project Connect event on Thursday, Oct. 27. This one-day, one-stop center connects people experiencing or at risk of homelessness with short- and long-term services, including health and dental care, housing counseling, education and job counseling, veterans' and social service benefits and legal aid.

Volunteers are needed in a variety of areas, including parking, guest intake, recycling, massage, hair styling and clean up. Shifts are available from 8:15 a.m. to 5:30 p.m. Sign up at bit.ly/2dkRgjr.

###



14. School and Affordable Housing Bonds on November 8 Ballot

(ORANGE COUNTY, NC) On Election Day, Tuesday, November 8, Orange County registered voters will have the opportunity to vote for or against two bond referenda: \$120 million to fund the repair and renovation of safety and security features, as well as infrastructure in schools, and \$5 million to create 1,000 affordable housing units for rental and ownership throughout the county.

The proposed bond referendum of \$120 million for schools repair and improvement is primarily designed to increase capacity, improve safety and security, and renovate and repair area schools. Chapel Hill High School will be reconstructed in phases, to address critical maintenance issues. Lincoln Center renovations will centralize most Pre-K classrooms, freeing up currently used classroom space in elementary schools, increasing seating across the district by 189 seats and relieving the immediate need for a new elementary school. The renovations will also more than double the capacity of the Phoenix Academy High School, the district's alternative school. Cedar Ridge High School will gain a new classroom wing, increasing capacity by 500

students. Other schools, including Orange High School, will receive much-needed infrastructure replacements (roof and antiquated and failing mechanical systems), as well as necessary safety and security repairs and updates. Bond funds will also be used to build a greener, more sustainable student transportation/maintenance center to service buses for both school districts.

With the proposed \$5 million Low and Moderate Income Housing bond, Orange County will help create 1,000 affordable housing units to assist low and moderate income individuals and households and special needs populations, including residents with disabilities, older adults/seniors, residents experiencing or at risk of homelessness and victims of domestic violence. Some of the affordable homes will be for households in the 50 to 80 percent of median income bracket, which may include teachers, law enforcement, firefighters and public workers.

Based on current projections, property owners will see an increase in county property tax to pay for the bonds. A taxpayer who owns property valued at \$200,000 will see an increase of \$74 to \$116 in county property tax (\$6 to \$10/month). A taxpayer who owns property valued at \$300,000 will see an increase of \$111 to \$174 in county property tax (\$9 to \$15/month). The increase could be implemented as a one-time increase at the beginning of the repayment period or could be graduated over time, based on the debt issuance schedule.

If approved, the timeline for issuance is within five years of the bond referenda date for the school bond and over three years for the affordable housing bond.

From 1988 to 2001, Orange County voters have approved four General Obligation referenda, for schools, parks, community centers, public works and affordable housing.

Early Voting runs Thursday, October 20 through Saturday, November 5. For specific days and times, contact the Orange County Board of Elections: (919) 245-2350 or visit www.orangecountync.gov/elect.

To learn more about the School Bond and the Affordable Housing Bond, visit www.ocbond.org or contact Travis Myren, Deputy County Manager, ocbond@orangecountync.gov.

###



15. Interested in local issues? Apply to be a member of an advisory board, committee or commission.

Here's an idea! Apply to serve our community by serving on a Town of Chapel Hill advisory board, committee or commission!

- **Here's what you give** – time, ideas and energy.
- **And, what you get in return** – opportunity to provide input into local policies that shape our community; personal growth; friends and new connections

Chapel Hill local government has various standing boards and commissions that advise the Town Council on a wide range of issues. We are currently looking to fill vacancies on the following:

- Grievance Hearing Board: 3 Town Resident
- Cemeteries Advisory Board: 2 town residents
- Environmental Stewardship Advisory Board: 1 Greenways Advocate, 1 Town resident, 1 UNC Chapel Hill Student
- Transportation and Connectivity Advisory Board: 1 Town resident, 1 UNC Chapel Hill Student
- Board of Adjustment: 3 Orange County appointed positions
- Planning Commission: 1 Orange County appointed ETJ, 1 Orange County appointed JPA, ETJ or Chapel Hill resident can be appointed to position within terms of Joint planning agreement.
- Historic District Commission: 1 resident within the Town's planning jurisdiction (Town or ETJ)
- Housing Advisory Board: 1 For-profit Developer,
- Library Board of Trustees: 1 Town resident
- Community Design Commission; 1 Town resident
- Community Policing Advisory board: 1
- Human Services Advisory Board: 1 Town resident
- Justice in Action Committee: 1 member

For more information on the work of these groups, eligibility requirements, or to complete an application form, please visit www.townofchapelhill.org/boards.

Questions? Contact the Communications and Public Affairs Department at 919-969-5014 or advisoryboards@townofchapelhill.org. We look forward to working with you!

###



16. Shop Locally at the Downtown Pop Up Farmers' Market

The Downtown Pop Up Farmers' Market will be open every Thursday through Oct. 27 from 3:30 to 5:30 p.m. on the plaza at the intersection of Church Street and Franklin Street (140 W. Franklin Plaza).

In collaboration with the Downtown Partnership and the Town of Chapel Hill Parks & Recreation, the market features many favorite vendors from the Chapel Hill Farmers' Market's Tuesday and Saturday markets held at University Place. T5 Farms will be back along with Loaf Bakery, Mystery Brewing, Chappell's Peaches and Apples, and Carrboro Coffee Roasters. Joining them will be Fickle Creek Farm, Prodigal Farm and Pomegranate Kitchen. Carolina Farmhouse Dairy and Lo & Behold will be rounding out the line-up. Adding to the festivities each week will be craft vendors, musicians and maybe a food truck or two.

You can expect to find farm products such as heirloom tomatoes, okra, peppers, squash, sweet potatoes, apples and fresh herbs as well as locally and sustainably raised pork, chicken, beef and eggs. Artisanal products will include baked goods, savory pastries and stews, breads, beer, cheeses, yogurt, kefir and coffee, as well as natural body care products, all produced within 60 miles of Chapel Hill.

Stop by the market tent to purchase tokens with your EBT, debit or credit cards. The Chapel Hill Farmers Market also offers "Fresh Bucks", a healthy food incentives program to increase access to locally grown, fresh produce for customers with Supplemental Nutrition Assistance Program (SNAP) benefits. The program will match SNAP/EBT benefits dollar for dollar (up to \$10) per customer per market day. And we will also have FREE one hour parking vouchers available for the town lot for all our customers!

There's no better way to strengthen your local community than to shop and eat locally! By visiting the Chapel Hill Farmers' Market you support our local farmers as well as businesses and community members. Also, you support yourself by providing healthy, fresh and sustainably grown food for you and your family.

###



17. Bike Lanes Coming to Sage Road

Bike lanes on both sides of the roadway are coming to Sage Road as part of a roadway resurfacing and restriping project scheduled to continue through Nov. 10.

Sage Road between Erwin Road and Highway 15-501 – about a half mile stretch -- will change to a three-lane road with one vehicular travel lane in each direction, a center turn lane, and buffered bike lanes. There are existing sidewalks on both sides of the road.

“We are taking the opportunity to change the striping as recommended in the Chapel Hill Bike Plan,” said Public Works Director Lance Norris. “Cyclists will be able to travel on uninterrupted bike lanes from Weaver Dairy Road at Martin Luther King Jr. Boulevard to the intersection of 15-501.”

Currently in design stages, another planned public infrastructure project will extend bike lanes on both sides of the roadway along Old Durham Road from Highway 15-501 to Durham. These and other connections are identified within the Chapel Hill Bike Plan that includes projects being implemented all over town.

<http://www.townofchapelhill.org/bikeplan>

The Sage Road project is part of the Town’s annual street resurfacing work that has targeted several streets --- including Market Street in Southern Village -- for improvements at a total cost of \$684,000. Traffic impacts will be minimized with periodic lane closures and traffic flaggers between 9 a.m. and 4 p.m..

For more information on the project, contact Streets Maintenance Supervisor Greg Ling at gling@townofchapelhill.org or 919-969-5165

Improving Safety for People Who Walk and Wheel

The Town of Chapel Hill is now completing a Mobility and Connectivity Plan that expands on the work of the Chapel Hill Bike Plan. It will recommend connections to significant destinations; close gaps in walkability; and improve bicycle, pedestrian, and greenway connectivity.

The Town of Chapel Hill is working on several fronts to improve safety for walkers and bikers with new flashing lights at mid-block crosswalks, sharrows with green boxes, safety signage and a step up in traffic education and enforcement. An interdepartmental staff group is tackling safety issues from many angles – from trimming hedges to ticketing people driving, walking or biking to enforce safe behaviors. They join efforts with community groups including the Bicycle Alliance of Chapel Hill (BACH).

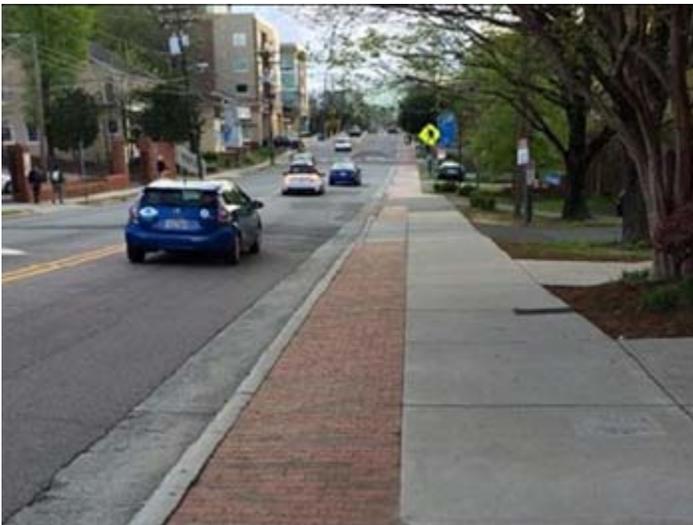
Looking for more Traffic News?

Visit townofchapelhill.org/traffic. Did you know that traffic advisories may be sent directly to your email? Visit townofchapelhill.org/signup to sign up and check the box "Traffic Advisories." For assistance, contact us at info@townofchapelhill.org.

Do you have ideas about traffic safety, including ways to make it safer for people who walk, bike, roll and drive? The Town of Chapel Hill is working on a Mobility and Connectivity Study. Learn more at townofchapelhill.org/mobilityplan and provide your input.

Are you on Twitter? Follow [@ChapelHillGov](https://twitter.com/ChapelHillGov), [@ChapelHillPD](https://twitter.com/ChapelHillPD) and [#CHTraffic](https://twitter.com/CHTraffic) for the latest traffic news.

###



18. Rosemary Street Improvements

Night work scheduled next week

Street milling, utility adjustments, patching and resurfacing of Rosemary Street from Henderson Street to North Merritt Mill Road will begin in the evening Monday, Oct. 24, and is scheduled to conclude Dec. 1, weather permitting.

Two-way traffic will be maintained throughout the project. Signs will be in place to alert people who drive of the road conditions (rough road) and traffic patterns (lane shifts), and flaggers will provide direction where necessary; people who drive should expect delays. Sidewalks will remain open during the project; the Town encourages people who walk, bike, and roll to use caution in the construction zone.

Night work (7 p.m. to 7 a.m.) will take place Monday, Oct. 24 through the morning of Thursday, Oct. 27. This work will consist of milling the existing roadway. On Monday night the eastbound lane and part of the center lane will be milled beginning at the Carrboro Town limit traveling east. On Tuesday night the westbound lane and part of the center lane will be milled beginning at Henderson Street traveling west. On Wednesday night the remaining section of the center lane will be milled.

The contractor has indicated that the majority of the remaining work will occur from 6 a.m. to 6 p.m. Some additional night work may be necessary, including from Henderson Street through the intersection of Rosemary and North Columbia streets. Due to the busy nature of this section of road, overnight work may be necessary. Timing of night work will be updated on the Town's website at townofchapelhill.org/roadwork and on the Town's social media. The contract allows work at any time (including nighttime) with the stipulation that no work occur on Sundays, Halloween, holidays, and UNC home football and men's basketball games.

Chapel Hill Transit will detour the weekday and Saturday CW route (Columbia Street to Carrboro via Rosemary Street) to Franklin Street. The A and Saturday JN will follow regular routes during this project.

On-street parking spaces and bike lanes will not be available at times during this project, including a few spaces on Henderson Street. Upon completion, temporary paint will be reinstalled for existing bike lanes, and Town staff will join with stakeholders to conduct a holistic study of the downtown street network. For more information on this project, please visit the Rosemary Street section of www.townofchapelhill.org/roadwork.

The Rosemary Street Improvement Project -- funded with \$1.6 million in street and sidewalk voter-approved bonds -- widens sidewalks; improves sidewalk ramps so they meet ADA standards; installs new pedestrian level light fixtures with LED lights; replaces curb and gutter sections and driveway ramps; and repaves the street. For more information on the project, visit townofchapelhill.org/roadwork.

For more information, contact the Town of Chapel Hill Public Works Department at 919-969-5100 or publicworks@townofchapelhill.org

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Town of Chapel Hill residents have shared ideas about traffic safety, including ways to make it safer for people who walk, bike, roll and drive. That feedback is helping Town staff form a Mobility and Connectivity Plan. Learn more at townofchapelhill.org/mobilityplan.

Are you on Twitter? Follow [@ChapelHillGov](https://twitter.com/ChapelHillGov), [@ChapelHillPD](https://twitter.com/ChapelHillPD) and [#CHTraffic](https://twitter.com/CHTraffic) for the latest traffic news.

###



19. Lane Closures at West Franklin and North Roberson Streets

Town of Chapel Hill crews will reduce the westbound side of West Franklin Street at North Roberson Street to one lane through 5 p.m. Friday, Oct. 21, for the removal of a dying tree. Two-way traffic will be maintained at all times.

The Town reviews proposals for tree removal work closely. Whether it is a tree that is declining and posing a public safety hazard on a Town-maintained street or a utility easement, sometimes this type of tree work is necessary. Town trees are protected by Town ordinance and are only removed if they are hazardous. The Tree Protection Ordinance is part of a continued commitment to sustainability with the potential to reduce carbon emissions and decrease the urban “heat-island” effect. townofchapelhill.org/town-hall/news-events/current-issues/tree-protection

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###



20. Laurel Hill Road Detour

Laurel Hill Road will be closed to through vehicular traffic from Country Club Road to Fern Lane through 5 p.m. Friday, Oct. 21. Crews will perform work on a sewer connection at 205 Laurel Hill Road.

Signs will direct non-local through traffic to detour via Ridge Road, Manning Drive and U.S. Highway 15-501. Local vehicular and pedestrian traffic will be directed by traffic controllers.

For more information about the project, contact Project Manager Jeremy Lewis at 919-812-5368, or the Town of Chapel Hill Public Works Department at 919-969-5100.

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Do you have ideas about traffic safety, including ways to make it safer for people who walk, bike, roll and drive? The Town of Chapel Hill is working on a Mobility and Connectivity Study. Learn more at townofchapelhill.org/mobilityplan and provide your input.

Are you on Twitter? Follow [@ChapelHillGov](https://twitter.com/ChapelHillGov), [@ChapelHillPD](https://twitter.com/ChapelHillPD) and [#CHTraffic](https://twitter.com/CHTraffic) for the latest traffic news.

###



21. Chapel Hill Transit Fall Break Schedule

Chapel Hill Transit will make the following service schedule adjustments due to the University of North Carolina at Chapel Hill fall break schedule:

- The weekday A-Limited morning trips (7:14–9:44 a.m.) will not operate Thursday, Oct. 20, 2016 through Friday, Oct. 21, 2016 and will resume on Monday, Oct. 24, 2016.
- The weekend U and NU routes will not operate Saturday, Oct. 22, 2016 and will resume on Sunday, Oct. 29, 2016.
- Safe Ride routes will not operate Thursday, Oct. 20, 2016, through Saturday, Oct. 22, 2016 and will resume on Thursday, Oct. 27, 2016.

Please contact a Customer Service Representative at 919.485.7433 or via email at chtransit@townofchapehill.org with any questions.

###



22. Leaf Collection for the Week of Oct. 23-29

Loose leaf collection has begun, and will continue through late February. Place loose leaves and pine straw, free of sticks, rocks or other debris, behind the curb or drainage ditch. Keep leaves out of streets, gutters and ditches. Do not block sidewalks, fire hydrants, mailboxes, storm drains or water meters or interfere with sight distances at intersections. Visit www.townofchapelhill.org/leaves for more information.

Section IV - Laurel Hill Road, Purefoy Road, Whitehead Circle, Morgan Creek Road, Kings Mill Road, Highland Woods, Finley Forest, Little John Road, Meadowmont area

Section V - Glen Lennox, Burning Tree Drive, Ridgefield Road, Willow Drive, Long Leaf Drive, Churchill Drive, Pinehurst Drive, Nottingham Drive, Lancaster Drive area

Section VI - Fountain Ridge Road, Colony Woods Drive, Cricket Ground, White Oak Drive, Legion Road, Clover Drive, Standish Drive, Windhover Drive, Englewood Drive, Springcrest, Silver Creek Trail, Chesley Lane, Sweeten Creek Road area

Section VII - Huntington Drive, Curtis Road, Elliott Road, Old Oxford Road, Ridgecrest Road, South Lake Shore Drive, North Lake Shore Drive, Kensington Drive, Brookview Drive, Shady Lawn Road, Honeysuckle Road, Booker Creek Road, Foxwood Drive area

Section VIII - Cedar Fork Trail, Forbush Mountain Drive, Collinson Drive, Old Forest Creek Drive, Cedar Hills Circle, Timberlyne Road, North Forest Hills, Windsor Park, Parkside, Northwoods area

###



23. Town In News

Town in News – TIN Report – is a sampling of news media coverage about the Town of Chapel Hill compiled by the Communications and Public Affairs Department. This listing includes articles and columns that are available on the web, and may not necessarily contain all stories in the print edition of the papers or on televised broadcasts.

Links access online stories that are posted for a limited time. Some media organizations require registration or a subscription.

For information, contact us at info@townofchapelhill.org

Wegmans receives incentive OK from Orange (The Herald-Sun)

*Rochester, N.Y.-based grocer Wegmans Inc. cleared its final hurdle toward finalizing an incentive agreement for a potential store in Chapel Hill on Tuesday, after the Orange County's Board of County Commissioners approved the agreement. **Read more:** [heraldsun.com/business/wegmans-receives-incentive-ok-from-orange/article_78b9e492-9641-11e6-80f6-3349f357bf96](https://www.heraldsun.com/business/wegmans-receives-incentive-ok-from-orange/article_78b9e492-9641-11e6-80f6-3349f357bf96)*

Two Former Chapel Hill Mayors Weigh in on American Legion Property (Indy Week)

*The spicy question of what will happen to the American Legion property in Chapel Hill—one of the last large tracts of undeveloped land in the town—continues to heat up. **Read more:** [indyweek.com/news/archives/2016/10/19/two-former-chapel-hill-mayors-weigh-in-on-american-legion-property](https://www.indyweek.com/news/archives/2016/10/19/two-former-chapel-hill-mayors-weigh-in-on-american-legion-property)*

County Commissioners Show Unanimous Support For Wegmens (Chapelboro.com)

*Following in the footsteps of the Chapel Hill Town Council, the Orange County Board of Commissioners unanimously approved a \$4 million incentive package to bring Wegmans Supermarket to Chapel Hill. **Read more:** [chapelboro.com/news/local-government/county-commissioners-show-unanimous-support-for-wegmens](https://www.chapelboro.com/news/local-government/county-commissioners-show-unanimous-support-for-wegmens)*

Community coalition will address high-risk drinking (The Daily Tar Heel)

*Fighting high-risk drinking in Chapel Hill is a team effort. The Orange County Health Department, the Orange County ABC Board, UNC and the town of Chapel Hill formed a coalition this year to address potentially dangerous drinking in the community. **Read more:** [dailytarheel.com/article/2016/10/community-coalition-will-address-high-risk-drinking](https://www.dailytarheel.com/article/2016/10/community-coalition-will-address-high-risk-drinking)*

With early Franklin Street closing, UNC to host Halloween events (The Daily Tar Heel)

*The clock will strike, but this time, not at midnight. This year on Halloween, Franklin Street will be closing at 10:30 p.m. **Read more:** [dailytarheel.com/article/2016/10/with-early-franklin-street-closing-unc-to-host-halloween-events](https://www.dailytarheel.com/article/2016/10/with-early-franklin-street-closing-unc-to-host-halloween-events)*

It's not just Wegmans: Texas developer buying land in Chapel Hill (and Raleigh) for multifamily (Triangle Business Journal)

The Texas real estate development firm that's been at the center of talks with [Wegmans Food Markets and its plan to bring its big-box grocery store to Chapel Hill](#) is also buying another key piece of land in Chapel Hill for potential multifamily development. **Read more:** bizjournals.com/triangle/news/2016/10/18/wegmans-chapel-hill-leon-capital-group-apartments

Chapel Hill Says Yes To Wegmans (Chapelboro.com)

Monday night, the Chapel Hill Town Council unanimously said yes to [Wegmans](#). **Read more:** chapelboro.com/featured/chapel-hill-says-yes-to-wegmans

Wegmans grocery moves closer to Chapel Hill store (The Herald-Sun)

New York-based grocer Wegmans Inc. moved one step closer to bringing a store to Chapel Hill Monday, after the Chapel Hill Town Council unanimously approved an unprecedented incentive package for the retailer in partnership with Orange County. **Read more:** heraldsun.com/business/wegmans-grocery-moves-closer-to-chapel-hill-store/article_e88ef56a-94d3-11e6-b914-073e2c851702

Chapel Hill celebrates a place to stop and smell the roses (The Daily Tar Heel)

Chapel Hill lawyer Syd Alexander pointed to his favorite rose in the Gene Strowd Community Rose Garden, the Fragrant Cloud. His law partner Steve Miller doesn't have a favorite, but he particularly liked Neptune. **Read more:** dailytarheel.com/article/2016/10/chapel-hill-celebrates-a-place-to-stop-and-smell-the-roses

Chapel Hill police continue efforts to reduce bias (The Herald-Sun)

The Chapel Hill Town Council approved Monday a resolution that will help the Chapel Hill Police Department further advance its efforts toward bias-free policing. **Read more:** heraldsun.com/news/local_news/orange_county/chapel-hill-police-continue-efforts-to-reduce-bias/article_274015d8-90aa-11e6-ae01-5be3bf2c2b18

Hemminger: Wegmans Poised to be Among the "Biggest Sales Tax Producers in the County" (Chapelboro.com)

The possibility of Wegmans Supermarket coming to Chapel Hill highlights several different milestones. It's the first time that the Town of Chapel Hill and Orange County have partnered together for economic development work. It would also be the first Wegmans in Orange or Durham Counties. **Read more:** chapelboro.com/news/business/hemminger-wegmans-poised-to-be-among-the-biggest-sales-tax-producers-in-the-county

Chapel Hill prepares for Halloween, takes safety precautions (The Daily Tar Heel)

*With Halloween around the corner, the town of Chapel Hill is taking safety precautions. **Read more:** dailytarheel.com/article/2016/10/chapel-hill-prepares-for-halloween-takes-safety-precautions*

Wegmans announces plans for Chapel Hill grocery store (WRAL.com)

*Chapel Hill shoppers will be interested to know that Wegman's may be coming your way! **Read more:** wral.com/wegmans-announces-plans-for-chapel-hill-store/16113537/#8fws5mYfxZ2vzRVF*

Chapel Hill Coalition Aims to Reduce High Risk Drinking (Chapelboro.com)

*A new town-gown coalition is working to reduce high risk drinking in Chapel Hill. In a recent survey, 71 percent of college students and 47 percent of high school seniors here reported using alcohol in the previous 30 days. **Read more:** <https://chapelboro.com/news/non-profit-news/coalition-aims-to-reduce-high-risk-drinking>*

Skipper Bowles Drive to close between Oct. 19 – Jan. 6 (UNC News)

*The University of North Carolina at Chapel Hill's Facilities Services is conducting emergency steam tunnel repairs that will force the [closure of a segment of Skipper Bowles Drive](#) to through traffic beginning Wednesday, Oct. 19, 2016, through Jan. 6, 2017. **Read more:** uncnews.unc.edu/2016/10/18/skipper-bowles-drive-close-oct-19-jan-6*

###



24. Police Seek Information in Robberies

On Oct. 17, 2016, at 7:05 p.m., the Chapel Hill Police Department responded to a reported armed robbery at the Better Sleep Store at Rams Plaza on N. Fordham Boulevard. Two suspects entered the business and demanded money. One suspect brandished a handgun and the other had a pair of brass knuckles. They assaulted one employee and stole nearly \$1000 in cash. The suspects fled the scene in a small, dark-colored car. One suspect is described as a tall, skinny white male in a black shirt. The other suspect was described as a heavy-set black male in a blue sweatshirt.

On Oct. 20, 2016, at 9:55 p.m., the Chapel Hill Police Department responded to a reported armed robbery at the Pizza Hut at Rams Plaza on N. Fordham Boulevard. Two suspects entered the business and demanded money. One suspect brandished a handgun and the other implied that he had a weapon. The suspects stole over \$500 in cash and possibly fled the scene in a white Ford F-150. The suspects were both between 5' 10" and 6' tall and had skinny builds. One was a black male wearing jeans, a red hoodie and a mask. The other suspect is a black male wearing jeans, a black hoodie and a mask.

If anyone has information about these suspects or robberies, please call either the Chapel Hill Police Department at 919-968-2760 or Crime Stoppers at 919-942-7515. Calls to Crime Stoppers are confidential and anonymous, and the caller may be eligible for a cash reward up to \$2,000 for information that leads to an arrest. You can also leave tips for Crime Stoppers at <http://www.crimestoppers-chcunc.org/>

###



25. Media Advisory: Special Class on Town Planning

What: Special Class on Town Planning for 4th and 5th Graders

When: 3:30 p.m. Thursday, Oct. 27

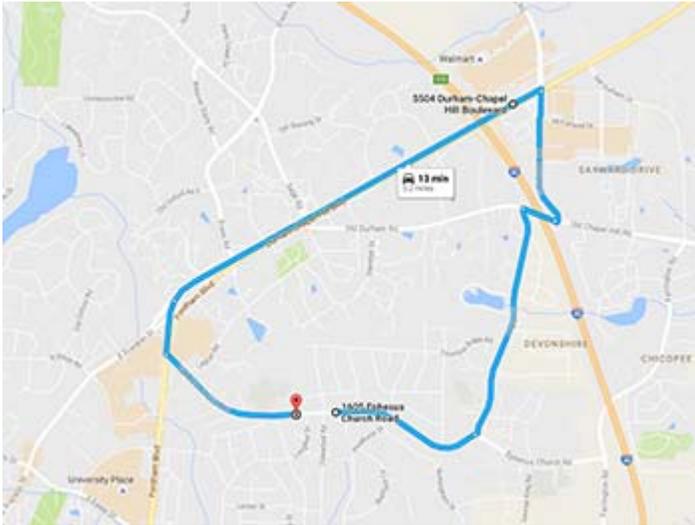
Where: Ephesus Elementary School, Media Center, 1495 Ephesus Church Road

Why: To celebrate National Community Planning Month and help introduce children to town planning and why it's important

Contact: Planning Director Ben Hitchings

919/968-2731 or bhitchings@townofchapelhill.org

###



26. Ephesus Church Road Closure Begins Nov. 1

Impact to School Traffic will be High

The North Carolina Department of Transportation (NCDOT) will close the portion of Ephesus Church Road between Longleaf Drive and Tinkerbell Road to replace a pipe culvert Nov. 1 through Dec. 22.

The North Carolina Department of Transportation (NCDOT) will close the portion of Ephesus Church Road between Longleaf Drive and Tinkerbell Road to replace a pipe culvert. The Orange Water and Sewer Authority (OWASA) will use this opportunity to replace a water line in that location as well. The Town has worked with the NCDOT to delay the closure to accommodate adequate communication about vehicular, bicycle and pedestrian detours; the closure will begin at 9 a.m. on Tuesday, Nov. 1 and is scheduled to conclude Thursday, Dec. 22, weather permitting.

The pipe replacement is intended to reduce the amount of water affecting the road and supporting ground around it in order to prevent washouts when heavy rains cause flooding in the area.

Local traffic will be able to access homes and businesses from either end of Ephesus Church Road, but will not be able to pass beyond the closure points on either side of the work.

Town emergency resources have planned alternate routes and used the existing agreement with Durham County to maintain response times during the closure. Chapel Hill Transit will maintain all routes along Ephesus Church Road with minimal delays.

Motorists driving through the area should plan for additional time to travel around the closure using the posted detour route of Pope Road, Old Chapel Hill Road, Mount Moriah Road and U.S. 15-501 (Fordham Boulevard). More detailed information about vehicular and pedestrian detours will be released early next week (week of Oct. 24).

For more information, contact Miracle King with the NC Department of Transportation at miracleking@ncdot.gov or 336-487-0157.

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###

Having trouble viewing this email? [View on the website instead.](#)

[Change your eNotification preference.](#)

[Unsubscribe from all Town of Chapel Hill, NC eNotifications.](#)

Gene Poveromo

From: Mary Jane Nirdlinger
Sent: Monday, March 07, 2016 1:09 PM
To: Ross Tompkins; Jay Heikes
Cc: Gene Poveromo; Phil Mason
Subject: FW: Development Activity Data
Attachments: RE: Development Activity Report

Ross,

This email (attached) may provide some initial clarification to Jeanne's questions. Jay has set a target of updating the data/spreadsheet the first Friday of each month.

Mary Jane

From: Ross Tompkins
Sent: Friday, March 4, 2016 5:31 PM
To: Mary Jane Nirdlinger
Subject: Development Activity Data

Mary Jane,

Is your staff working on an update to the development activity data that is shared on the web? Jeanne said she sent something to Roger recently about numbers not adding up and was wondering what the status was (on behalf of at least one interested Council Member, I believe).

Thanks,
Ross

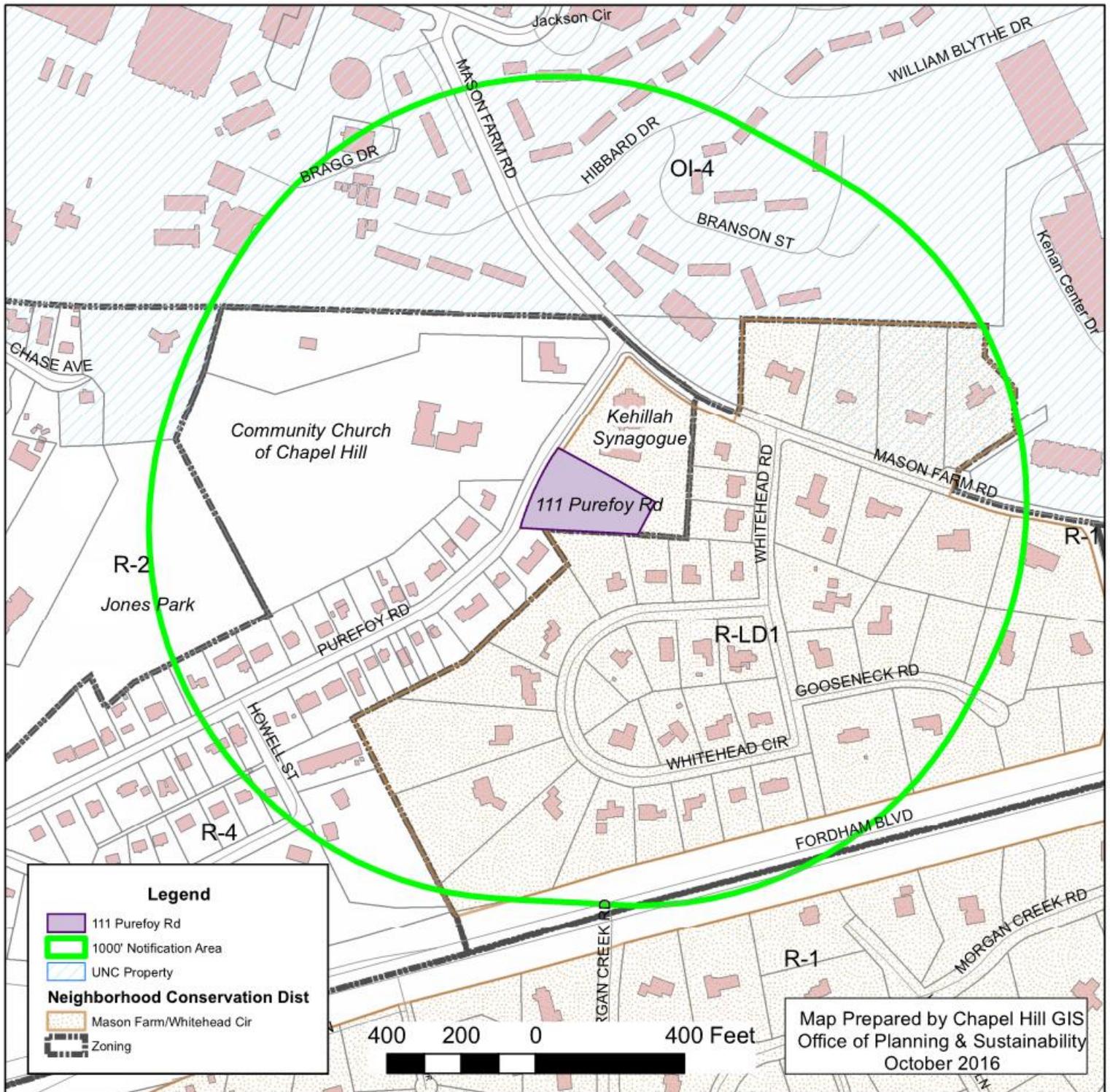


Ross Tompkins

Assistant to the Town Manager for
Administrative and Program Management
Manager's Office
[Town of Chapel Hill](#)
405 Martin Luther King Jr Blvd
Chapel Hill, NC 27514-5705

Phone: (919) 968-2707

111 Purefoy Road 1000' Notification Map



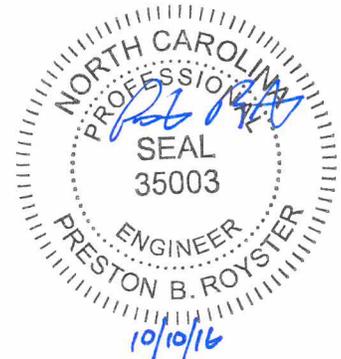


Coulter | Jewell | Thames, PA

Purefoy Road Apartments
HYDRAULIC GRADE LINE ANALYSIS

PIN:
9788-41-9609

Calculations By: Tiffany R. McCormack, EI
Checked By: Preston B. Royster, PE



Coulter Jewell Thames, P.A.
111 West Main Street
Durham, NC 27701
Ph: 919-682-0368
Fax: 919-688-5646
NC Board of Engineers & Surveyors License #C-1209

Project # 1642

October 10, 2016

Project Description and Summary

The Purefoy Road Apartments are located at 111 Purefoy Road in Orange County just south of the intersection of Purefoy and Mason Farm Roads. The site is located in the Jordan Lake Watershed Protection District. Current zoning of the site is R-4, medium residential. Proposed improvements include, multi-family residential buildings and the associated infrastructure required.

Per the Orange County Specifications and Details, a hydraulic grade line (HGL) analysis shall be performed for all proposed storm drainage. It is required that the HGL stay within the pipe for the given design storm to prevent surcharge on the storm system. The design requirements for storm drainage are the 10-year storm event for the sizing of street drainage pipes, the 25-year storm event for preventing surcharge.

An analysis shall be performed for all proposed culverts. Analysis must show flow will not exceed a headwater versus depth greater than 1.

Methodology

- The Kirpich Equation is used to calculate the time of concentration (T_c) for each drainage area. A conservative estimate of 5 minutes was used as the T_c for each drainage area.
- Hydraflow Storm Sewers software is used to calculate runoff rates for the drainage areas associated with the storm drainage systems and to size the pipe systems. Hydraflow uses the Rational Method to calculate the runoff rates. A weighted average is used to calculate the composite runoff coefficient (C) for each drainage area. Hydraflow uses the Manning's Equation to size pipes.
- Bentley – Flowmaster software is used to analyze the proposed culvert and swale. Flowmaster uses the Manning's equation to size culverts. Discharges to the he swale and culvert were calculated using the Rational Method.

Discussion of Results

Hydraulic Grade Line Analysis:

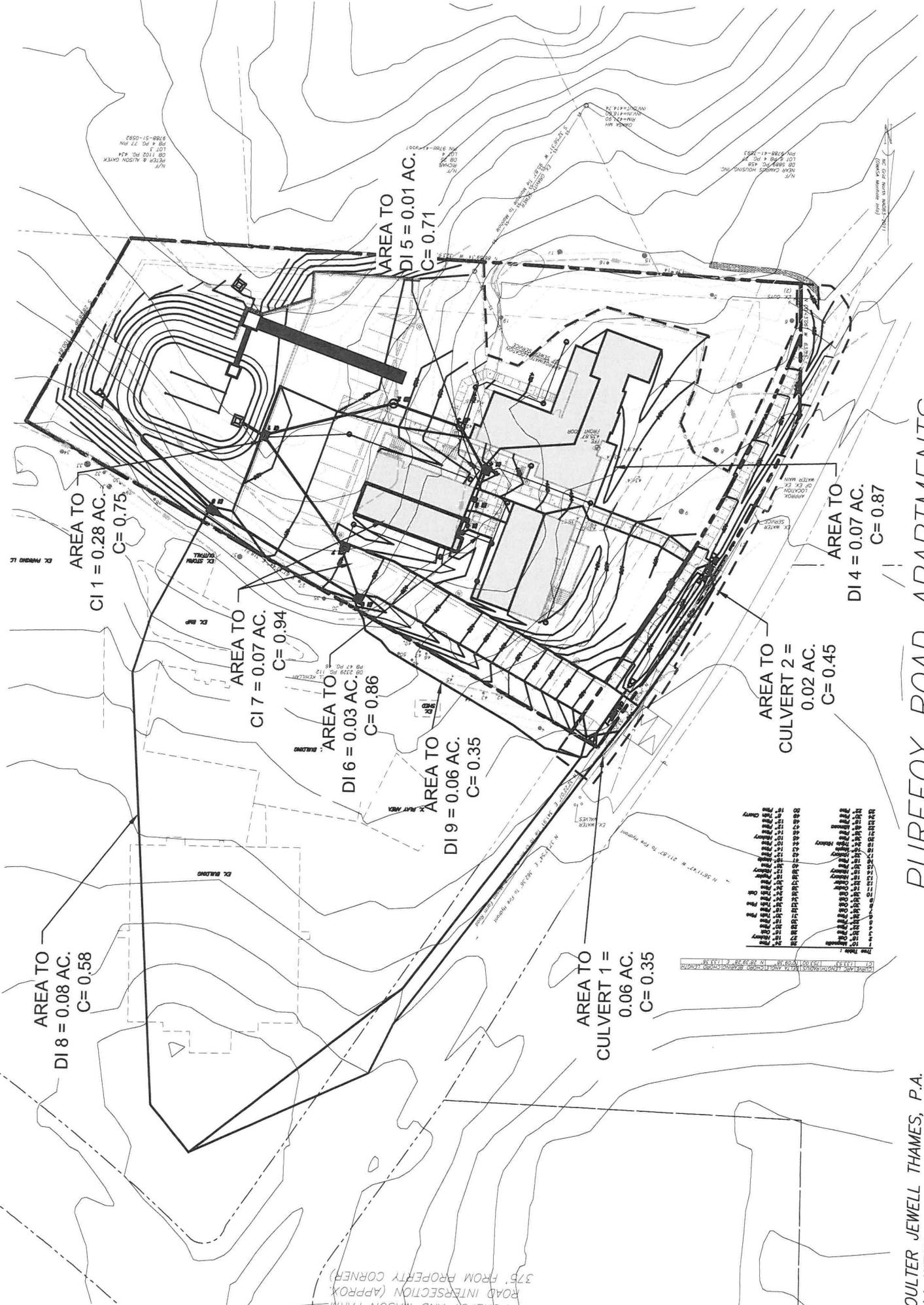
Pipe systems have been designed such that the Hydraulic Grade Line (HGL) is within the crown of the pipes for the design storm. See Hydraflow reports for more specific information.

Culvert Analysis:

The proposed culverts have been designed such that the headwater is below the crown of the pipe for the design storm. It is ensured that non-erosive velocities are maintained with riprap aprons. A drainage area map, Flowmaster reports, and Excel calculations have been included.

Results

The proposed storm drainage systems and culvert meet the design requirements set forth by the Orange County Engineering Specifications and Details. All applicable calculations and maps follow in this report.



DATE: 10.10.2016
 SCALE: 1"= 60'
 DRAWN BY: TRM

PUREFOY ROAD APARTMENTS
 HGL DRAINAGE AREA MAP

COULTER JEWELL THAMES, P.A.
 111 WEST MAIN ST
 DURHAM, NC 27701
 (919) 682-0368

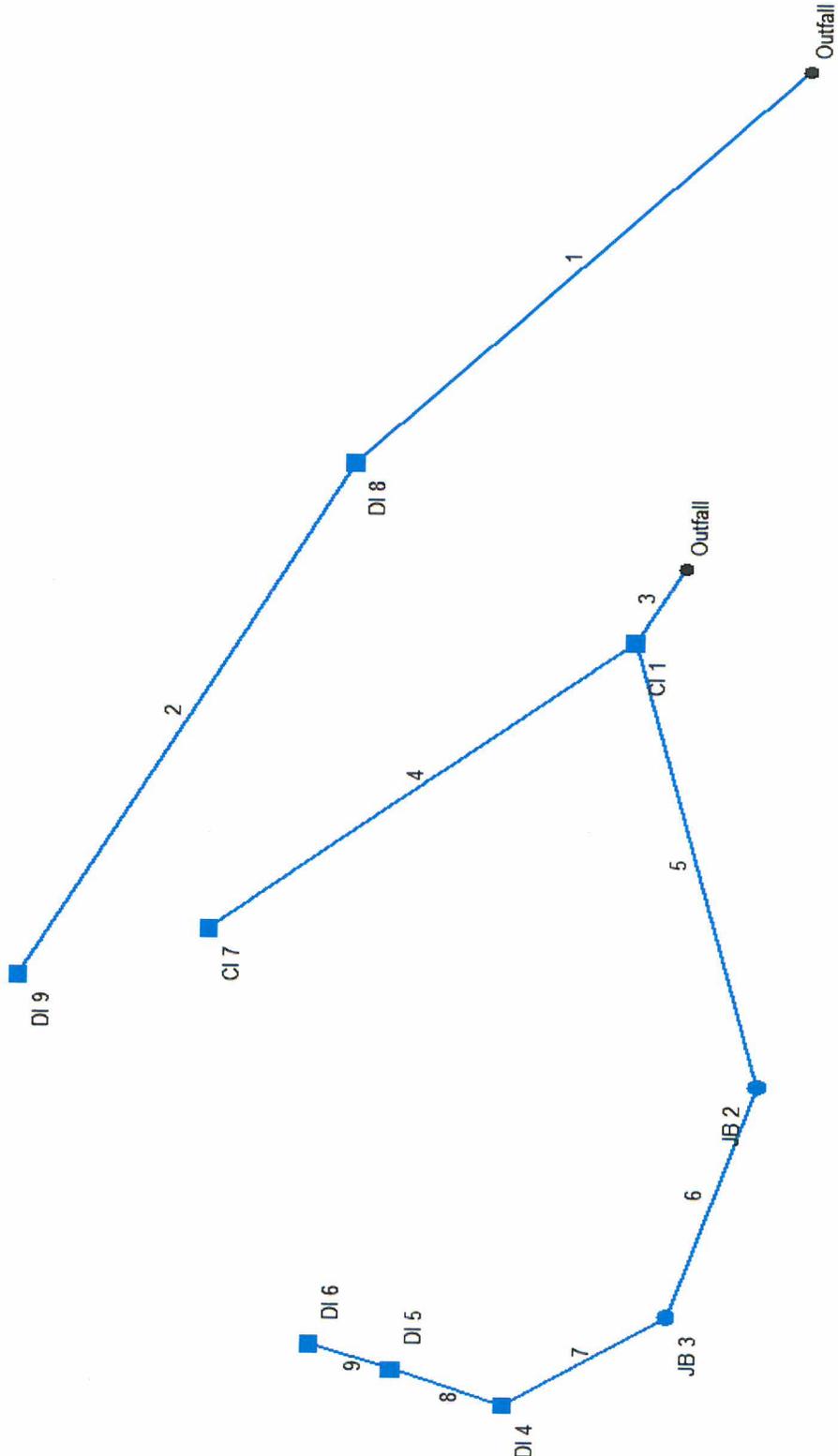
ROAD INTERSECTION (APPROX. 375' FROM PROPERTY CORNER)
 FALCON AND MASON LANE

Symbol	Description
(Solid line with dots)	Area to Culvert
(Dashed line with dots)	Area to DI
(Thick solid line)	Building
(Thin solid line)	Drainage Line
(Circle with cross)	Water Main
(Circle with dot)	Water Valve
(Circle with 'M')	Water Meter
(Circle with 'S')	Water Stop
(Circle with 'V')	Water Shut-off
(Circle with 'V' and 'B')	Water Valve Box
(Circle with 'M' and 'B')	Water Meter Box
(Circle with 'S' and 'B')	Water Stop Box
(Circle with 'V' and 'B')	Water Shut-off Box

HGL Analysis

Hydraflow Plan View

10 YEAR ANALYSIS



Project File: HGL.stm

No. Lines: 9

10-10-2016

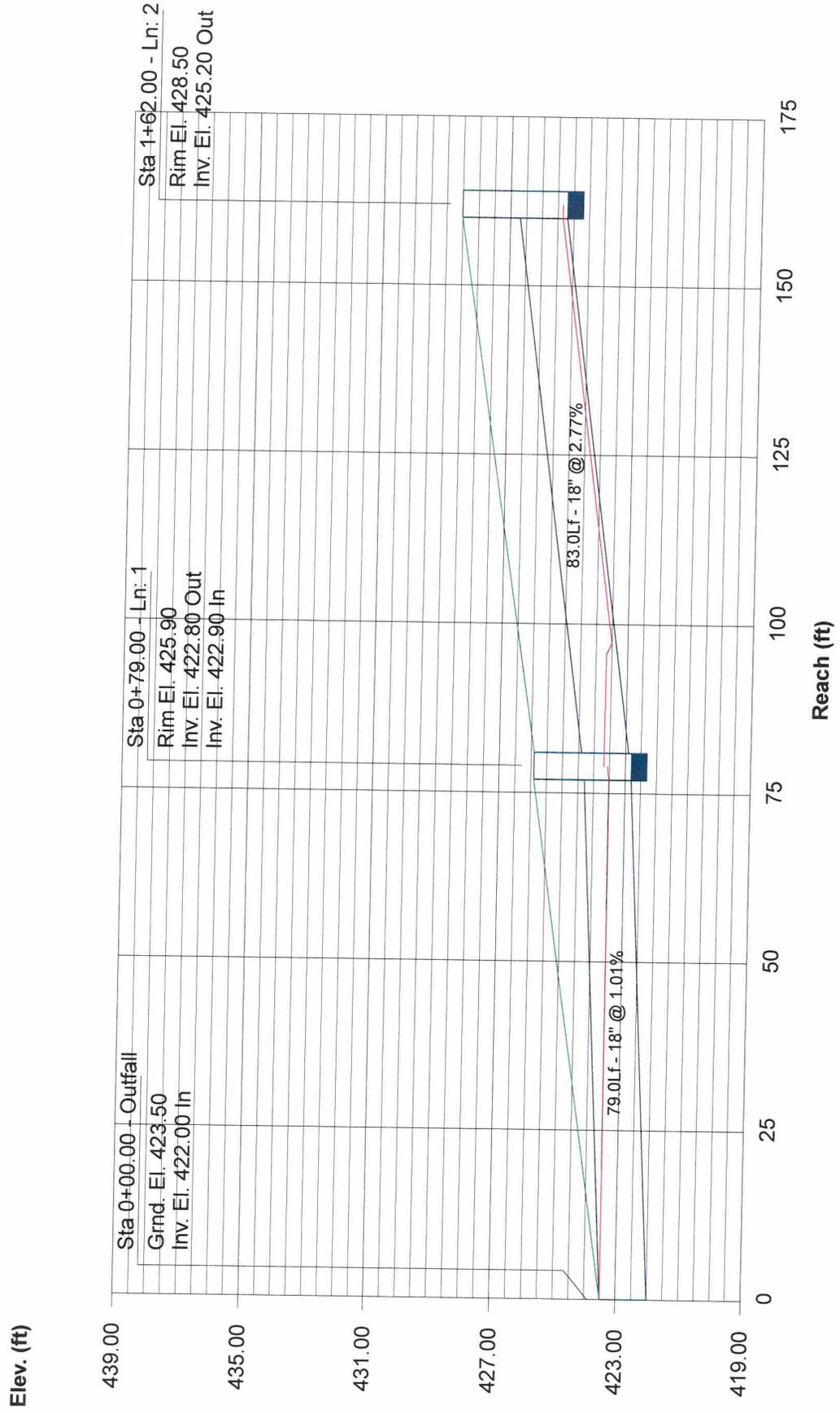
Line No.	Inlet ID	Line Length (ft)	Line Size (in)	Line Slope (%)	i Inlet (in/hr)	Tc (min)	Runoff Coeff (C)	Incr Q (cfs)	Known Q (cfs)	Total Runoff (cfs)	Invert Dn (ft)	Invert Up (ft)	HGL Dn (ft)	HGL Up (ft)	Gnd/Rim EI Dn (ft)	Gnd/Rim EI Up (ft)	Vel Dn (ft/s)
1	DI 8	79.00	18	1.01	7.22	21.1	0.58	3.35	0.00	2.19	422.00	422.80	423.50	423.51	423.50	425.90	1.24
2	DI 9	83.00	18	2.77	7.22	5.0	0.35	0.15	0.00	0.15	422.90	425.20	423.68	425.35	425.90	428.50	0.16
3	CI 1	12.00	18	1.00	7.22	10.6	0.75	1.52	0.00	2.19	423.00	423.12	424.50	424.50	424.50	425.75	1.24
4	CI 7	67.00	15	1.76	7.22	5.0	0.94	0.48	0.00	0.48	423.47	424.65	424.56	424.93	425.75	427.95	0.42
5	JB 2	64.00	15	1.00	0.00	8.5	0.00	0.00	0.00	0.58	423.47	424.11	424.53	424.54	425.75	427.20	0.52
6	JB 3	34.00	15	7.44	0.00	7.5	0.00	0.00	0.00	0.60	424.22	426.75	424.60	427.06	427.20	429.80	1.92
7	DI 4	24.00	15	2.71	7.22	6.7	0.87	0.44	0.00	0.61	426.85	427.50	427.15	427.81	429.80	430.25	2.65
8	DI 5	15.00	12	1.00	7.22	5.8	0.71	0.03	0.00	0.21	427.85	428.00	428.01	428.19	430.25	430.50	2.44
9	DI 6	11.00	12	1.36	7.22	5.0	0.86	0.19	0.00	0.19	428.10	428.25	428.28	428.43	430.50	430.50	1.95

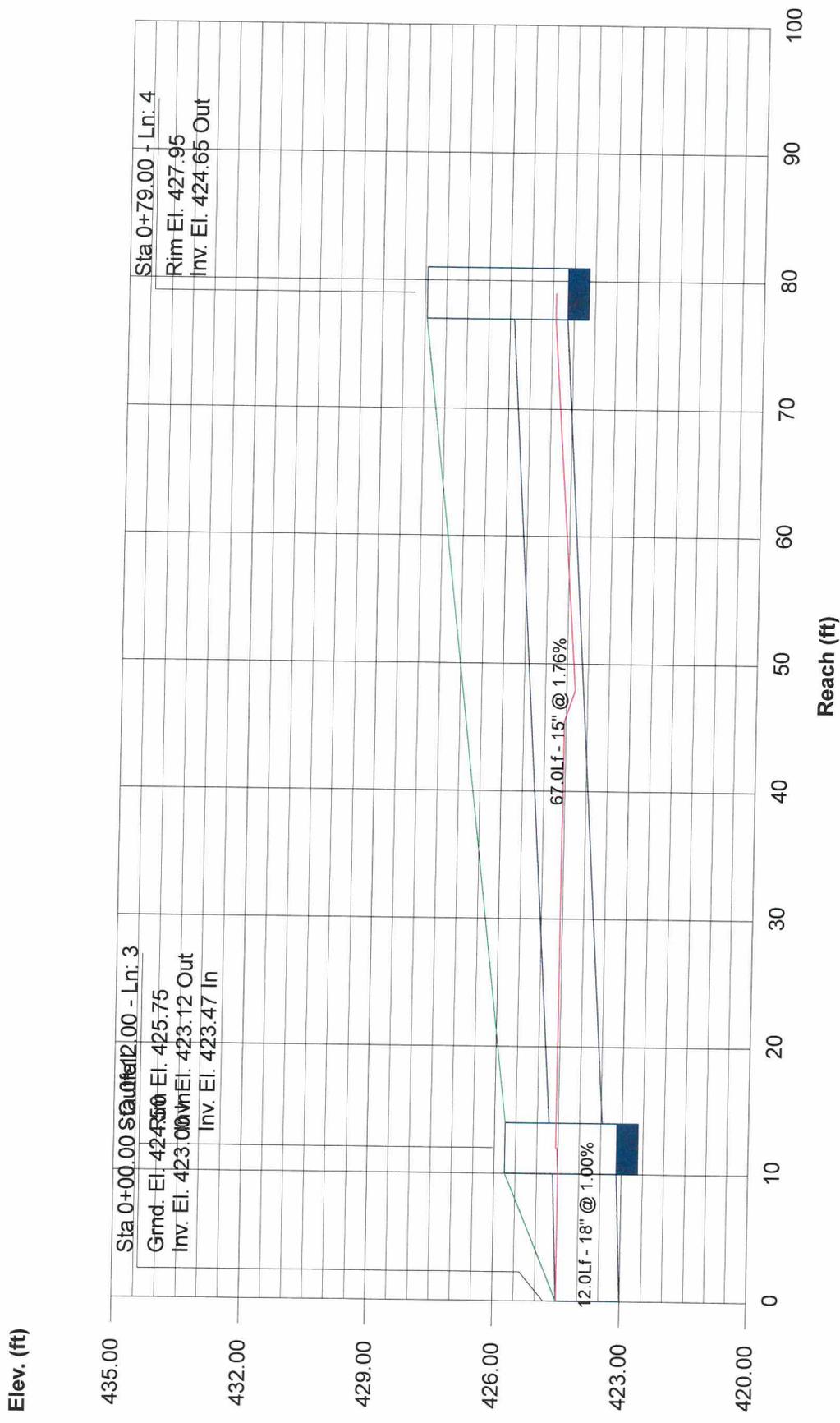
Project File: HGL.stm

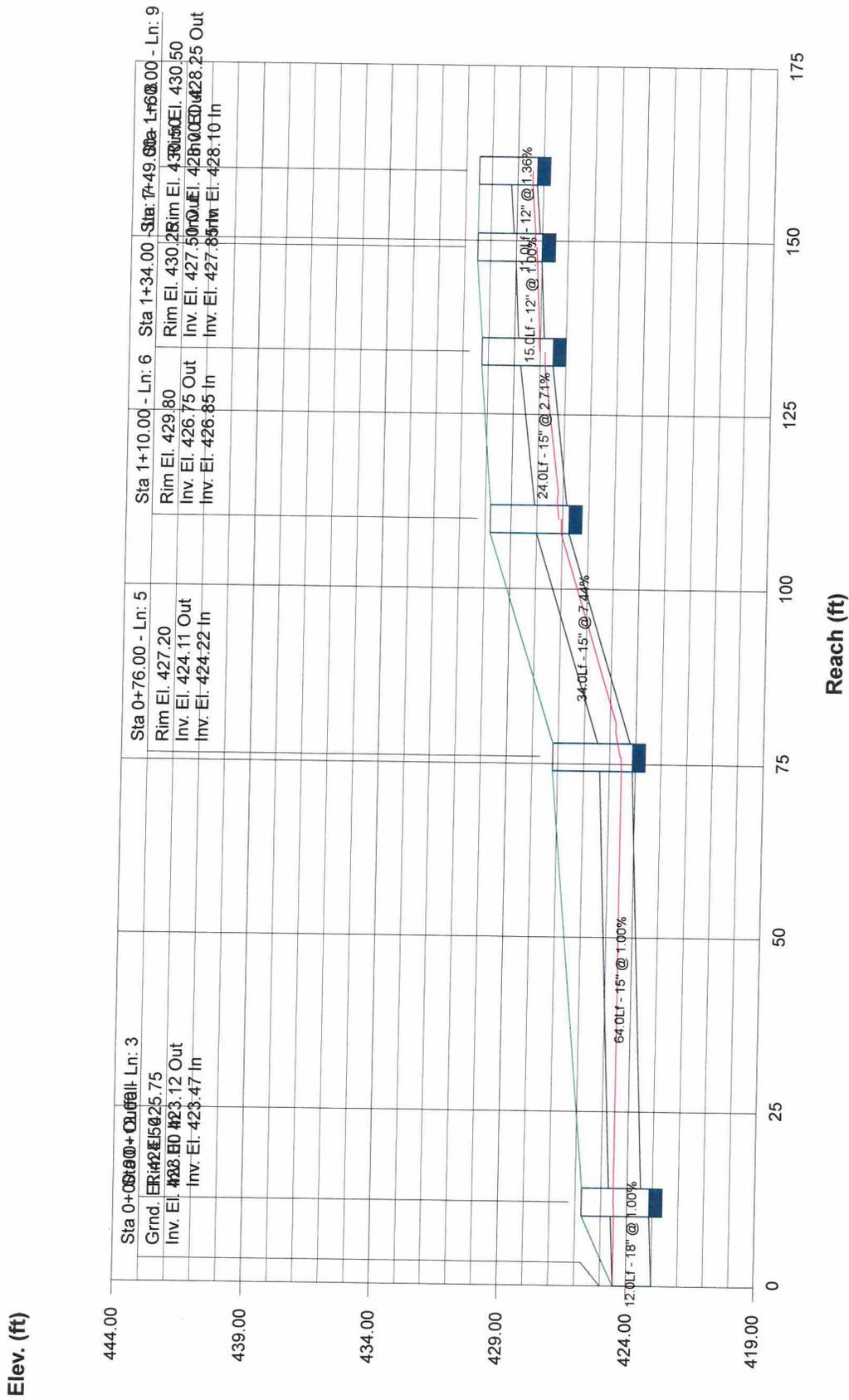
Number of lines: 9

Date: 10-10-2016

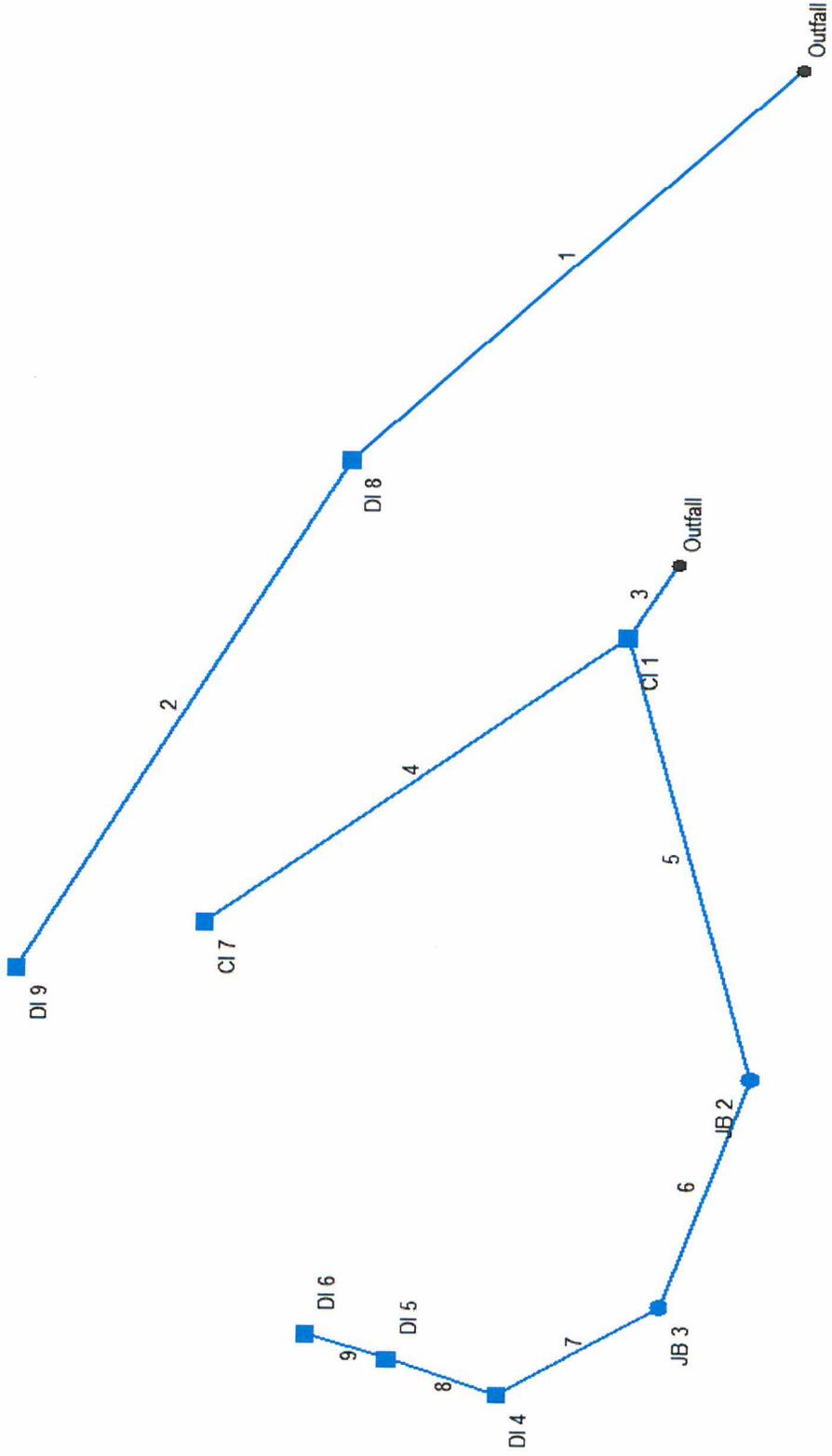
NOTES: Intensity = 195.00 / (Inlet time + 22.00) ^ 1.00 -- Return period = 10 Yrs. ; ** Critical depth







Hydraflow Plan View



Project File: HGL25YR.stm

No. Lines: 9

10-10-2016

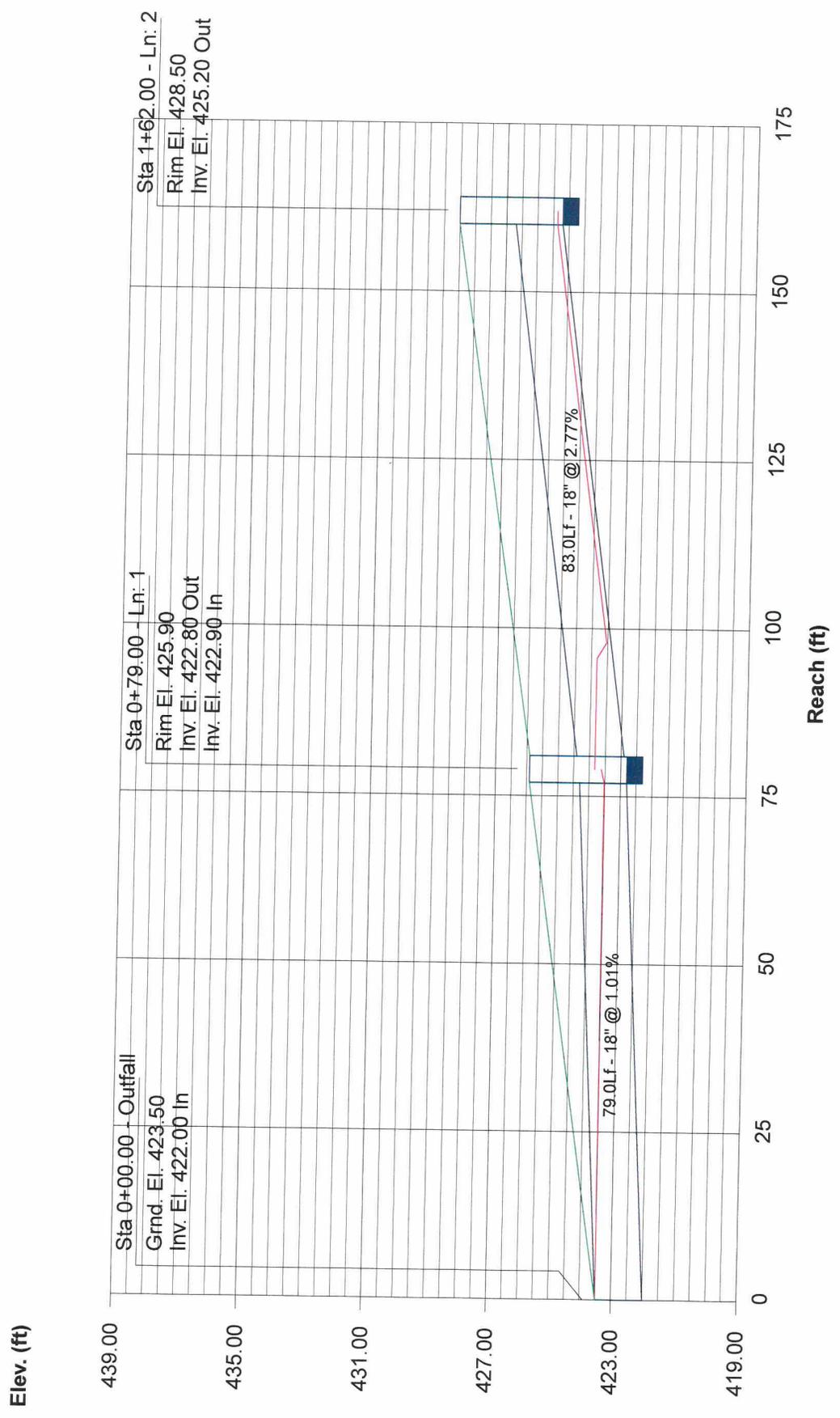
Line No.	Inlet ID	Line Length (ft)	Line Size (in)	Line Slope (%)	i Inlet (in/hr)	Tc (min)	Runoff Coeff (C)	Incr Q (cfs)	Known Q (cfs)	Total Runoff (cfs)	Invert Dn (ft)	Invert Up (ft)	HGL Dn (ft)	HGL Up (ft)	Gnd/Rim El Dn (ft)	Gnd/Rim El Up (ft)	Vel Dn (ft/s)
1	DI 8	79.00	18	1.01	8.29	17.6	0.64	4.24	0.00	3.06	422.00	422.80	423.50	423.53	423.50	425.90	1.73
2	DI 9	83.00	18	2.77	8.29	5.0	0.39	0.19	0.00	0.19	422.90	425.20	423.83	425.37	425.90	428.50	0.17
3	CI 1	12.00	18	1.00	8.29	9.2	0.82	1.90	0.00	2.90	423.00	423.12	424.50	424.51	424.50	425.75	1.64
4	CI 7	67.00	15	1.76	8.29	5.0	1.00	0.58	0.00	0.58	423.47	424.65	424.60	424.95	425.75	427.95	0.50
5	JB 2	64.00	15	1.00	0.00	7.7	0.00	0.00	0.00	0.78	423.47	424.11	424.56	424.57	425.75	427.20	0.69
6	JB 3	34.00	15	7.44	0.00	6.8	0.00	0.00	0.00	0.80	424.22	426.75	424.65	427.11	427.20	429.80	2.12
7	DI 4	24.00	15	2.71	8.29	6.3	0.96	0.56	0.00	0.82	426.85	427.50	427.22	427.86	429.80	430.25	2.69
8	DI 5	15.00	12	1.00	8.29	5.6	0.78	0.06	0.00	0.29	427.85	428.00	428.05	428.23	430.25	430.50	2.73
9	DI 6	11.00	12	1.36	8.29	5.0	0.95	0.24	0.00	0.24	428.10	428.25	428.34	428.46	430.50	430.50	1.66

Project File: HGL25YR.stm

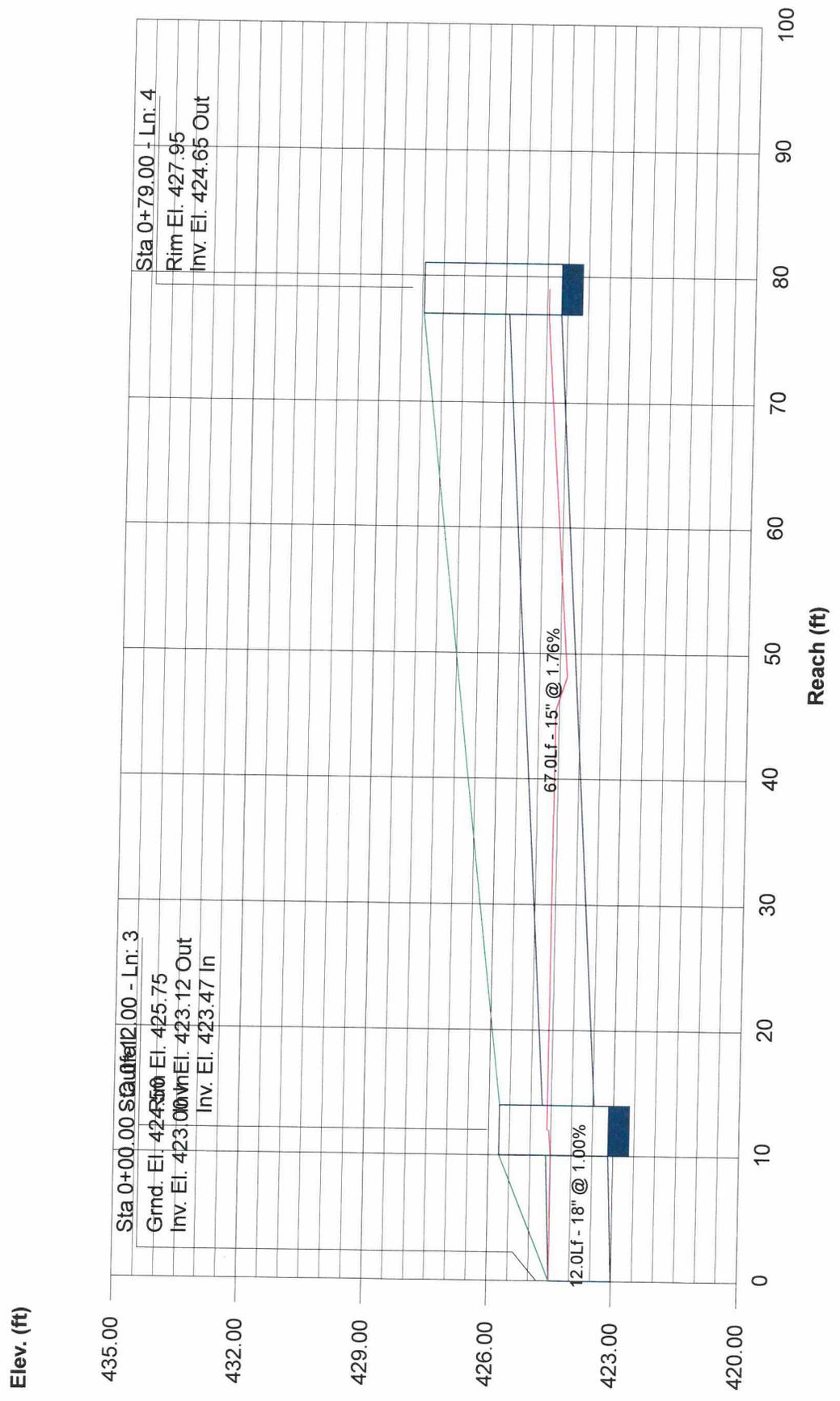
Number of lines: 9

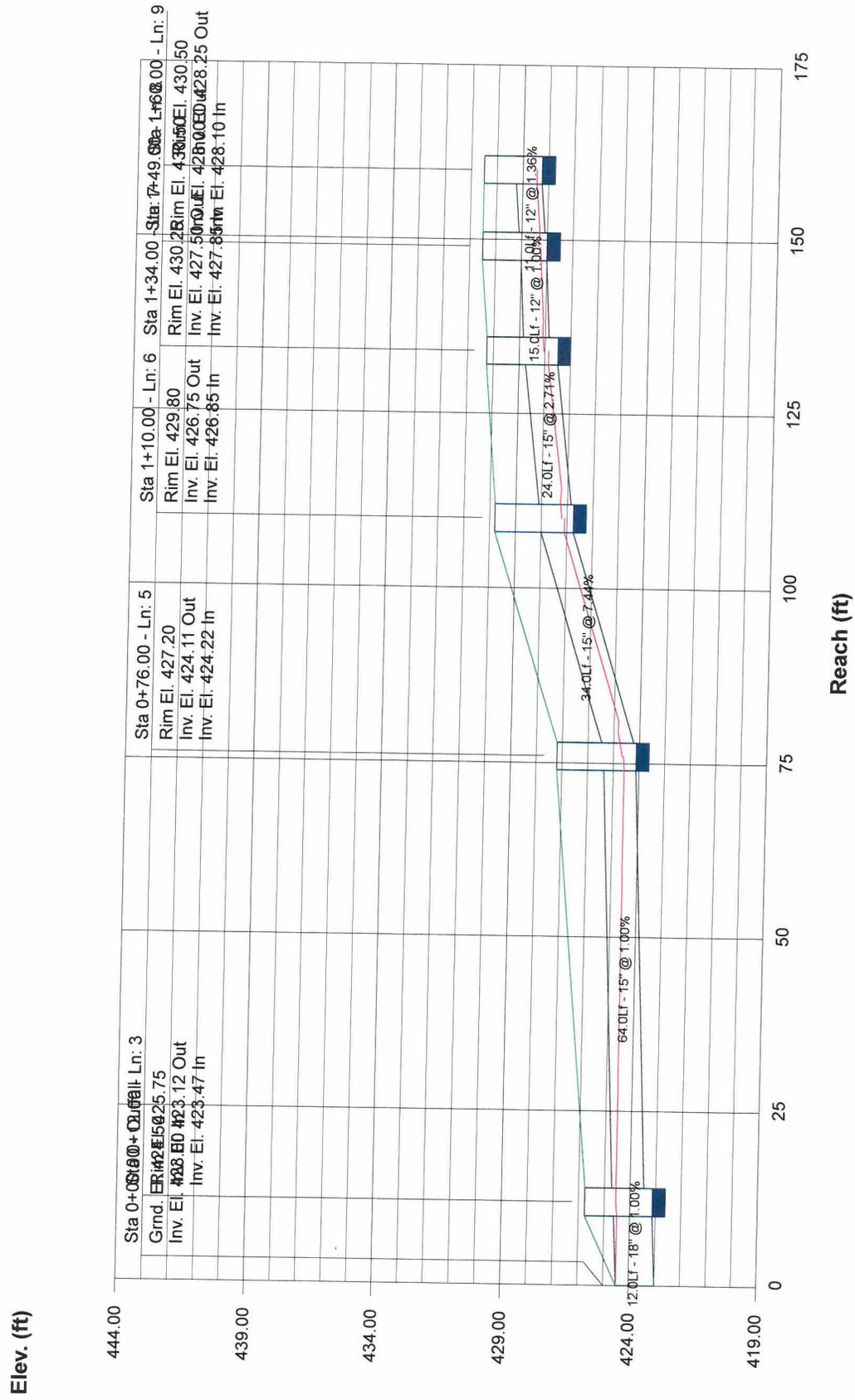
Date: 10-10-2016

NOTES: Intensity = 232.00 / (inlet time + 23.00) ^ 1.00 -- Return period = 25 Yrs. ; ** Critical depth



STORM SEWER PROFILE







Project Name: Purefoy Road Apts
Project Number: 1642

By: TRM
Date: 10.10.201

Revised:
Date:

Composite 'C' Value Calculations

INLET: CI 1

DRAINAGE AREA = 12,401 SF
0.28 AC.

IMPERVIOUS = 8,230 SF C = 0.95

GRASS = 4,171 SF C = 0.35

WOODED = - SF C = 0.2

COMPOSITE C-VALUE = 0.75

25-yr CORRECTED COMPOSITE C-VALUE = 0.82

INLET: DI 4

DRAINAGE AREA = 3,076 SF
0.07 AC.

IMPERVIOUS = 2,668 SF C = 0.95

GRASS = 408 SF C = 0.35

WOODED = - SF C = 0.2

COMPOSITE C-VALUE = 0.87

25-yr CORRECTED COMPOSITE C-VALUE = 0.96

INLET: DI 5

DRAINAGE AREA = 215 SF
0.005 AC.

IMPERVIOUS = 128 SF C = 0.95

GRASS = 86 SF C = 0.35

WOODED = - SF C = 0.2

COMPOSITE C-VALUE = 0.71

25-yr CORRECTED COMPOSITE C-VALUE = 0.78

INLET: DI 6

DRAINAGE AREA = 1,097 SF
0.03 AC.

IMPERVIOUS = 934 SF C = 0.95

GRASS = 163 SF C = 0.35

WOODED = - SF C = 0.2

COMPOSITE C-VALUE = 0.86

25-yr CORRECTED COMPOSITE C-VALUE = 0.95



Project Name: Purefoy Road Apts
Project Number: 1642

By: TRM
Date: 10.10.201

Revised:
Date:

Composite 'C' Value Calculations (CONT.)

INLET: CI 7

DRAINAGE AREA = 3,009 SF
0.07 AC.

IMPERVIOUS = 2,947 SF C = 0.95

GRASS = 62 SF C = 0.35

WOODED = - SF C = 0.2

COMPOSITE C-VALUE = 0.94

25-yr CORRECTED COMPOSITE C-VALUE = 1.00

INLET: DI 8

DRAINAGE AREA = 34,877 SF
0.80 AC.

IMPERVIOUS = 13,396 SF C = 0.95

GRASS = 21,481 SF C = 0.35

WOODED = - SF C = 0.2

COMPOSITE C-VALUE = 0.58

25-yr CORRECTED COMPOSITE C-VALUE = 0.64

INLET: DI 9

DRAINAGE AREA = 2,505 SF
0.06 AC.

IMPERVIOUS = SF C = 0.95

GRASS = 2,505 SF C = 0.35

WOODED = - SF C = 0.2

COMPOSITE C-VALUE = 0.35

25-yr CORRECTED COMPOSITE C-VALUE = 0.39

Culvert Analysis



Project Name: Purefoy Road Apts

By: TRM

Revised:

Project Number: 1642

Date: 10.10.2016

Date:

Culvert Calculations

Culvert #1

DRAINAGE AREA = 2,692 SF
0.06 AC.

IMPERVIOUS = SF C = 0.95

GRASS = 2,692 SF C = 0.35

WOODED = - SF C = 0.2

COMPOSITE C-VALUE = 0.35

Discharge - Q = CiA

i10 = 7.22 in/hr

Q10 = 0.16 cfs

Culvert #2

DRAINAGE AREA = 960 SF
0.02 AC.

IMPERVIOUS = 153 SF C = 0.95

GRASS = 807 SF C = 0.35

WOODED = - SF C = 0.2

COMPOSITE C-VALUE = 0.45

Discharge - Q = CiA

i10 = 7.22 in/hr

Q10 = 0.07 cfs

Outlet Protection Calculations

OUTLET: Culvert #1

Inputs:

Pipe Diameter = 15 in

Slope = 1.00%

Q(10) = 0.16 cfs

v(10) = 2.22 fps

Zone: 1

Apron Materials:

Minimum- Stone Filling (Fine) - Cl. 'A'

Proposed- Stone Filling (Fine) - Cl. 'A'

Apron Dimensions:

Length

Multiplier 3
To Protect Culvert (L1) = 3.75 ft

Multiplier 4
To Protect Scour (L2) = 5 ft

Width

W = 3.75 ft

Thickness

Th = 12 in

Outlet Protection Calculations

OUTLET: Culvert #2

Inputs:

Pipe Diameter = 15 in

Slope = 1.00%

Q(10) = 0.07 cfs

v(10) = 1.74 fps

Zone: 1

Apron Materials:

Minimum- Stone Filling (Fine) - Cl. 'A'

Proposed- Stone Filling (Fine) - Cl. 'A'

Apron Dimensions:

Length

Multiplier 3
To Protect Culvert (L1) = 3.75 ft

Multiplier 4
To Protect Scour (L2) = 5 ft

Width

W = 3.75 ft

Thickness

Th = 12 in

Culvert #1

Project Description

Friction Method	Manning Formula
Solve For	Normal Depth

Input Data

Roughness Coefficient	0.013
Channel Slope	0.01000 ft/ft
Diameter	1.25 ft
Discharge	0.16 ft ³ /s

Results

Normal Depth	0.14 ft
Flow Area	0.07 ft ²
Wetted Perimeter	0.84 ft
Hydraulic Radius	0.09 ft
Top Width	0.78 ft
Critical Depth	0.15 ft
Percent Full	10.9 %
Critical Slope	0.00582 ft/ft
Velocity	2.22 ft/s
Velocity Head	0.08 ft
Specific Energy	0.21 ft
Froude Number	1.29
Maximum Discharge	6.95 ft ³ /s
Discharge Full	6.46 ft ³ /s
Slope Full	0.00001 ft/ft
Flow Type	SuperCritical

GVF Input Data

Downstream Depth	0.00 ft
Length	0.00 ft
Number Of Steps	0

GVF Output Data

Upstream Depth	0.00 ft
Profile Description	
Profile Headloss	0.00 ft
Average End Depth Over Rise	0.00 %
Normal Depth Over Rise	10.85 %
Downstream Velocity	Infinity ft/s

Culvert #1

GVF Output Data

Upstream Velocity	Infinity	ft/s
Normal Depth	0.14	ft
Critical Depth	0.15	ft
Channel Slope	0.01000	ft/ft
Critical Slope	0.00582	ft/ft

Culvert #2

Project Description

Friction Method	Manning Formula
Solve For	Normal Depth

Input Data

Roughness Coefficient	0.013	
Channel Slope	0.01000	ft/ft
Diameter	1.25	ft
Discharge	0.07	ft ³ /s

Results

Normal Depth	0.09	ft
Flow Area	0.04	ft ²
Wetted Perimeter	0.68	ft
Hydraulic Radius	0.06	ft
Top Width	0.65	ft
Critical Depth	0.10	ft
Percent Full	7.3	%
Critical Slope	0.00657	ft/ft
Velocity	1.74	ft/s
Velocity Head	0.05	ft
Specific Energy	0.14	ft
Froude Number	1.23	
Maximum Discharge	6.95	ft ³ /s
Discharge Full	6.46	ft ³ /s
Slope Full	0.00000	ft/ft
Flow Type	SuperCritical	

GVF Input Data

Downstream Depth	0.00	ft
Length	0.00	ft
Number Of Steps	0	

GVF Output Data

Upstream Depth	0.00	ft
Profile Description		
Profile Headloss	0.00	ft
Average End Depth Over Rise	0.00	%
Normal Depth Over Rise	7.32	%
Downstream Velocity	Infinity	ft/s

Culvert #2

GVF Output Data

Upstream Velocity	Infinity	ft/s
Normal Depth	0.09	ft
Critical Depth	0.10	ft
Channel Slope	0.01000	ft/ft
Critical Slope	0.00657	ft/ft

PUREFOY ROAD APARTMENTS

111 PUREFOY ROAD, CHAPEL HILL, NC 27514

1ST SITE PLAN SUBMITTAL: OCTOBER 10, 2016

APPLICANT / OWNER

KEN GORFKLE
1436 POINSETT DRIVE
CHAPEL HILL, NC 27717
PHONE: 919-942-1467

CONSULTANTS:

LANDSCAPE ARCHITECT:
COULTER JEWELL THAMES PA
111 WEST MAIN STREET
DURHAM, NC 27701
PHONE: 919-682-0368
CONTACT: ANDREW PORTER

CIVIL ENGINEER:
COULTER JEWELL THAMES PA
111 WEST MAIN STREET
DURHAM, NC 27701
PHONE: 919-682-0368
CONTACT: PRESTON ROYSTER

ARCHITECT:
TISE-KIESTER ARCHITECTS
119 E. FRANKLIN STREET, SUITE 300
CHAPEL HILL, NC 27514
PHONE: 919-9670158
CONTACT: PHIL KIESTER

PIN: 9788419609
PID: 8801003

PROJECT DATA

PARCEL A:
SITE ADDRESS: 111 PUREFOY ROAD
CHAPEL HILL, NC 27514

OWNER:
OWNER ADDRESS: KEN GORFKLE
1436 POINSETT DRIVE
CHAPEL HILL, NC 27717

PIN:
PARCEL ID: 9788419609
8801003
ACREAGE: 56,805.72 SF / 1.30 AC
PLAT BOOK: PB3/PG40 ORANGE CO. REG.

EXISTING LAND USE: MULTI-FAMILY RESIDENTIAL
PROPOSED LAND USE: MULTI-FAMILY RESIDENTIAL
EXISTING ZONING: R-4, MEDIUM DENSITY RESIDENTIAL, 10 UNITS / ACRE
COMP. PLAN LAND USE: MEDIUM RESIDENTIAL, 4-8 UNITS PER/AC
OVERLAYS: MASON FARMS/WHITEHEAD CIRCLE NEIGHBORHOOD CONSERVATION DISTRICT PLAN
ADOPTED PLANS: N/A
TOTAL PROJECT AREA: NET LAND AREA - 56,805.72 SF / 1.30 AC
GROSS LAND AREA - 59,610.72 SF / 1.37 AC
TOTAL DISTURBED AREA = 53,281 SF / 1.22 AC
ON-SITE DISTURBED AREA = 45,004 SF / 1.03 AC
AREA OF DISTURBANCE: CAPE FEAR RIVER BASIN
RIVER BASIN: JORDAN LAKE WATERSHED PROTECTION DISTRICT
WATERSHED OVERLAY:

DESIGN STANDARDS
MIN LOT SIZE: 1 ACRE GROSS LAND AREA (NEIGHBORHOOD CONSERVATION DISTRICT)
MAXIMUM DENSITY: 10 DWELLING UNITS
MIN. LOT FRONTAGE: 40'
MIN. LOT WIDTH: 50'
MAX. BUILDING HEIGHT
PRIMARY: 30' (PER CORRESPONDENCE W/ JUDY JOHNSON)
SECONDARY: 30' (NEIGHBORHOOD CONSERVATION DISTRICT)

BUILDING SETBACKS
STREET: 50' MIN. (NEIGHBORHOOD CONSERVATION DISTRICT)
42.07' AVERAGE EX. PUREFOY ROAD STREETYARD SETBACK
INTERIOR: 25' MIN. (NEIGHBORHOOD CONSERVATION DISTRICT)
SOLAR: 9' MIN.

EXISTING BLDG. AREA: EX. BLDG #1 - 2,470 SF
PROPOSED BLDG. AREA: BLDG #1 - 2,981 GSF (1 UNIT/ 8 BEDROOMS)
BLDG #2 - 4,457 GSF (2 UNITS/ 11 BEDROOMS)
BLDG #3 - 6,057 GSF (2 UNITS/ 15 BEDROOMS)
TOTAL - 13,495 GSF (5 UNITS/ 34 BEDROOMS)

PARKING
MIN. NUMBER OF SPACES: 2 PER DWELLING UNIT
MAX. NUMBER OF SPACES: 2.50 PER DWELLING UNIT
REQUIRED: 2 X 5 DU = 10 SPACES MIN. / 2.5 X 5 DU = 13 SPACES MAX.
PROVIDED: 13 PARKING SPACES INCLUDING 1 HANDICAP VAN ACCESSIBLE SPACE

MIN. BICYCLE PARKING
REQUIRED: 1 PER 4 DWELLING UNITS
PROVIDED: 2 BICYCLE PARKING SPACE (CLASS II RACK)

LANDSCAPE BUFFERS
NORTH R4-R4 ZONING (CHURCH) - 20' TYPE "C" LANDSCAPE BUFFER
SEE NOTE #12, 2/SD-2.0 REGARDING SHARED LANDSCAPE BUFFER
PUREFOY ROAD (COLLECTOR STREET) - 20' TYPE "C" LANDSCAPE BUFFER
WEST R4-R4/R-LD1 ZONING - 10' TYPE "B" LANDSCAPE BUFFER
SOUTH R4-R4/R-LD1 ZONING - 10' TYPE "B" LANDSCAPE BUFFER
EAST R4-R-LD1 ZONING - 10' TYPE "B" LANDSCAPE BUFFER

TREE PROTECTION
RE:SD-7.0 LANDSCAPE PLAN

IMPERVIOUS SURFACE
EXISTING: 5,746 SF / 0.13 AC (10.1% OF SITE)
PROPOSED: 18,942 SF / 0.43 AC (33.3% OF SITE)

RECREATION AREA AND RECREATION SPACE
MIN. RECREATION AREA: NONE REQUIRED PER PRE SUBMITTAL MEETING
MIN. RECREATION SPACE: (R-4 ZONING) 0.039 X 59,610.72 SF (GROSS) = 2,325 SF REQUIRED
PROVIDED: 0 SF, APPLICANT REQUESTING PAYMENT-IN-LIEU

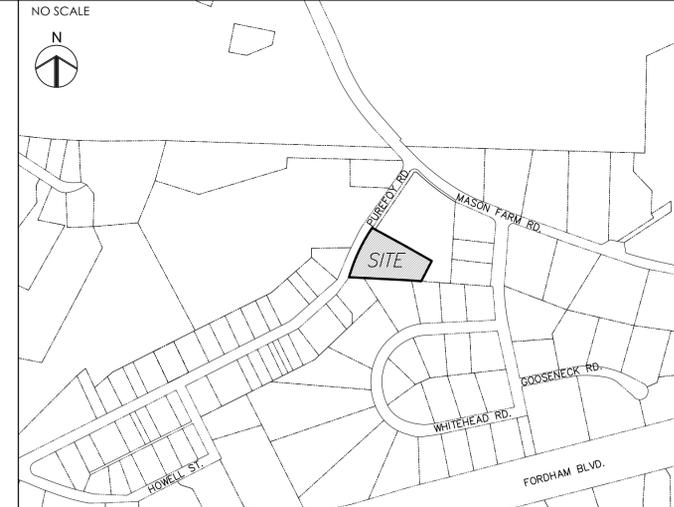
PROJECT NOTES

- BOUNDARY AND TOPOGRAPHIC SURVEY PROVIDED BY HOLLAND LAND SURVEYING, MAY 2016.

RESOURCE ORDINANCE COMPLIANCE

FLOODPLAIN PROTECTION: NO FLOODPLAIN AS PER REVISED PRELIMINARY FEMA MAP NUMBER 3710978800K (REVISION DATE: AUGUST 30, 2013).
STEEP SLOPE PROTECTION: SEE STEEP SLOPES ON SD-1.0 EXISTING CONDITIONS PLAN.
WETLANDS PROTECTION: THERE ARE NO WETLANDS ON THIS SITE.
STREAM BUFFERS: THERE ARE NO STREAM BUFFERS ON THIS SITE.

VICINITY MAP



LIST OF SHEETS

- | | |
|--------|--------------------------------------|
| SD-0.0 | COVER SHEET |
| SD-0.1 | AREA MAP |
| SD-1.0 | EXISTING CONDITIONS/DEMOLITION PLAN |
| SD-2.0 | SITE LAYOUT PLAN |
| SD-3.0 | GRADING AND STORMWATER DRAINAGE PLAN |
| SD-3.1 | STORMWATER DETAILS |
| SD-4.0 | EROSION CONTROL PLAN |
| SD-5.0 | UTILITY PLAN |
| SD-6.0 | SITE LIGHTING PLAN |
| SD-7.0 | LANDSCAPE PLAN |
| SD-8.0 | SITE DETAILS |
| SD-8.1 | EROSION CONTROL DETAILS |
| SD-8.2 | UTILITY DETAILS |
| A4.1.1 | BUILDING 1 ELEVATIONS |
| A4.1.2 | BUILDING 1 ELEVATIONS |
| A4.2 | BUILDING 2 ELEVATIONS |
| A4.3 | BUILDING 3 ELEVATIONS |

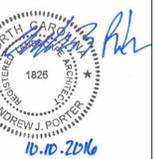
APPROVAL STAMPS



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ARCHITECTS LIC # C-104



Project
**PUREFOY
ROAD
APARTMENTS**

111 PUREFOY ROAD
CHAPEL HILL NC, 27514

ORANGE COUNTY NC

PIN: 9788419609
PID: 8801003

Job Number 1642

Drawn MTC, ED
Checked PBR, AJP
Date 10/10/2016
Revisions

SITE PLANS
NOT ISSUED
FOR CONSTRUCTION

Sheet Title

COVER
SHEET

Sheet Number

SD-0.0



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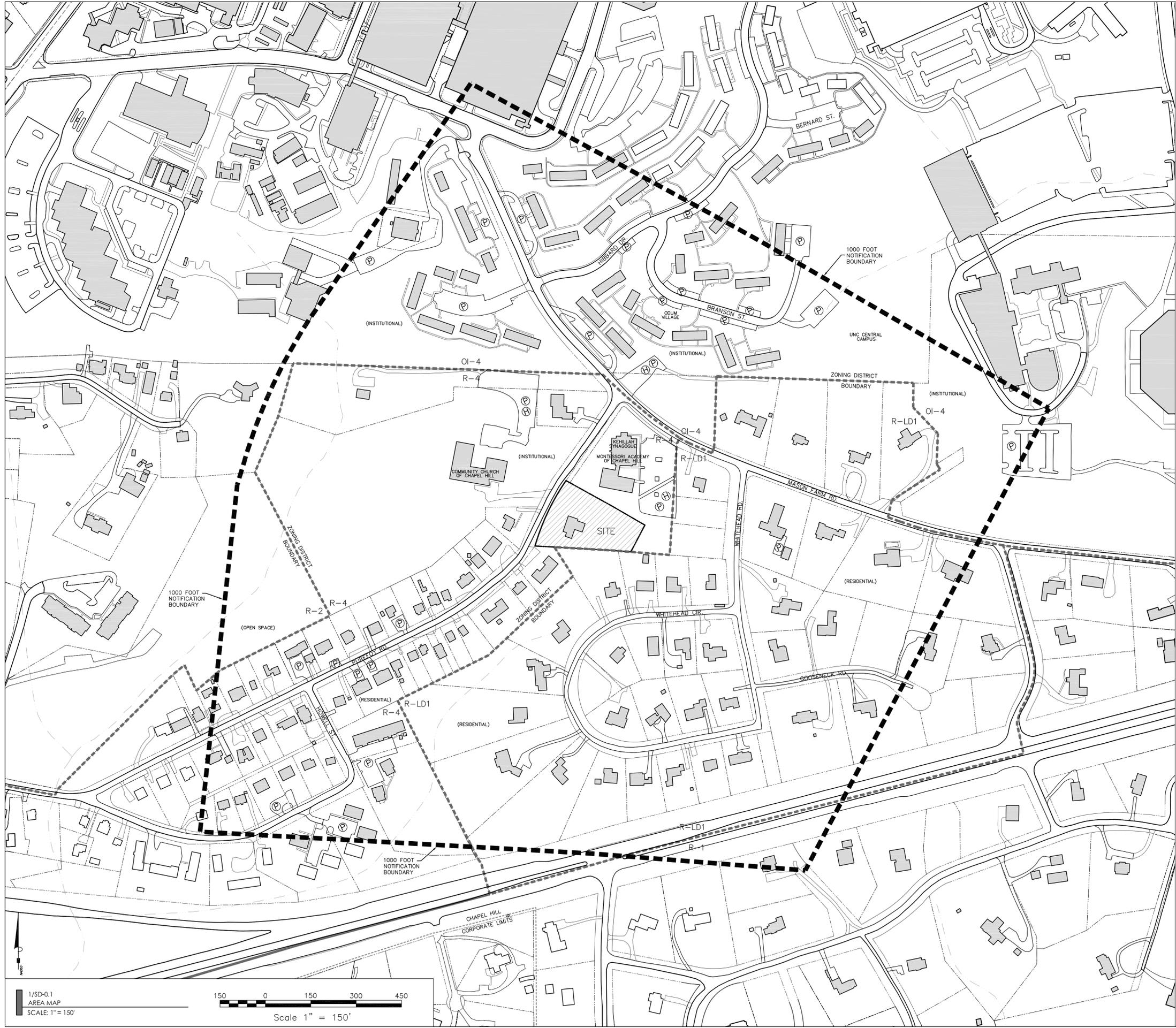
Sheet Title
**AREA
MAP**

Sheet Number
SD-0.1

LEGEND

- NOTIFICATION BOUNDARY
- ZONING DISTRICT BOUNDARY
- - - CHAPEL HILL CORPORATE LIMITS
- PROPERTY LINE
- STREAM
- Ⓜ ADA PARKING
- Ⓟ VEHICULAR PARKING
- Ⓟ BICYCLE PARKING

NOTE:
AREA MAP ASSEMBLED USING LINE WORK FROM
TOWN OF CHAPEL HILL GIS.

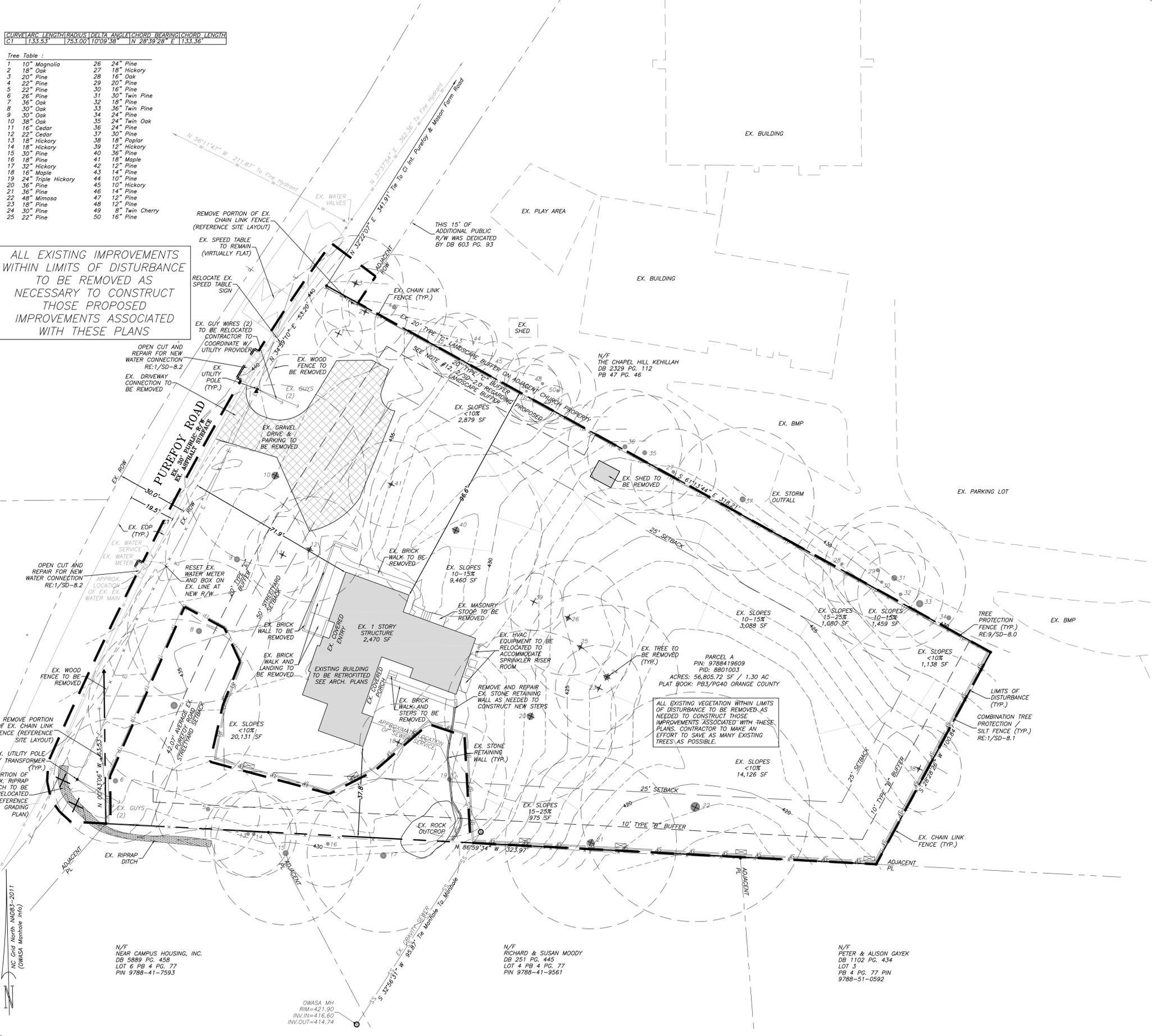


CURVE ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
CT	1333.53	1783.00	1709.58	N 28°39'28" E 1133.36

Tree Table :

1	10"	Magnolia	26	24"	Pine
2	18"	Oak	27	18"	Hickory
3	20"	Pine	28	16"	Oak
4	22"	Pine	29	20"	Pine
5	22"	Pine	30	16"	Pine
6	26"	Pine	31	30"	Twin Pine
7	36"	Oak	32	18"	Pine
8	30"	Oak	33	36"	Twin Pine
9	30"	Oak	34	24"	Pine
10	38"	Oak	35	24"	Twin Oak
11	16"	Cedar	36	24"	Pine
12	22"	Cedar	37	30"	Pine
13	18"	Hickory	38	18"	Poplar
14	18"	Hickory	39	12"	Hickory
15	30"	Pine	40	36"	Pine
16	18"	Pine	41	18"	Maple
17	32"	Hickory	42	12"	Pine
18	16"	Maple	43	14"	Pine
19	24"	Triple Hickory	44	10"	Pine
20	36"	Pine	45	10"	Hickory
21	36"	Pine	46	14"	Pine
22	48"	Mimosa	47	12"	Pine
23	18"	Pine	48	12"	Pine
24	30"	Pine	49	8"	Twin Cherry
25	22"	Pine	50	16"	Pine

ALL EXISTING IMPROVEMENTS WITHIN LIMITS OF DISTURBANCE TO BE REMOVED AS NECESSARY TO CONSTRUCT THOSE PROPOSED IMPROVEMENTS ASSOCIATED WITH THESE PLANS



2/SD-1.0
EXISTING CONDITIONS / DEMOLITION NOTES

- NTS
- ENSURE ALL EROSION CONTROL MEASURES ARE IN PLACE AND IN WORKING ORDER PRIOR TO THE START OF ANY DEMOLITION AND CONSTRUCTION.
 - SEE SITE LAYOUT SHEET SD-2.0 FOR LAYOUT DIMENSIONS OF EXTENT OF DEMOLISHED AREAS. PAVED AREAS NOT INDICATED TO BE DEMOLISHED, ARE TO REMAIN. ALL CONCRETE SAW CUTS ARE TO BE CLEAN, STRAIGHT AND NEAT.
 - UTILITIES: SEE UTILITY PLAN SD-5.0. CONTRACTOR TO COORDINATE WITH UTILITY COMPANIES FOR LOCATION, REMOVAL AND RELOCATION OF ANY UTILITIES. CONTRACTOR RESPONSIBLE FOR DETERMINING EXTENT AND LOCATION OF UTILITIES. THIS MAY INCLUDE CONTACTING "NO-CUTS" TO HELP LOCATE SOME UTILITIES.
 - CONTRACTOR TO ADJUST ALL MANHOLES, VALVES, JUNCTION BOXES, CATCH BASINS, CLEAN-OUTS, ETC., AS NECESSARY TO ACCOMMODATE NEW LAYOUT AND GRADES.
 - CONTRACTOR RESPONSIBLE FOR OBTAINING ANY PERMITS FOR WORK IN THE TOWN OF CHAPEL HILL RIGHT OF WAY. ANY DAMAGED INFRASTRUCTURE IN THE RIGHT OF WAY CAUSED BY CONSTRUCTION ACTIVITIES MUST BE REPAIRED TO TOWN OF CHAPEL HILL STANDARDS. THIS INCLUDES, BUT IS NOT LIMITED TO UTILITIES, SIDEWALKS, CURB AND GUTTER, ASPHALT.
 - CONTRACTOR RESPONSIBLE FOR REMOVING EVERYTHING WITHIN THE CLEARING LIMITS AND OFF-SITE WORK ZONE INCLUDING TREES, STUMPS, TRASH, FENCING, OR BUILDING MATERIALS.
 - CONTRACTOR TO USE CAUTION WORKING AROUND AND NEAR EXISTING STORM, WATER AND SEWER. CONTRACTOR RESPONSIBLE FOR DAMAGE TO EXISTING UTILITIES.
 - ALL PAVEMENT PATCHING SHALL BE PERFORMED PER TOWN OF CHAPEL HILL SPECIFICATIONS AND STANDARDS.
 - BY ORANGE COUNTY ORDINANCE, CLEAN WOOD WASTE, SCRAP METAL AND CORRUGATED CARDBOARD, ALL PRESENT IN CONSTRUCTION WASTE, MUST BE RECYCLED.
 - BY ORANGE COUNTY ORDINANCE, ALL HAULERS OF CONSTRUCTION WASTE MUST BE PROPERLY LICENSED.
 - PRIOR TO ANY DEMOLITION OR CONSTRUCTION ACTIVITY ON THE SITE THE APPLICANT WILL HOLD A PRE-DEMOLITION/PRE-CONSTRUCTION CONFERENCE WITH THE COUNTY'S SOLID WASTE STAFF. THIS MAY BE THE SAME MEETING HELD WITH OTHER DEVELOPMENT OFFICIALS.
 - THE PRESENCE OF ANY ASBESTOS CONTAINING MATERIAL (ACM) OR OTHER HAZARDOUS MATERIALS IN CONSTRUCTION WASTE SHALL BE HANDLED IN ACCORDANCE WITH ANY AND ALL LOCAL, STATE, AND FEDERAL REGULATIONS AND GUIDELINES.
 - TREE PROTECTION FENCING SHALL BE INSTALLED PRIOR TO ANY LAND DISTURBING ACTIVITY ON THE SITE.

3/SD-1.0
LEDGEND

- NTS
- X ITEM TO BE DEMOLISHED/REMOVED OR RELOCATED

4/SD-1.0
DESCRIPTION OF EXISTING SITE FEATURES

NTS

TOPOGRAPHY/SLOPE:
THE SITE SLOPES FROM A HIGH POINT IN THE NORTHWEST CORNER TOWARDS THE SOUTHEAST CORNER OF THE PROPERTY. THERE IS APPROXIMATELY 20' OF ELEVATION DROP ACROSS THE SITE. THE SITE HAS SLOPES OF 3% TO OVER 17%. THE MAJORITY OF THE SITE HAS SLOPES LESS THAN 10%.

HYDROLOGIC FEATURES/DRAINAGE:
THE SITE DRAINS FROM THE NORTHWEST CORNER TOWARDS THE SOUTHEAST CORNER OF THE PROPERTY.

SOIL TYPES:
THE USDA/NRCS WEB SOIL SURVEY CLASSIFIES TWO POSSIBLE SOIL TYPES WITHIN THE SITE.
APB APPLING SANDY LOAM - 2-6 PERCENT SLOPES
APC APPLING SANDY LOAM - 6-10 PERCENT SLOPES.

SUN/SHADE PATTERNS:
THE SUN WILL PASS AROUND THE SOUTH SIDE OF THE BUILDINGS DURING THE COURSE OF THE DAY. EFFORT WILL BE GIVEN TO RETAIN AS MANY EXISTING TREES AS POSSIBLE SOUTH OF THE BUILDINGS TO PROVIDE SHADE.

WHERE TREES ARE REMOVED FROM THE SOUTHERN LANDSCAPE BUFFER FOR GRADING PURPOSES NEW TREES WILL BE PLANTED. TREES WILL ALSO BE ADDED TO THE NEW PARKING AREAS TO PROVIDE SHADE AND MEET MINIMUM REQUIREMENTS.

FEMA FLOOD PLAN INFORMATION:
THERE IS NO MAPPED FLOOD PLAN AS PER FEMA MAP NUMBER 371097800J (EFFECTIVE FEBRUARY 2, 2007).

SPECIAL FEATURES:
THIS PROPERTY HAS FRONTAGE ON PUREFOY ROAD.

VEGETATION:
THE SITE CONTAINS BOTH EXISTING HARDWOOD AND PINE TREES.

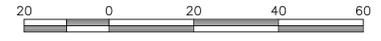
TRANSIT FACILITIES:
THE NEAREST BUS STOP IS LOCATED NORTH OF THE SITE ON JACKSON CIRCLE.

5/SD-1.0
EXISTING TREE CANOPY COVERAGE



1/SD-1.0
EXISTING CONDITIONS / DEMOLITION PLAN

SCALE: 1" = 20'



Scale 1" = 20'

PIN: 9788419609
PID: 8801003



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**PUREFOY
ROAD
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111 PUREFOY ROAD
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PIN: 9788419609
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Job Number 1642
Drawn MTC, ED
Checked PBR, AJP
Date 10/10/2016
Revisions

SITE PLANS
NOT ISSUED
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Sheet Title
**EXISTING
CONDITIONS /
DEMOLITION
PLAN**

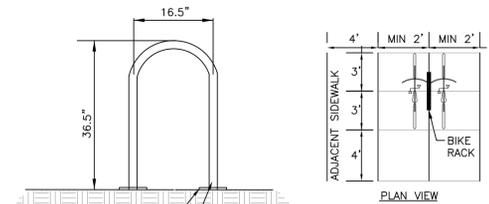
Sheet Number
SD-1.0

7/SD-2.0
TRAFFIC CONTROL PLAN NOTES
SCALE: NTS

- CONSTRUCTION ASSOCIATED WITH THE PUREFOY ROAD APARTMENT PROJECT WILL OCCUR WITHIN THE PUREFOY ROAD RIGHT-OF-WAY. A TEMPORARY LANE CLOSURE MAY BE NEEDED FOR CONSTRUCTION AT DIFFERENT TIMES.
- AT ALL TIMES DURING THE PROJECT, REQUIRED WORK ZONE SIGNAGE SHALL BE IN PLACE PER CURRENT NCDOT AND TOWN OF CHAPEL HILL STANDARDS.
- DURING TEMPORARY LANE CLOSURES, ADDITIONAL SIGNAGE SHALL BE PLACED PER CURRENT NCDOT AND TOWN OF CHAPEL HILL STANDARDS.
- ALL SIGNAGE SHALL COMPLY WITH THE LATEST MUTCD REQUIREMENTS AND NCDOT AND TOWN OF CHAPEL HILL.
- TEMPORARY LANE CLOSURES REQUIRE A PERMIT FROM THE TOWN OF CHAPEL HILL, AND ARE ALLOWED ONLY DURING DAYLIGHT HOURS. CONTACT THE TOWN ENGINEERING DEPARTMENT AT 919-968-2833 FOR EACH PERMIT AT LEAST 5 DAYS IN ADVANCE. A 72-HOUR NOTICE IS REQUIRED (SAME DEPARTMENT) PRIOR TO ACTUAL CLOSURE.
- CONTRACTOR TO ENSURE ONE LANE OF TRAFFIC AT ALL TIMES.

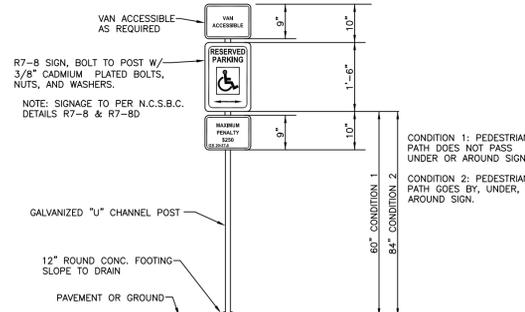
2/SD-2.0
SITE LAYOUT PLAN NOTES

- ALL ANGLES ARE 90 DEGREES UNLESS OTHERWISE NOTED.
- DIMENSIONS TO BUILDING WALL ARE TO FACE OF WALL AT FINISH GRADE. DIMENSIONS TO CURB ARE TO FACE OF CURB.
- LAYOUT IMPROVEMENTS FOR THE CIVIL ENGINEER'S OR LANDSCAPE ARCHITECT'S REVIEW PRIOR TO BEGINNING CONSTRUCTION.
- REFERENCE ARCHITECTURAL DRAWINGS FOR BUILDING LAYOUT INFORMATION.
- ADA PARKING SPACES SHALL BE SIGNED WITH TYPE R7-8 OR R7-8A RESERVED PARKING SIGN AND R7-8B MAXIMUM FINE SIGN PER GS 20-37.6 OF THE NORTH CAROLINA HANDICAP CODE. ADA RAMPS SHALL HAVE RAMP SURFACES COVERED WITH DETECTABLE WARNING PATTERN PER ADA STANDARDS.
- REFERENCE DEMOLITION PLAN SHEET SD-1.0 FOR EXTENT OF DEMOLITION AND REMOVAL OF CURB AND GUTTER, DRIVEWAYS, PAVEMENT, BOLLARDS, WALKWAYS, UTILITIES, AND VEGETATION.
- DWELLING OCCUPANTS SHALL BE RESPONSIBLE FOR BRINGING TRASH CARTS AND RECYCLING CARTS TO THE STREET ON THE APPLICABLE COLLECTION DAY.
- APPROVED BUILDING ADDRESS NUMBERS, PLACED IN ACCEPTABLE POSITION TO THE FIRE CODE OFFICIAL, SHALL BE REQUIRED ON ALL NEW BUILDINGS. NC FPC 2012, 505.1
- CONTRACTOR SHALL INSTALL CONTINUOUS FENCING AT THE LIMITS OF DISTURBANCE PRIOR TO ANY DEMOLITION OR SITE WORK.
- DURING CONSTRUCTION AND DEMOLITION WHERE HOT WORK, MATERIALS SUBJECT TO SPONTANEOUS COMBUSTION, OR OTHER HAZARDOUS CONSTRUCTION OR DEMOLITION IS OCCURRING, THE OWNER OR THEIR DESIGNEE SHALL BE RESPONSIBLE FOR MAINTAINING A FIRE WATCH. THE FIRE WATCH SHALL CONSIST OF AT LEAST ONE PERSON WITH A MEANS OF COMMUNICATING AN ALARM TO 911, SHALL PROVIDE A WRITTEN ADDRESS POSTED IN A CONSPICUOUS LOCATION AND SHALL MAINTAIN CONSTANT PATROLS. NC FPC 2012 SECTION 1404.
- ALL CONSTRUCTION AND DEMOLITION CONDUCTED SHALL BE IN COMPLIANCE OF THE CURRENT EDITION OF CHAPTER 14 OF THE NC FPC.
- PER DISCUSSIONS DURING THE PRE-SUBMITTAL MEETING AND SUBSEQUENT CORRESPONDENCE WITH JUDY JOHNSON IT IS UNDERSTOOD A SHARED LANDSCAPE BUFFER IS ALLOWED ALONG THE COMMON PROPERTY LINE BETWEEN THE PROJECT SITE AND ADJACENT CHURCH. THERE IS AN EXISTING 20' TYPE "C" LANDSCAPE BUFFER ON THE ADJACENT CHURCH PROPERTY. THE APPLICANT HAS AGREED TO PLANT ADDITIONAL EVERGREEN VEGETATION WITHIN A 10' LANDSCAPE BUFFER ON THE 111 PUREFOY ROAD PROPERTY STARTING AT THE PUREFOY ROAD RIGHT-OF-WAY AND TRAVERSING INWARD TO THE PROPERTY 135'. ALONG THE SAME 135' THE APPLICANT WILL ALSO CONSTRUCT A NEW 6' TALL OPAQUE WOOD FENCE ALONG THE NEW DRIVEWAY. STARTING AT THE 135' MARK AND CONTINUING TO THE PROPERTY CORNER THE APPLICANT HAS AGREED TO PLANT ADDITIONAL EVERGREEN VEGETATION ON THE CHURCH PROPERTY AND ALSO CONSTRUCT A NEW 6' TALL OPAQUE WOOD FENCE THE SAME DISTANCE ON THE 111 PUREFOY ROAD PROPERTY.



- NOTES:
- INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
 - BIKE RACK SPACING SHALL MEET REQUIREMENTS OF THE TOWN OF CHAPEL HILL DESIGN MANUAL SECTION 4.11
 - DO NOT SCALE DRAWINGS.

3/SD-2.0
BIKE RACK DETAIL
NTS



- NOTE: SIGNAGE TO PER N.C.S.B.C. DETAILS R7-8 & R7-8D

- GENERAL NOTES:
- REGARDLESS OF AGE, ALL ACCESSIBLE SPACES SHALL BE IDENTIFIED BY ABOVE-GROUND SIGNS ONLY.
 - NEW SPACES SHALL NOT USE GROUND-PAINTED SYMBOLS.
 - ACCESSIBLE SPACES ARE REQUIRED TO BE STRIPED OFF ONLY; BLUE COLORING IS NOT NECESSARY NOR REQUIRED.
 - STRIPING IS WHITE ON DARK PAVEMENT; BLACK ON LIGHT PAVEMENT. (N.C.D.O.T.)

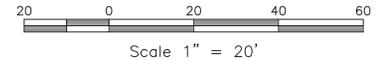
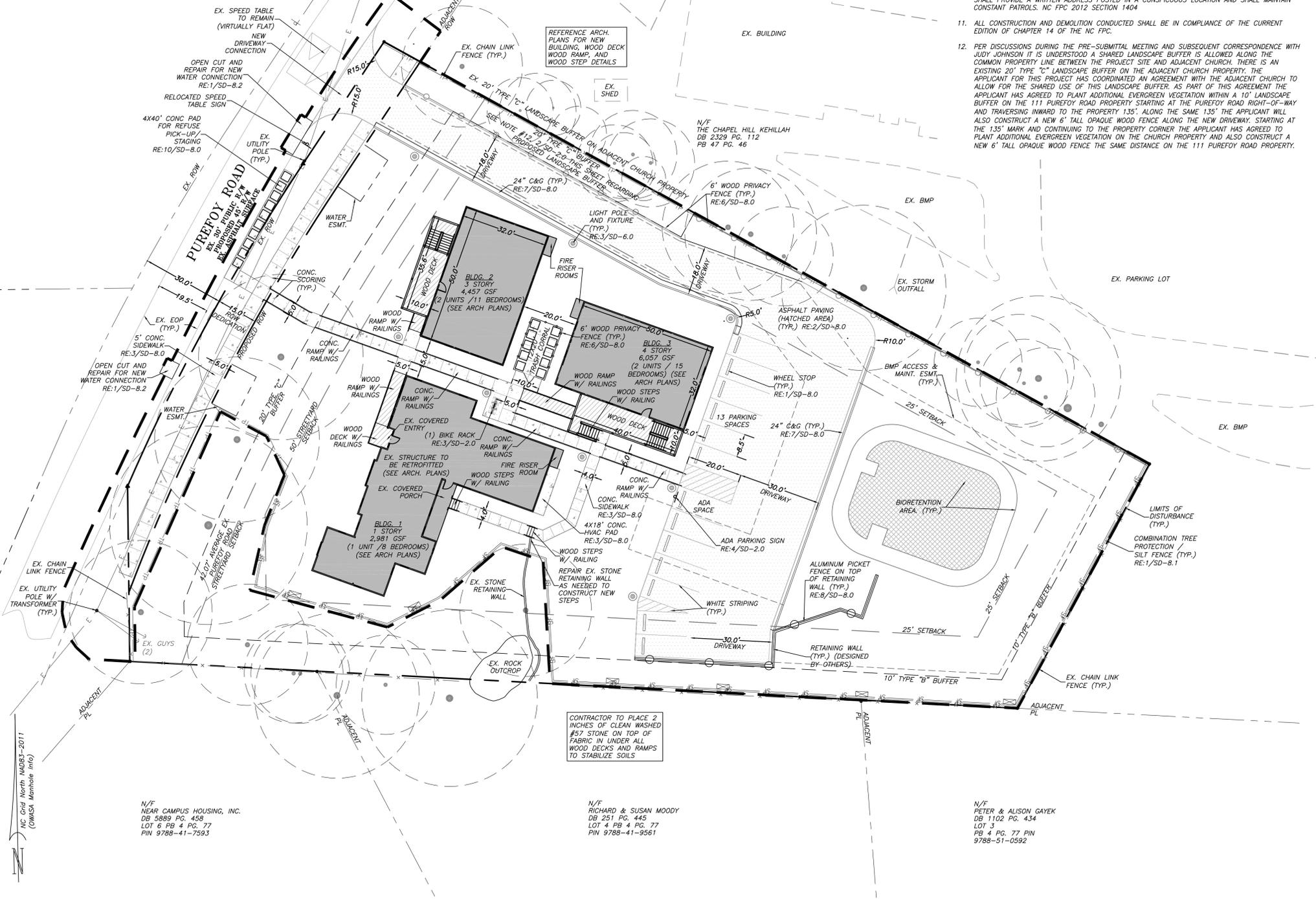
4/SD-2.0
ADA SIGNAGE
NTS

- COMPLIANCE WITH THE TOWN NOISE ORDINANCE IS REQUIRED DURING CONSTRUCTION OF THIS PROJECT.
- AN ENGINEERING CONSTRUCTION PERMIT IS REQUIRED PRIOR TO THE START OF ANY WORK IN THE PUBLIC RIGHT-OF-WAY. CONTACT LARRY TUCKER (TOWN ENGINEERING AND DESIGN SERVICES DIVISION, (919-969-5084) TO APPLY FOR THE PERMIT.
- THERE WILL BE NO CONSTRUCTION TRAILER ON SITE. CONSTRUCTION OFFICE WILL BE LOCATED IN EX. DUPLEX ON SAME PROPERTY.
- CONSTRUCTION PERSONNEL AND CONSTRUCTION EQUIPMENT PARKING WILL BE WITHIN THE PROPERTY LIMITS. PERSONNEL PARKING SHALL BE LOCATED WEST OF PROPOSED BLDG. #2 WITHIN EXISTING GRAVEL DRIVEWAY. ADDITIONAL OFFICE PARKING ARRANGEMENTS SHALL BE COORDINATED WITH THE TOWN IF DETERMINED TO BE NEEDED DURING CONSTRUCTION.
- STAGING FOR CONSTRUCTION MATERIALS SHALL BE LOCATED WEST OF PROPOSED BLDG. #2 WITHIN THE EXISTING GRAVEL DRIVEWAY AREA.
- EMERGENCY VEHICLE ACCESS WILL BE FROM ADJACENT ROW (PUREFOY ROAD). CONTRACTOR SHALL ENSURE ACCEPTABLE EMERGENCY VEHICLE ACCESS AT ALL TIMES DURING CONSTRUCTION.
- DELIVERY TRUCKS SHALL DELIVER FROM ADJACENT ROW (PUREFOY ROAD).
- CONTRACTOR TO PROVIDE CONSTRUCTION SIGNAGE AS NECESSARY ALONG PUREFOY ROAD PER LATEST NCDOT STANDARDS.
- CONTRACTOR SHALL COORDINATE ANY REQUIRED LANE CLOSURES WITH THE TOWN OF CHAPEL HILL PRIOR TO PERFORMING WORK. CONTRACTOR TO MAINTAIN TWO WAY TRAFFIC AT ALL TIMES.
- DURING DEMOLITION AND/OR CONSTRUCTION, ALL ASPECTS OF CHAPTER 14 OF THE NC FIRE PREVENTION SHALL BE FOLLOWED. THE OWNER/DEVELOPER SHALL DESIGNATE ONE PERSON TO BE THE FIRE PREVENTION PROGRAM SUPERVISOR WHO SHALL BE RESPONSIBLE FOR ENFORCING CHAPTER 14 OF THE NCFPC AND THE ON-SITE FIRE PREVENTION PROGRAM AND ENSURE THAT IT IS CARRIED OUT THROUGH COMPLETION OF THE PROJECT.
- FIRE WATCH; DURING CONSTRUCTION AND DEMOLITION WHERE HOT WORK, MATERIALS SUBJECT TO SPONTANEOUS COMBUSTION, OR OTHER HAZARDOUS CONSTRUCTION OR DEMOLITION IS OCCURRING, THE OWNER OR THEIR DESIGNEE SHALL BE RESPONSIBLE FOR MAINTAINING A FIRE WATCH. THE FIRE WATCH SHALL CONSIST OF AT LEAST ONE PERSON WITH A MEANS OF COMMUNICATING AN ALARM TO 911. SHALL PROVIDE A WRITTEN ADDRESS POSTED IN A CONSPICUOUS LOCATION AND SHALL MAINTAIN CONSTANT PATROLS. NC FPC 2012 SECTION 1404.

5/SD-2.0
CONSTRUCTION MANAGEMENT PLAN NOTES

- ALL EXISTING STRUCTURES 500 SQUARE FEET AND LARGER IN SIZE SHALL BE ASSESSED PRIOR TO DEMOLITION TO ENSURE COMPLIANCE WITH THE COUNTY'S REGULATED RECYCLABLE MATERIALS ORDINANCE (RRMO) AND TO ASSESS THE POTENTIAL FOR DE-CONSTRUCTION AND/OR THE RE-USE OF SALVAGEABLE MATERIALS.
- BY ORANGE COUNTY ORDINANCE, CLEAN WOOD WASTE, SCRAP METAL, AND CORRUGATED CARDBOARD PRESENT IN CONSTRUCTION OR DEMOLITION WASTE MUST BE RECYCLED.
- BY ORANGE COUNTY ORDINANCE, ALL HAULERS OF MIXED CONSTRUCTION AND DEMOLITION WASTE THAT INCLUDES ANY REGULATED RECYCLABLE MATERIALS SHALL BE LICENSED BY ORANGE COUNTY.
- PRIOR TO ANY DEMOLITION OR CONSTRUCTION ACTIVITY ON THE SITE THE APPLICANT SHALL HOLD A PRE-DEMOLITION / PRE-CONSTRUCTION CONFERENCE WITH THE SOLID WASTE STAFF. THIS MAY BE THE SAME PRE-CONSTRUCTION MEETING HELD WITH OTHER DEVELOPMENT / ENFORCEMENT OFFICIALS.
- THE PRESENCE OF ASBESTOS CONTAINING MATERIALS (ACM) AND/OR OTHER HAZARDOUS MATERIALS IN CONSTRUCTION AND DEMOLITION WASTE SHALL BE HANDLED IN ACCORDANCE WITH ANY AND ALL LOCAL, STATE, AND FEDERAL REGULATIONS AND GUIDELINES.

6/SD-2.0
CONSTRUCTION WASTE NOTES



1/SD-2.0
SITE LAYOUT PLAN
SCALE: 1" = 20'

ENGINEERING - LAND SURVEYING - LANDSCAPE ARCHITECTURE

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www.cjtpa.com

NC BOARD OF EXAMINERS FOR ENGINEERS AND SURVEYORS LIC # C-1209
NC BOARD OF LANDSCAPE ARCHITECTS LIC # C-104

Project

PUREFOY ROAD APARTMENTS

111 PUREFOY ROAD
CHAPEL HILL NC, 27514

ORANGE COUNTY NC

PIN: 9788419609
PID: 8801003

Job Number 1642

Drawn MTC, ED
Checked PBR, AJP
Date 10/10/2016
Revisions

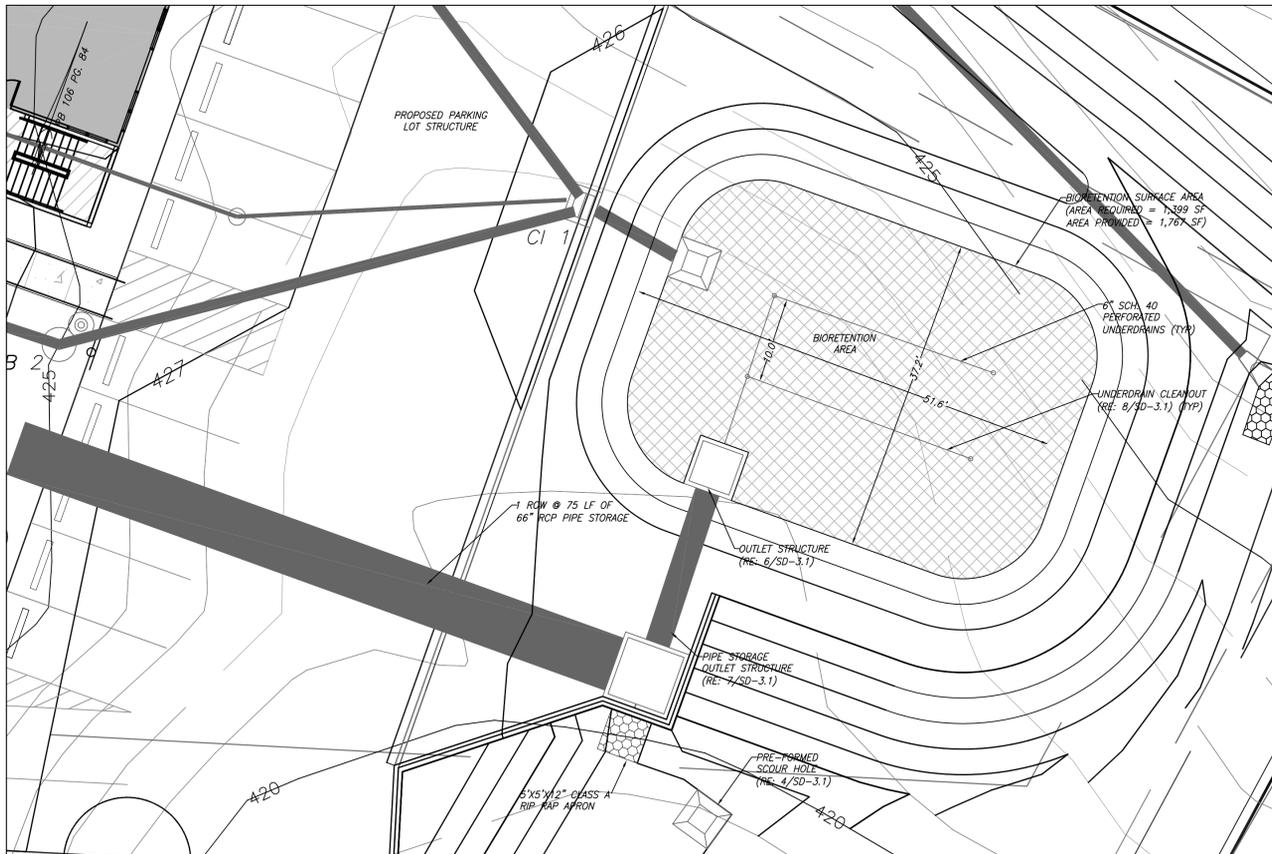
SITE PLANS NOT ISSUED FOR CONSTRUCTION

Sheet Title

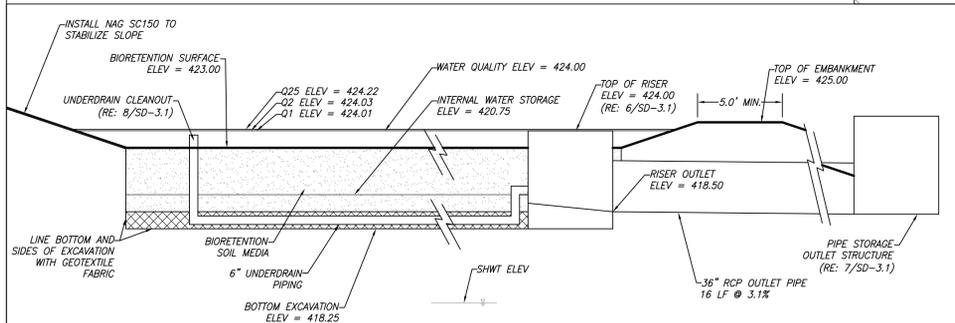
SITE LAYOUT PLAN

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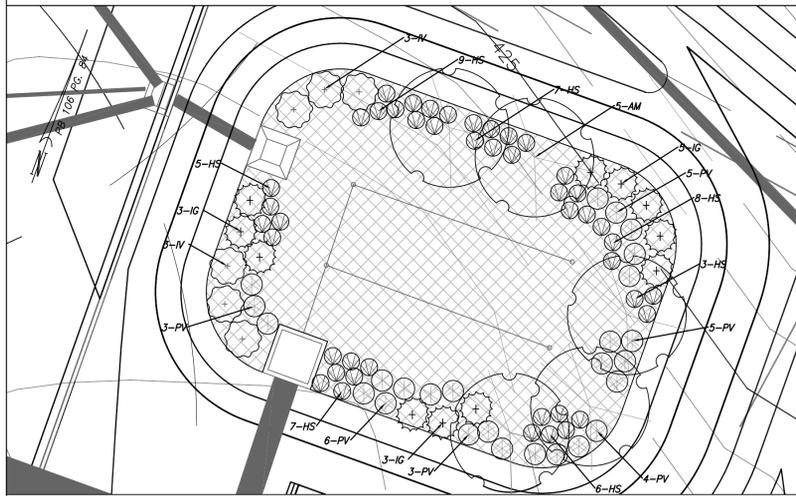
SD-2.0



1/SD-3.1
BIORETENTION AREA PLAN VIEW
SCALE: 1" = 10'

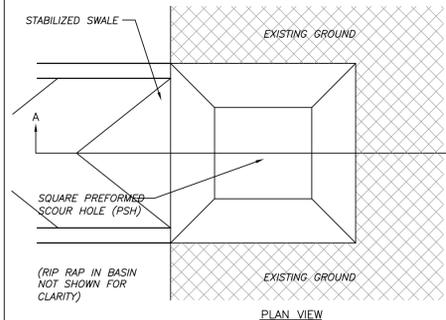


3/SD-3.1
BIORETENTION AREA PLAN VIEW
SCALE: NTS



5/SD-3.1
BIORETENTION AREA PLANTING PLAN
SCALE: 1" = 10'

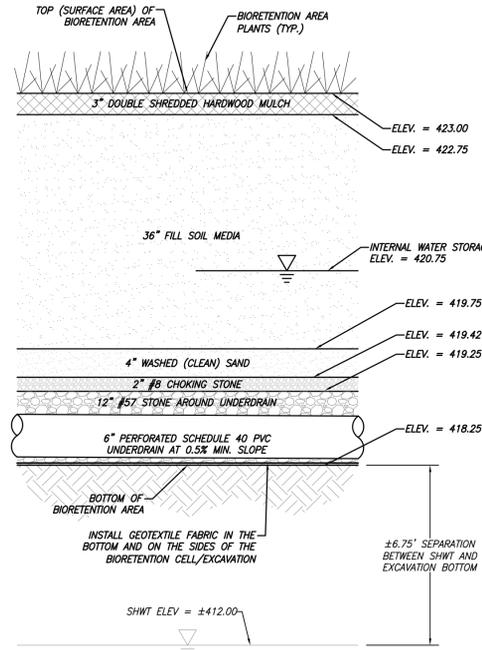
4/SD-3.1
PREFORMED SCOUR HOLE
SCALE: NTS



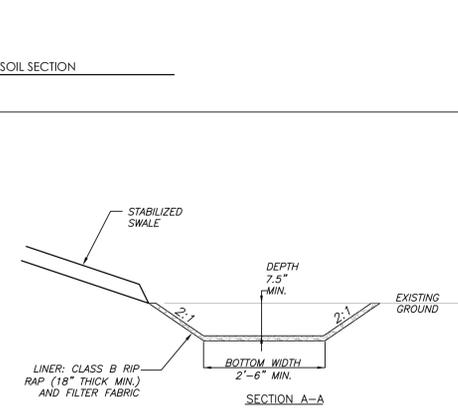
Qty	Sym	Botanic Name	Common Name	Installation Size	Spacing
5	AM	Amelanchier arborea	Common Serviceberry multi-stem	6' ht	as shown
45	HS	Hemerocallis 'Stella d'Oro'	Stella d'Oro Daylily	3 gal.	2'-3" o.c.
11	IG	Ilex glabra 'Compacta'	Dwarf Inkberry Holly	18" ht	4'-5" o.c.
6	IV	Itea virginica	Virginia Sweetspire	18" ht	4'-5" o.c.
26	PV	Panicum virgatum	Switch Grass	3 gal.	3' o.c.

NOTE: CONTRACTOR SHALL REFER TO 2/SD-7.0 FOR PLANTING NOTES AND 4/SD-8.0 / 5/SD-8.0 FOR PLANTING DETAILS.

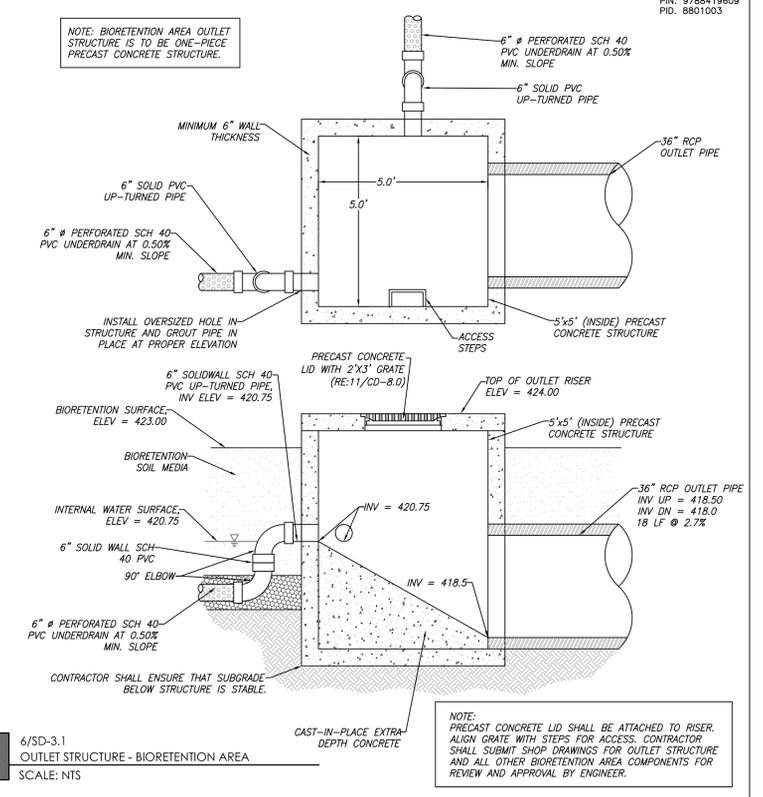
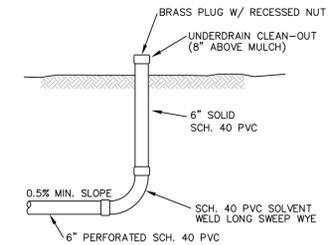
9/SD-3.1
BIORETENTION PLANT SCHEDULE
SCALE: NTS



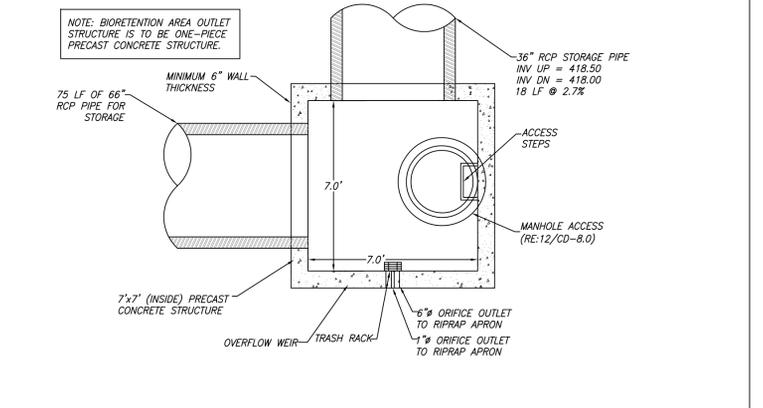
2/SD-3.1
BIORETENTION AREA - SOIL SECTION
SCALE: NTS



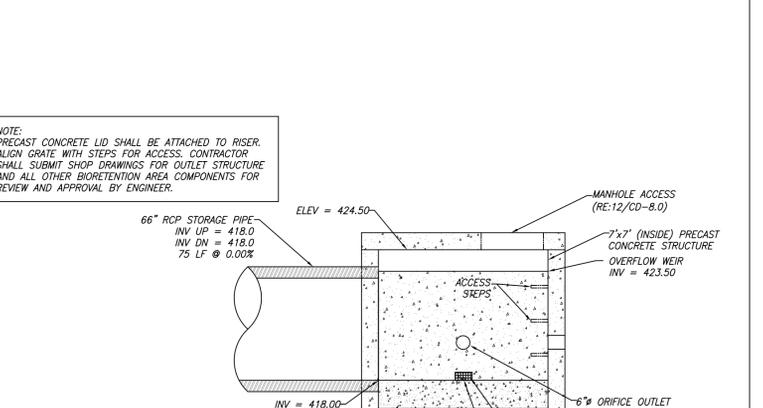
8/CD-3.1
UNDERDRAIN CLEANOUT
SCALE: NTS



6/SD-3.1
OUTLET STRUCTURE - BIORETENTION AREA
SCALE: NTS



7/CD-3.1
OUTLET STRUCTURE - PIPE STORAGE
SCALE: NTS



7/CD-3.1
OUTLET STRUCTURE - PIPE STORAGE
SCALE: NTS

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STATE OF NORTH CAROLINA
Bryan M. Dick
SEAL
035724
10/10/2016
ENGINEER
BRYAN M. DICK

Project
PUREFOY ROAD APARTMENTS
111 PUREFOY ROAD
CHAPEL HILL NC, 27514
ORANGE COUNTY NC

Job Number 1642
Drawn MTC, ED
Checked PBR, AJP
Date 10/10/2016
Revisions

SITE PLANS NOT ISSUED FOR CONSTRUCTION

Sheet Title
STORMWATER DETAILS

Sheet Number
SD-3.1



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LIC # C-1209
NC BOARD OF LANDSCAPE
ARCHITECTS LIC # C-104



Project
**PUREFOY
ROAD
APARTMENTS**
111 PUREFOY ROAD
CHAPEL HILL NC, 27514
ORANGE COUNTY NC

PN: 9788419609
PID: 8801003

Job Number 1642

Drawn MTC, ED
Checked PBR, AJP
Date 10/10/2016
Revisions

**SITE PLANS
NOT ISSUED
FOR CONSTRUCTION**

Sheet Title
**EROSION
CONTROL
PLAN**

Sheet Number
SD-4.0

2/SD-4.0
EROSION CONTROL PLAN NOTES

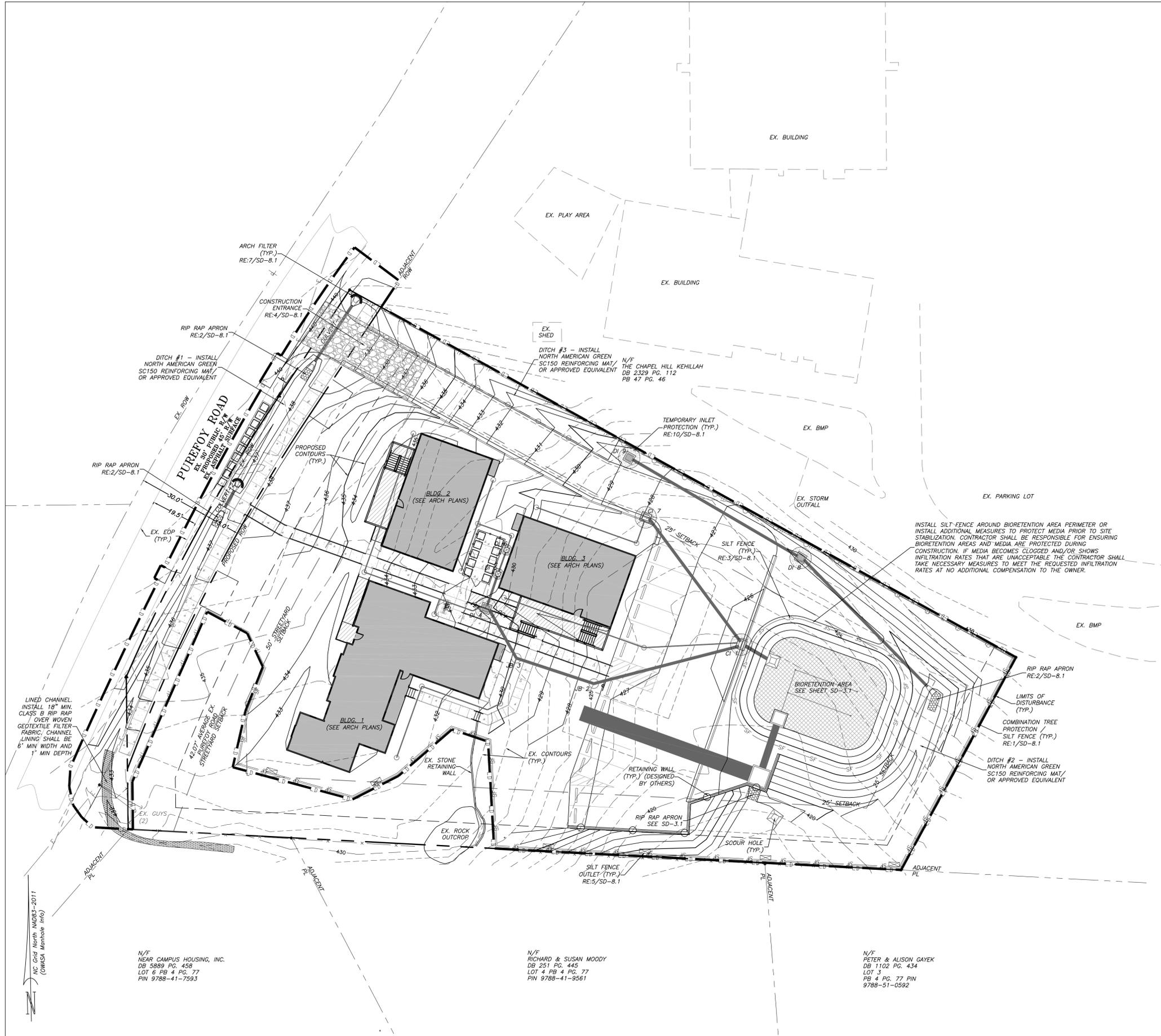
- EROSION CONTROL NOTES:**
1. EROSION CONTROL BOND: IF ONE (1) ACRE OR MORE IS UNCOVERED BY LAND-DISTURBING ACTIVITIES FOR THIS PROJECT, THEN A PERFORMANCE GUARANTEE IN ACCORDANCE WITH SECTION 5-97.1 BONDS OF THE TOWN CODE OF ORDINANCES SHALL BE REQUIRED PRIOR TO FINAL AUTHORIZATION TO BEGIN LAND-DISTURBING ACTIVITIES. THIS FINANCIAL GUARANTEE IS INTENDED TO COVER THE COSTS OF RESTORATION OF FAILED OR FAILING SOIL EROSION AND SEDIMENTATION CONTROLS, AND/OR TO REMEDY DAMAGES RESULTING FROM LAND-DISTURBING ACTIVITIES, SHOULD THE RESPONSIBLE PARTY OR PARTIES FAIL TO PROVIDE PROMPT AND EFFECTIVE REMEDIES ACCEPTABLE TO THE TOWN.
 2. THE APPLICANT SHALL PROVIDE A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PERMIT FROM ORANGE COUNTY EROSION CONTROL DIVISION PRIOR TO RECEIVING A ZONING COMPLIANCE PERMIT. DURING THE CONSTRUCTION PHASE, ADDITIONAL EROSION AND SEDIMENT CONTROLS MAY BE REQUIRED IF THE PROPOSED MEASURES DO NOT CONTAIN THE SEDIMENT, SEDIMENTATION LEAVING THE PROPERTY IS A VIOLATION OF THE TOWN'S EROSION AND SEDIMENT CONTROL ORDINANCE.
 3. THE CONTRACTOR SHALL TAKE THE APPROPRIATE MEASURES TO PREVENT AND REMOVE THE DEPOSIT OF WET OR DRY SILT ON ADJACENT PAVED ROADWAYS.
 4. EROSION CONTROL INSPECTIONS: IN ADDITION TO THE REQUIREMENT DURING CONSTRUCTION FOR INSPECTION AFTER EVERY RAINFALL, THE APPLICANT SHALL INSPECT THE EROSION AND SEDIMENT CONTROL DEVICES WEEKLY, MAKE ANY NECESSARY REPAIRS OR ADJUSTMENTS TO THE DEVICES, AND MAINTAIN INSPECTION LOGS DOCUMENTING THE DAILY INSPECTIONS AND ANY NECESSARY REPAIRS.

3/SD-4.0
CONSTRUCTION SEQUENCE

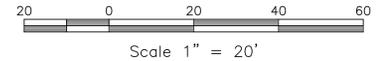
- ENFORCEMENT NOTE 1:** FAILURE TO FOLLOW THIS CONSTRUCTION SEQUENCE MAY RESULT IN LOCAL ENFORCEMENT ACTIONS, INCLUDING BUT NOT LIMITED TO CIVIL PENALTIES, INJUNCTIVE RELIEF, CRIMINAL PENALTIES, AND PERMIT REVOCATION. ADDITIONALLY, OFF-SITE SEDIMENTATION MAY RESULT IN RESTORATION REQUIREMENTS.
- ENFORCEMENT NOTE 2:** IF THE ORANGE COUNTY S&E STAFF DETERMINES THAT EXCESSIVE SEDIMENT IS LEAVING THE SITE, A REVISED SEDIMENTATION AND EROSION CONTROL PLAN MAY BE REQUIRED, WITH ASSOCIATED REQUIREMENTS FOR ADDITIONAL S&E MEASURES.
- NOTE:** IF AN OFFSITE SOIL SPOIL OR BORROW SITE IS UTILIZED, THEN THE DISTURBED AREA FOR THE SPOIL/BORROW SITE MUST BE INCLUDED IN THE LAND-DISTURBANCE PLAN AND PERMIT UNLESS THE SPOIL/BORROW SITE ALREADY HAS A LAND-DISTURBANCE PERMIT.
- CONSTRUCTION SEQUENCE**
1. THE OWNER SHALL POST A CONSTRUCTION SIGN AT THE DEVELOPMENT SITE THAT LISTS THE PROPERTY OWNER'S REPRESENTATIVE AND PHONE NUMBER, THE CONTRACTOR'S REPRESENTATIVE AND PHONE NUMBER, AND A TELEPHONE NUMBER FOR REGULATORY INFORMATION AT THE TIME OF ISSUANCE OF A BUILDING PERMIT. PRIOR TO THE COMMENCEMENT OF ANY LAND DISTURBING ACTIVITIES, THE CONSTRUCTION SIGN MAY HAVE A MAXIMUM OF 32 SF OF DISPLAY AREA AND MAXIMUM HEIGHT OF 8 FEET (5.14.3(h) OF UMC) THE SIGN SHALL BE NON-ILLUMINATED, AND SHALL CONSIST OF LIGHT LETTERS ON A DARK BACKGROUND.
 2. INSTALL COMBINATION TREE PROTECTION/SILT FENCING IN ACCORDANCE WITH THE APPROVED SITE PLAN.
 3. CALL ORANGE COUNTY S&E OFFICE FOR INSPECTION OF TREE FENCE INSTALLATION (919)245-2586.
 4. OBTAIN ALL PERMITS AND APPROVALS NECESSARY TO BEGIN AND COMPLETE THE PROJECT. OBTAIN ALL PERMITS PRIOR TO BEGINNING ANY DISTURBANCE OF THE SITE SO WORK WILL NOT BE INTERRUPTED.
 5. SCHEDULE AND HOLD A PRE-CONSTRUCTION CONFERENCE PRIOR TO BEGINNING ANY LAND-DISTURBING ACTIVITIES. THIS CONFERENCE SHOULD BE ATTENDED BY A REPRESENTATIVE OF THE FINANCIALLY RESPONSIBLE PARTY AND/OR THE GENERAL CONTRACTOR, GRADING SUB-CONTRACTOR, EROSION CONTROL SUB-CONTRACTOR AND THE ORANGE COUNTY S&E OFFICE.
 6. OBTAIN LAND DISTURBING PERMIT AND PLACARD, AND POST THE PLACARD ON SITE.
 7. OBTAIN AN APPROVED (STAMPED) S&E CONTROL PLAN AND KEEP IT ON SITE, EITHER IN THE INSPECTION BOX, CONSTRUCTION OFFICE OR WITH THE CONTRACTOR.
 8. ONLY CLEAR THE AREA NECESSARY TO INSTALL GRAVEL CONSTRUCTION ENTRANCE, SILT FENCES, AND OTHER INITIAL EROSION CONTROL MEASURES.
 9. NOTIFY THE ORANGE COUNTY S&E SITE INSPECTOR AFTER MEASURES HAVE BEEN INSTALLED AND PROJECT HAS STARTED.
 10. BEGIN CLEARING, GRUBBING, AND GRADING OF SITE IN ACCORDANCE WITH APPROVED S&E CONTROL PLAN.
 11. PROVIDE ALL DISTURBED AREAS WITH GROUND COVER AFTER COMPLETION OF ANY PHASE OF CLEARING, GRUBBING OR GRADING. THE SEEDING, SEEDBED PREPARATION, MULCH AND/OR ROLLED EROSION CONTROL PRODUCT INSTALLATION MUST BE IN ACCORDANCE WITH THE SEEDING SCHEDULE PROVIDED IN THIS S&E PLAN.
 12. INSPECT AND MAINTAIN THE SEDIMENT CONTROL DEVICES SO THEY CONTINUE TO FUNCTION PROPERLY. THE PERSON RESPONSIBLE FOR EROSION CONTROL WILL OVERSEE THE INSPECTING AND MAINTENANCE OF THESE DEVICES. MEASURES SHOULD BE INSPECTED WEEKLY AND AFTER A RAINFALL OF MORE THAN 0.5 INCHES. EROSION CONTROL DEVICES SHALL BE REPLACED WHEN DAMAGED OR DO NOT APPEAR TO WORKING PROPERLY.
 13. IF IT IS DETERMINED DURING THE COURSE OF CONSTRUCTION THAT SIGNIFICANT SEDIMENT IS LEAVING THE PROJECT SITE DESPITE PROPER IMPLEMENTATION AND MAINTENANCE OF THE EROSION CONTROL PLAN, THE PERSON RESPONSIBLE FOR THE LAND DISTURBING ACTIVITY IS OBLIGATED TO TAKE ADDITIONAL PROTECTIVE ACTION.
 14. KEEP MUD AND DEBRIS OFF THE PUBLIC STREET AT ALL TIMES. IF MUD OR DEBRIS IS TRACKED FROM THE SITE, USE A SHOVEL AND BROOM TO REMOVE IT IMMEDIATELY. IF MUD AND DEBRIS ARE NOT KEPT OFF THE STREET, ENFORCEMENT ACTION (REVOKING THE GRADING PERMIT AND/OR A STOP WORK ORDER) MAY BE TAKEN.
 15. SEEDING AND RESTABILIZATION OF DISTURBED AREAS MUST BE ACCOMPLISHED PER THE PLANS AND SPECIFICATIONS WITHIN THE TIMEFRAMES GIVEN IN THE STABILIZATION TIME TABLE PROVIDED IN THE SEEDING SCHEDULE (6/CD-8.1). CONTRACTOR IS RESPONSIBLE FOR TEMPORARY SEEDING THAT IS REQUIRED DURING THE PROJECT AT NO ADDITIONAL COST TO THE OWNER.
 16. AT THE CONCLUSION OF BUILDING OR IF LAND-DISTURBING ACTIVITY IS STOPPED, TEMPORARY OR PERMANENT VEGETATION COVER SHALL BE INSTALLED.
 17. WHEN CONSTRUCTION IS COMPLETE AND STABILIZED, CONTACT EROSION CONTROL PERSONNEL FOR AN INSPECTION.
 18. WHEN CONSTRUCTION IS COMPLETE AND ALL DISTURBED AREAS HAVE BEEN PERMANENTLY RESTABILIZED AND APPROVAL HAS BEEN GRANTED BY EROSION CONTROL PERSONNEL, REMOVE ALL TEMPORARY SEDIMENT CONTROL DEVICES. REMOVE AND PROPERLY DISPOSE OF ACCUMULATED SEDIMENT AND DEBRIS FROM THE DEVICES AND RESTABILIZE AREAS DISTURBED BY THEIR REMOVAL.

4/SD-4.0
AREA OF DISTURBANCE NOTES

TOTAL DISTURBED AREA = 53,281 SF / 1.22 AC
ON-SITE DISTURBED AREA = 45,004 SF / 1.03 AC



1/SD-4.0
EROSION CONTROL PLAN
SCALE: 1" = 20'

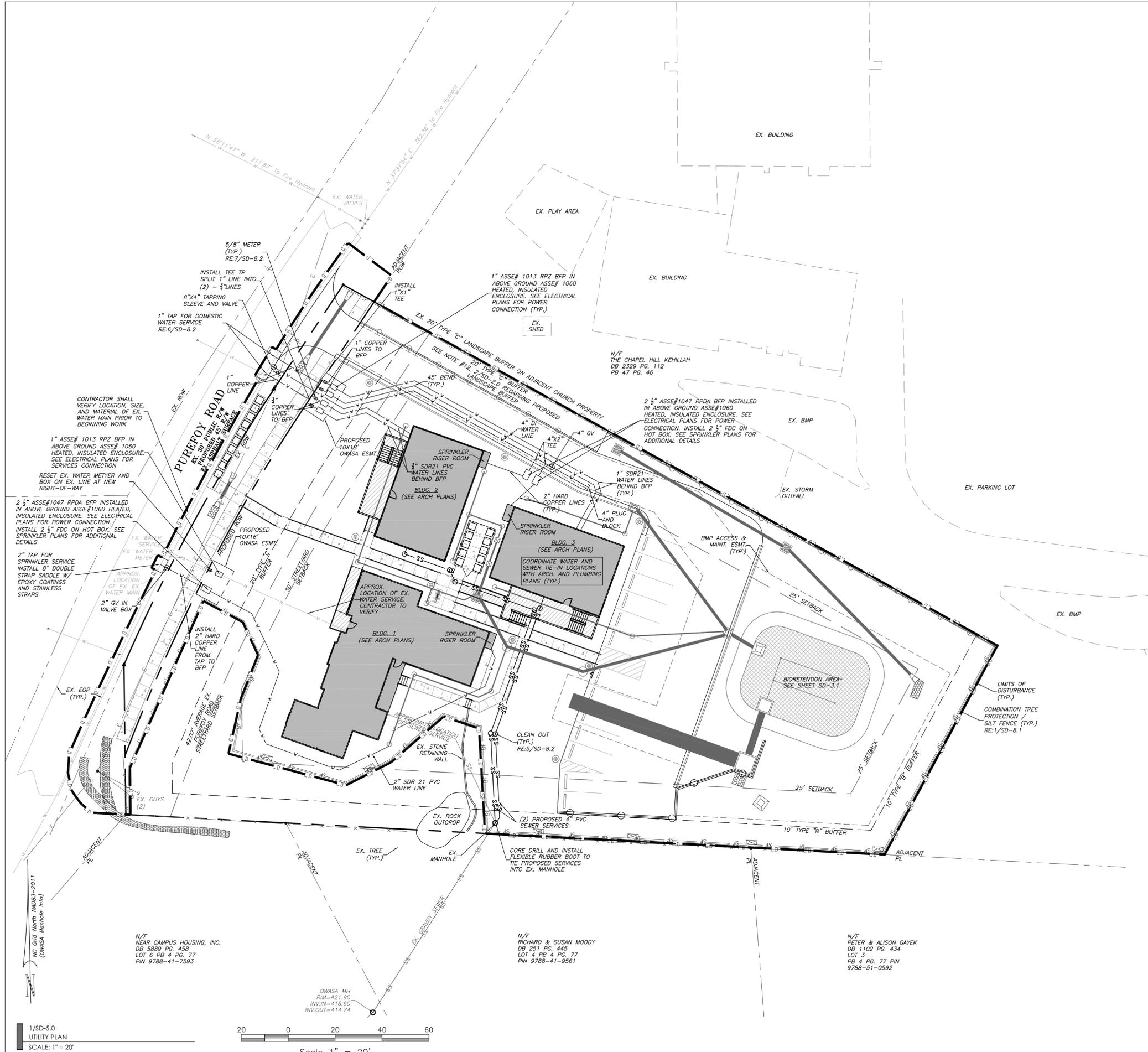


N/F
NEAR CAMPUS HOUSING, INC.
DB 5889 PG. 458
LOT 6 PB 4 PG. 77
PIN 9788-41-7593

N/F
RICHARD & SUSAN MOODY
DB 251 PG. 445
LOT 4 PB 4 PG. 77
PIN 9788-41-9561

N/F
PETER & ALISON GAYEK
DB 1102 PG. 434
LOT 3
PB 4 PG. 77 PIN
9788-51-0592

NC Grid North MDB3-2011
(OMSA, Marhale Info)



2/SD-5.0
UTILITY PLAN NOTES

GENERAL NOTES:

- CONTRACTOR SHALL NOTIFY "NORTH CAROLINA ONE CALL" (1-800-632-4949) AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR TO CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICE INDEPENDENT OF "NORTH CAROLINA ONE CALL".
- ALL WATER AND SEWER MAINS WITHIN PUBLIC EASEMENTS AND RIGHT-OF-WAYS TO BE OWNED, OPERATED AND MAINTAINED BY THE TOWN OF CHAPEL HILL AND/OR OWASA.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE TOWN OF CHAPEL HILL AND OWASA STANDARDS AND SPECIFICATIONS.
- ALL EXISTING UNDERGROUND UTILITIES ARE APPROXIMATELY LOCATED. ACTUAL LOCATION AND DEPTH SHALL BE CONFIRMED IN THE FIELD PRIOR TO CONSTRUCTION.
- BEFORE STARTING ANY CONSTRUCTION OF IMPROVEMENTS WITHIN ANY TOWN OR N.C.D.O.T. STREET OR HIGHWAY RIGHT-OF-WAY THE FOLLOWING PROCEDURES SHOULD BE UNDERTAKEN; TOWN RIGHT-OF-WAY: CONTACT LOCAL AUTHORITIES' TRAFFIC ENGINEERING DEPT. FOR INFORMATION ON DETOURS, OPEN CUTTING OF STREETS OR FOR ANY CONSTRUCTION WITHIN RIGHT-OF-WAY. N.C.D.O.T. RIGHT-OF-WAY: CONTACT PROJECT ENGINEERS AND OBTAIN ALL PERMITS AND ENCROACHMENTS (KEEP COPIES ON CONSTRUCTION SITE, ALSO CONTACT N.C.D.O.T. DISTRICT OFFICE 24 HOURS IN ADVANCE BEFORE PLACING CURB AND GUTTER).
- ALL DIMENSIONS AND GRADES SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE OWNER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN OR GRADING CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR ANY WORK DONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
- POWER, TELEPHONE, AND GAS SERVICES TO BUILDINGS SHALL BE UNDERGROUND. ACCESS AND SERVICE ROUTES TO BE COORDINATED WITH THE PUBLIC UTILITIES, CONTRACTOR AND THE OWNER.
- RESURFACING OF STREET DUE TO UTILITY CUTS SHALL BE REQUIRED AT THE DIRECTION OF ENGINEERING. (MINIMUM 50' TO EITHER SIDE OF UTILITY CUTS).

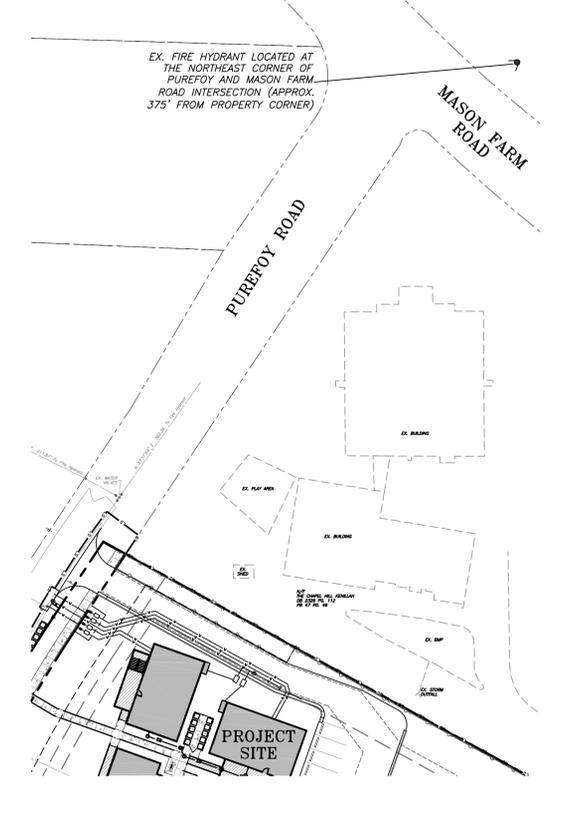
SANITARY SEWER:

- BACKFLOW PREVENTERS SHALL BE PROVIDED FOR ALL UNITS WITH FINAL FLOOR ELEVATIONS OF BUILDINGS LESS THAN 1'-0" ABOVE UPSTREAM MANHOLE.
- MINIMUM COVER OF 5 FEET IN TRAFFIC AREAS TO BE PROVIDED FOR ALL COLLECTOR LINES 4 INCHES AND LARGER. IF LESS THAN 5 FEET, DUCTILE IRON PIPE SHALL BE REQUIRED.
- MINIMUM SLOPE FOR 4 INCH SANITARY SEWER COLLECTION LINES SHALL BE NO LESS THAN 2.0% WITH CLEANOUTS EVERY 75 LINEAL FEET.
- MINIMUM SLOPE FOR 6 INCH SANITARY SEWER COLLECTION LINES SHALL BE NO LESS THAN 1.0% WITH CLEANOUTS EVERY 75 LINEAL FEET.

WATER:

- WATERLINES WILL BE 3' OFF CURB AND GUTTER UNLESS SHOWN OTHERWISE.
- LAY WATER MAINS AT LEAST 10 FEET LATERALLY FROM EXISTING OR PROPOSED SANITARY SEWERS. IF LOCAL CONDITIONS OR BARRIERS PREVENT A 10 FOOT SEPARATION, LAY THE WATER MAIN WITH AT LEAST 18" VERTICAL SEPARATION ABOVE THE TOP OF THE SANITARY SEWER PIPE EITHER IN A SEPARATE TRENCH OR IN THE SAME TRENCH ON A BENCH OF UNDISTURBED EARTH.
- WHEN A PROPOSED WATER MAIN CROSSES OVER A PROPOSED OR EXISTING SANITARY SEWER, LAY THE WATER MAIN WITH AT LEAST 18" VERTICAL SEPARATION ABOVE THE TOP OF THE SANITARY SEWER. IF LOCAL CONDITIONS PREVENT AN 18" VERTICAL SEPARATION, CONSTRUCT BOTH THE WATER MAIN AND THE SANITARY SEWER FOR A DISTANCE OF 10 FEET ON EACH SIDE TO THE POINT OF CROSSING WITH FERROUS PIPE HAVING WATER MAIN QUALITY JOINTS.
- WHEN A PROPOSED WATER MAIN CROSSES UNDER A PROPOSED OR EXISTING SANITARY SEWER, CONSTRUCT BOTH THE WATER MAIN AND THE SANITARY SEWER OF FERROUS MATERIALS WITH JOINTS THAT ARE EQUIVALENT TO WATER MAIN STANDARDS FOR A DISTANCE OF 10 FEET ON EACH SIDE OF THE POINT OF CROSSING. CENTER THE SECTION OF WATER PIPE AT THE POINT OF CROSSING.
- MAINTAIN A MINIMUM COVER OF 42" BELOW FINISHED GRADE OVER ALL PIPES UNLESS OTHERWISE DIRECTED OR SHOWN ON THE PLANS. DUE TO THE HEIGHTS OF VALVES, INCREASE THE COVER DEPTHS ADJACENT TO THE VALVES OR VARYED AT POINTS OF TIE-IN TO EXISTING LINES.
- ALL FDC(S) AND HYDRANT(S) TO BE PROVIDED WITH 5 INCH DIAMETER STORZ CONNECTIONS.
- CONTRACTOR SHALL SUPPLY ALL FITTINGS NECESSARY TO CONNECT WATER FEATURES TO EXISTING AND PROPOSED LINES IN ACCORDANCE WITH OWASA STANDARDS AND SPECIFICATIONS.

3/SD-5.0
FIRE HYDRANT LOCATION
SCALE: 1" = 50'



ENGINEERING - LAND SURVEYING - LANDSCAPE ARCHITECTURE

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LIC# G-1209
NC BOARD OF LANDSCAPE ARCHITECTS LIC# G-104

Project
PUREFOY ROAD APARTMENTS

111 PUREFOY ROAD
CHAPEL HILL NC, 27514
ORANGE COUNTY NC

PIN: 9788419609
PID: 8801003

Job Number 1642

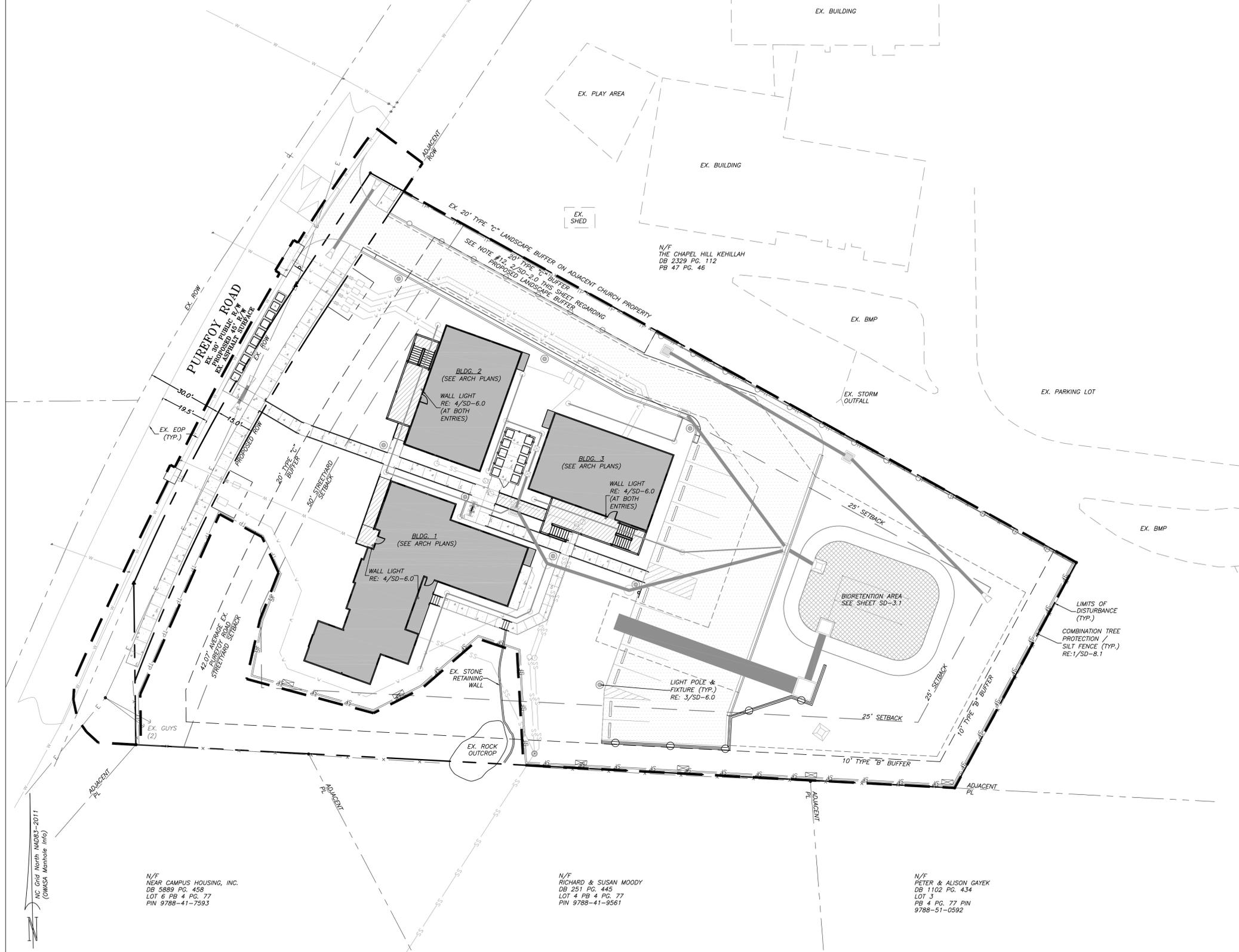
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Checked PBR, AJP
Date 10/10/2016
Revisions

SITE PLANS NOT ISSUED FOR CONSTRUCTION

Sheet Title
UTILITY PLAN

Sheet Number
SD-5.0

1. MEASURES SHALL BE PROVIDED TO PREVENT LIGHT SPILLOVER ONTO ADJACENT PROPERTIES AND GLARE TOWARD MOTOR VEHICLE OPERATORS. EXTERIOR LIGHTS SHALL BE SHIELDED SO THEY DO NOT CAST DIRECT LIGHT BEYOND THE PROPERTY LINE.
2. CONTRACTOR TO PROVIDE 2" SCH 40 PVC GRAY ELECTRICAL CONDUIT UNDER PAVEMENT, UNDER HEAVILY LANDSCAPED AREAS AND AS NECESSARY TO PROVIDE ACCESS TO ALL LIGHT FIXTURES AND CONNECT BACK TO ELECTRICAL TIE IN LOCATIONS.
3. CONTRACTOR TO COORDINATE LIGHT POLE AND CONDUIT LOCATIONS PRIOR TO PAVING.
4. ALL ELECTRICAL CONDUIT, LIGHT POLES AND FIXTURES SHALL BE FURNISHED BY THE CONTRACTOR.
5. ALL CONDUIT ENDS ARE TO BE CAPPED TO PREVENT ENTRY OF DEBRIS.
6. ALL CONDUITS MORE THAN 30' IN LENGTH SHALL HAVE A POLY STRING INSTALLED.
7. ALL JOINTS ARE TO BE SOLVENT WELDED.

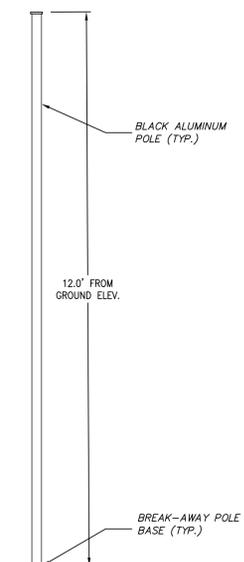


Outdoor Lighting
Traditional LED

70	4K	AS	G3	B	S
Illuminate pathways and residential communities with the energy-efficient Traditional LED. This Colonial lantern-style fixture will add style and charm to any neighborhood or park.					
LED (Light Emitting Diode)		50 watts			
Mounting height		12			
Colors		Black Green			
Poles		Style A, B, C, D, E, F			

Subject to verification from manufacturers. Contact us for specific model details.

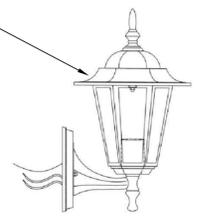
- LIGHT FIXTURE NOTES:**
1. TRADITIONAL LED LIGHT FIXTURE SHALL BE MOUNTED ON A 12' TALL POLL.
 2. CONTRACTOR SHALL USE DUKE ENERGY POLE "STYLE A".
 3. LIGHT POLE AND FIXTURE SHALL BE BLACK.
 4. CONTRACTOR SHALL COORDINATE LIGHT INSTALLATION W/ DUKE ENERGY.



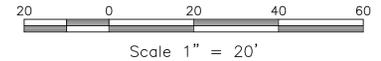
- LIGHT POLE NOTES:**
1. LIGHT POLE SHALL BE DUKE ENERGY "POLE STYLE A" ALUMINUM POLE.
 2. LIGHT POLE SHALL BE BLACK.
 3. CONTRACTOR SHALL COORDINATED LIGHT POLE INSTALLATION WITH DUKE ENERGY.

**3/SD-6.0
LIGHT POLE & FIXTURE DETAIL**

PORTFOLIO OUTDOOR WALL LANTERN
MODEL# FS130125-B
OR OWNER APPROVED ALTERNATE
BLACK DIE-CAST ALUMINUM
FIXTURE
60 WATT MEDIUM BASE
INCANDESCENT
HARD WIRED PER MANUFACTURER
RECOMMENDATIONS



**4/SD-6.0
WALL MOUNTED LIGHT**



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ARCHITECTS LIC # C-104



Project
**PUREFOY
ROAD
APARTMENTS**

111 PUREFOY ROAD
CHAPEL HILL NC, 27514
ORANGE COUNTY NC

PIN: 9788419609
PID: 8801003

Job Number 1642

Drawn MTC, ED
Checked PBR, AJP
Date 10/10/2016
Revisions

**SITE PLANS
NOT ISSUED
FOR CONSTRUCTION**

Sheet Title
**SITE
LIGHTING
PLAN**

Sheet Number
SD-6.0

Tree Table :

1	10" Magnolia	26	24" Pine
2	18" Oak	27	18" Hickory
3	20" Pine	28	16" Oak
4	22" Pine	29	20" Pine
5	22" Pine	30	16" Pine
6	26" Pine	31	30" Twin Pine
7	36" Oak	32	18" Pine
8	30" Oak	33	36" Twin Pine
9	30" Oak	34	24" Pine
10	38" Oak	35	24" Twin Oak
11	16" Cedar	36	24" Pine
12	22" Cedar	37	30" Pine
13	18" Hickory	38	18" Poplar
14	18" Hickory	39	12" Hickory
15	30" Pine	40	36" Pine
16	18" Pine	41	18" Maple
17	32" Hickory	42	12" Pine
18	16" Maple	43	14" Pine
19	24" Triple Hickory	44	10" Pine
20	36" Pine	45	10" Hickory
21	36" Pine	46	14" Pine
22	48" Mimosa	47	12" Pine
23	18" Pine	48	12" Pine
24	30" Pine	49	8" Twin Cherry
25	22" Pine	50	16" Pine

1/SD-7.0
PLANT SCHEDULE

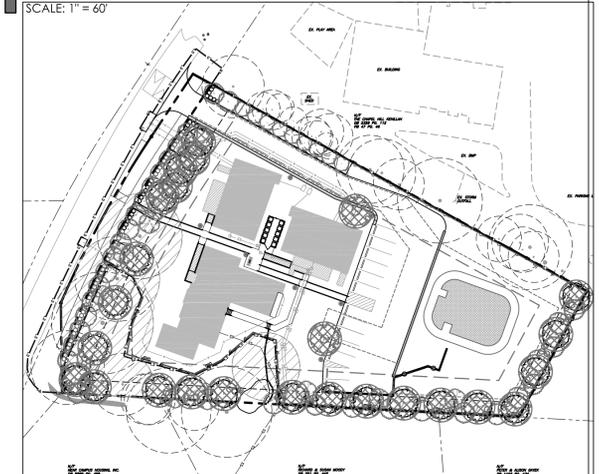
KEY	QTY.	BOTANICAL NAME	COMMON NAME	Cal*	HT*	ROOT	REMARKS
DECIDUIUS / EVERGREEN CANOPY TREES							
MG	5	Magnolia grandiflora 'Bracken's Brown Beauty'	Bracken's Brown Beauty Magnolia		10-12'	B&B	Full, Match, Straight leader
QP	11	Quercus phellos	Willow Oak	2.5"	12-14'	B&B	Full, Match, Straight leader
QS	7	Quercus shumardii	Shumard Oak	2.5"	12-14'	B&B	Full, Match, Straight leader
ZS	2	Zelkova serrata 'Green Vase'	Green Vase Zelkova	2.5"	12-14'	B&B	Full, Match, Straight leader
DECIDUIUS UNDERSTORY TREES							
CC	18	Cercis canadensis 'Forest Pansy'	Forest Pansy Red Bud	1.5"	8-10'	B&B	Full, Match, Straight leader
CF	16	Cornus florida	Flowering Dogwood	1.5"	8-10'	B&B	Full, Match, Straight leader
MS	9	Magnolia stellata	Star Magnolia		6-8'	B&B	Full, Match, Multi leader
EVERGREEN UNDERSTORY TREES							
TO	9	Thuja standish x plicata 'Green Giant'	Green Giant Arborvitae		8-10'	B&B	Full, Match, Straight leader
DECIDUIUS / EVERGREEN SHRUBS							
AE	28	Abelia 'Edward Goucher'	Edward Goucher Abellia	-	18"	3 GAL	Full, Match
FI	18	Forsythia x intermedia	Goldenbell	-	18"	3 GAL	Full, Match
IG	26	Ilex glabra	Inkberry Holly	-	18"	3 GAL	Full, Match
LF	52	Leucothoe fontanesiana 'Gerard's Rainbow'	Dog Hobble	-	18"	3 GAL	Full, Match
RD	14	Rhododendron 'Delaware Valley White'	White Azalea	-	18"	3 GAL	Full, Match

*CA. AND HT. REFERS TO SIZE OF PLANT MATERIAL AT TIME OF INSTALLATION. ALL PLANT MATERIAL SPECIFIED MUST MEET OR EXCEED THE PLANT CAL. AND HT. AT TIME OF INSTALLATION.

2/SD-7.0
LANDSCAPE PLAN NOTES

- LANDSCAPING MUST BE IN PLACE PRIOR TO REQUEST FOR A CERTIFICATE OF OCCUPANCY OR CERTIFICATE OF COMPLIANCE.
- CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS, DEPTHS, QUANTITIES, DISTANCES, ANGLES AND SLOPES PRIOR TO ORDERING MATERIALS OR INSTALLING PROJECT.
- IN AREAS OF GROUND COVER, MAINTAIN A 12" MINIMUM DISTANCE BETWEEN PLANTS AND HARD IMPROVEMENTS.
- BED LINES SHALL CONFORM TO CONFIGURATION SHOWN ON THE PLANS. BED LINES SHALL MEET CURBS, WALKS, BUILDINGS, ETC. AT RIGHT ANGLES UNLESS SHOWN OTHERWISE.
- CONTRACTOR SHALL VISIT THE SITE AND FAMILIARIZE THEMSELVES WITH ACTUAL CONDITIONS AND VERIFY EXISTING CONDITIONS IN THE FIELD. CONTRACTOR SHALL REPORT ALL DISCREPANCIES TO LANDSCAPE ARCHITECT.
- CONTRACTOR SHALL ACCEPT ACTUAL CONDITIONS AT SITE AND PERFORM THE WORK SPECIFIED INCLUDING FINE GRADING AND INCORPORATION OF TOP SOIL INTO PLANTING AREAS, WITHOUT ADDITIONAL COMPENSATION FOR POSSIBLE VARIATION FROM GRADES AND CONDITIONS SHOWN, WHETHER SURFACE OR SUBSURFACE, EXCEPT AS PROVIDED FOR IN CONTRACT DOCUMENTS.
- IN LAWN AREAS, 2" TOPSOIL SHALL BE TILLED INTO THE TOP 5" OF GROUND PRIOR TO SEEDING.
- CONTRACTOR WILL OBTAIN WRITTEN APPROVAL FROM LANDSCAPE ARCHITECT FOR ANY PLANT SUBSTITUTIONS OF SPECIES, SIZE, OR TYPE OF CONTAINER.
- CONTRACTOR SHALL LOCATE ALL UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION AND SHALL BE RESPONSIBLE FOR THE PROTECTION OF THESE UTILITIES DURING INSTALLATION, AND SHALL PROMPTLY REPAIR AND RESTORE SERVICES AT NO ADDITIONAL COST TO THE OWNER IF DAMAGE OCCURS DURING INSTALLATION. CONTRACTOR SHALL BECOME THOROUGHLY FAMILIAR WITH THE FULL SET OF CONSTRUCTION DRAWINGS AND SPECIFICATIONS FOR COORDINATION WITH UTILITIES, ARCHITECTURAL FEATURES, ETC.
- CONTRACTOR WILL LEAVE DISTURBED AREAS LEVEL AND RAKED SMOOTH, REMOVING ALL ROCKS AND DEBRIS.
- MULCH TREE RINGS TO BE 3" LAYER OF TRIPLE SHREDDED HARDWOOD MULCH. MULCH IS TO BE KEPT AWAY FROM TREE TRUNKS. PINE STRAW MULCH TO EXTENTS OF ALL LANDSCAPE BUFFERS.
- ANY DAMAGE TO EXISTING CONDITIONS OUTSIDE THE CONTRACT LIMITS, INCLUDING CURBS, SIDEWALKS, TURF AREAS AND PAVING, SHALL BE RESTORED TO ORIGINAL CONDITION BY THE CONTRACTOR WITHOUT EXTRA COST TO THE OWNER.
- IN CASE OF DISCREPANCY BETWEEN THE QUANTITY OF PLANTS ON THE PLANS COMPARED TO THE PLANT LIST, THE CONTRACTOR SHALL SUPPLY QUANTITIES AS SHOWN ON THE PLANS.
- ALL UNPAVED SURFACES ARE TO BE COVERED IN PLANTS, MULCH, OR GRASS.

3/SD-7.0
PROPOSED TREE CANOPY COVERAGE
SCALE: 1" = 60'



USE CLASSIFICATION - MULTI-FAMILY
NET LOT AREA = 56,805 SF

CREDITS:
WATER EASEMENT: -240 SF
STORMWATER EASEMENT: -13,561 SF
TOTAL CREDITS: -13,801 SF

ADJUSTED NET LOT AREA = 43,004 SF

MINIMUM TREE CANOPY COVERAGE (MULTI-FAMILY USE) = 40%
43,004 SF x 0.4 = 17,220 SF REQUIRED

EXISTING TREE CANOPY PROTECTED = 10,318 SF
AREA TO BE REPLANTED IN TREES = 9,907 SF

1 = 2.5" CALIPER CANOPY TREE / 500 SF
9,907 / 500 = 19.814 REPLACEMENT CANOPY TREES REQUIRED
25 REPLACEMENT CANOPY TREES PROVIDED

4/SD-7.0
PARKING AREA PLANTING REQUIREMENTS

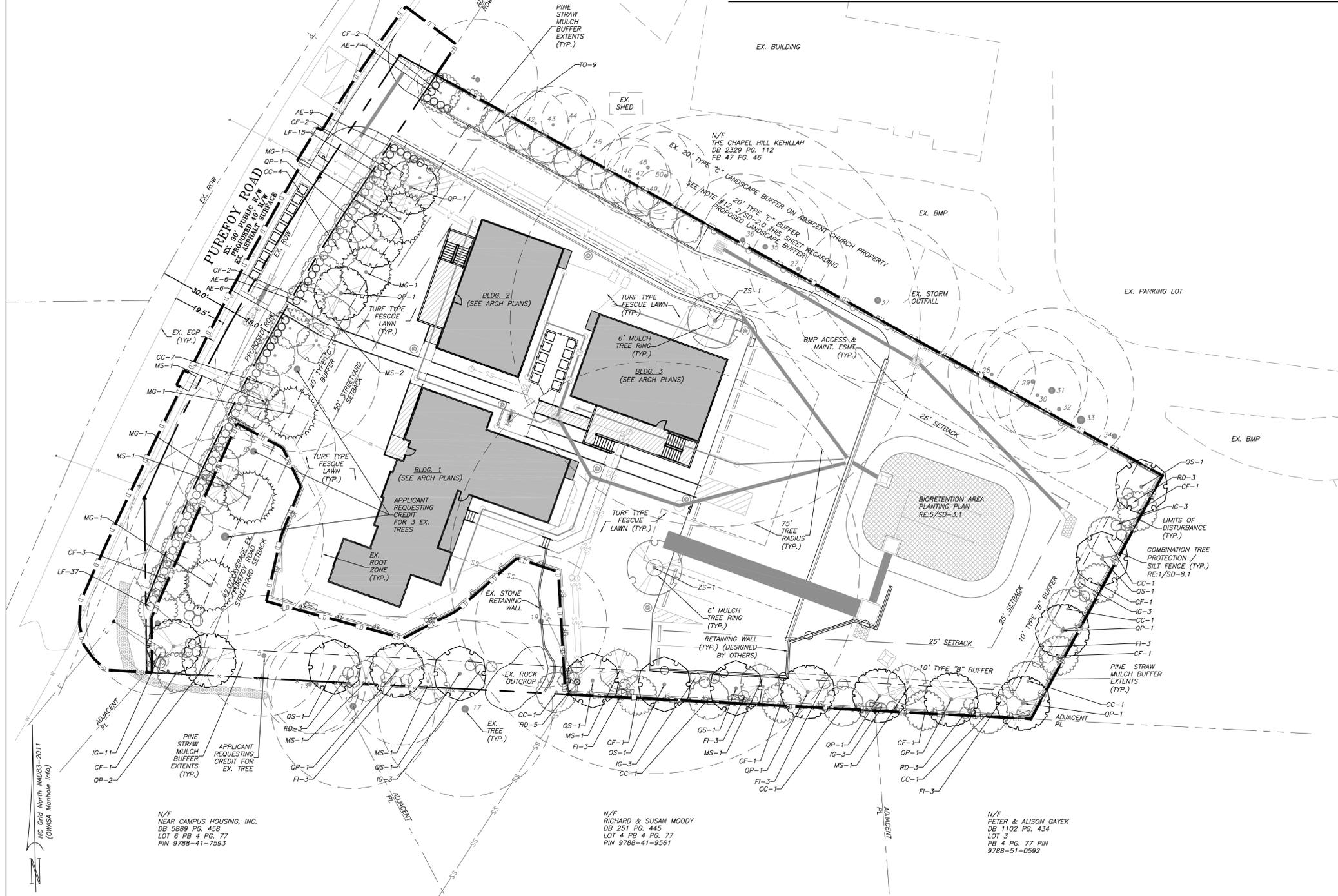
LESS THAN 20 PARKING SPACES ARE PROPOSED THUS INTERIOR ISLANDS ARE NOT REQUIRED.
NO PARKING SPACE SHALL BE FURTHER THAN SEVENTY-FIVE FEET FROM THE TRUNK OF A CANOPY TREE.
3 CANOPY TREES PROVIDED FOR PARKING LOT COVERAGE.

5/SD-7.0
LANDSCAPE BUFFER CALCULATIONS

PUREFOY RD. = 20' TYPE "C" (EXTERIOR) LANDSCAPE BUFFER REQUIREMENTS = 250 LF:
(5 LARGE TREES PER 100 LF) 250 x 0.05 = 13 LARGE TREES REQUIRED (10 PROVIDED, 3 EXISTING)
(10 SMALL TREES PER 100 LF) 250 x 0.1 = 25 SMALL TREES REQUIRED (10 PROVIDED)
(36 SHRUBS PER 100 LF) 250 x 0.36 = 90 SHRUBS REQUIRED (90 PROVIDED)

SOUTHERN = 10' TYPE "B" (INTERIOR) LANDSCAPE BUFFER REQUIREMENTS = 324 LF:
(4 LARGE TREE PER 100 LF) 324 x 0.04 = 13 LARGE TREES REQUIRED (12 PROVIDED, 1 EXISTING)
(7 SMALL TREES PER 100 LF) 324 x 0.07 = 23 SMALL TREES REQUIRED (23 PROVIDED)
(12 SHRUBS PER 100 LF) 324 x 0.12 = 39 SHRUBS REQUIRED (39 PROVIDED)

EASTERN = 10' TYPE "B" (INTERIOR) LANDSCAPE BUFFER = 101 LF:
(4 LARGE TREES PER 100 LF) 101 x 0.04 = 4 LARGE TREES REQUIRED (4 PROVIDED)
(7 SMALL TREES PER 100 LF) 101 x 0.07 = 7 LARGE TREES REQUIRED (7 PROVIDED)
(12 SMALL TREES PER 100 LF) 101 x 0.12 = 12 SHRUBS REQUIRED (12 PROVIDED)



1/SD-7.0
LANDSCAPE PLAN
SCALE: 1" = 20'



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Project
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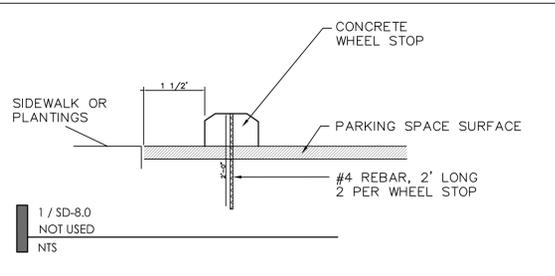
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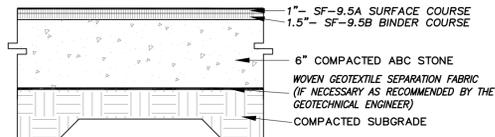
SITE PLANS
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FOR CONSTRUCTION

Sheet Title
**LANDSCAPE
PLAN**

Sheet Number
SD-7.0

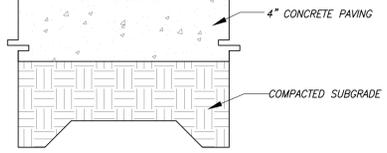


1 / SD-8.0
NOT USED
NTS



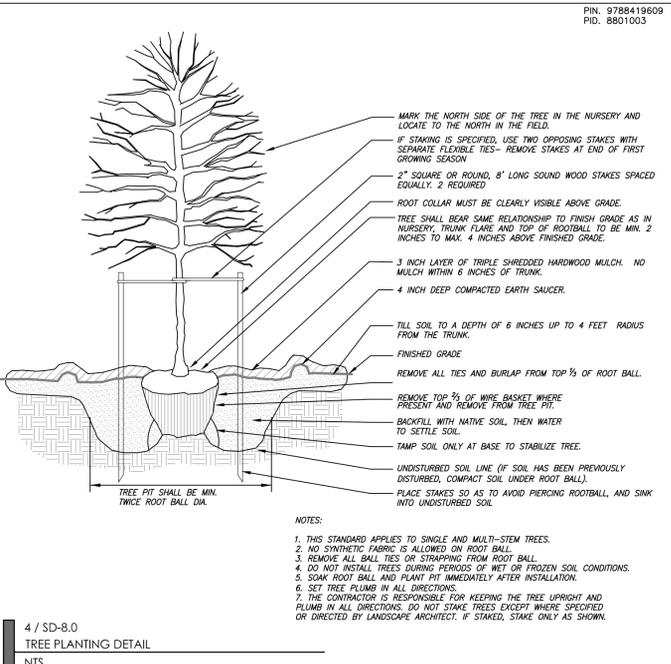
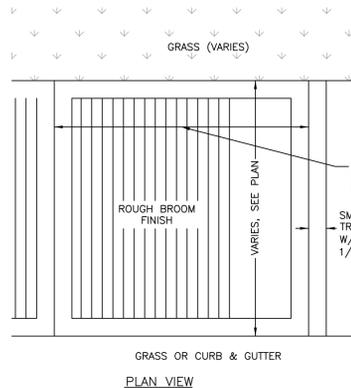
2 / SD-8.0
ASPHALT PAVING
NTS

WHERE THE ASPHALT PAVEMENT SECTION ADJAINS THE GRAVEL DRIVEWAY SECTION THE ASPHALT SHALL BE TAPERED DOWN AS TO PROVIDE A SMOOTH TRANSITION BETWEEN THE TWO SURFACES.



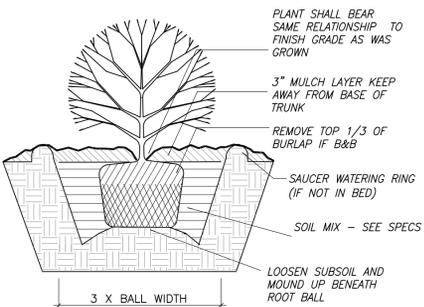
3/SD-8.0
CONCRETE SIDEWALK/PAD/PATIO
NTS

NOTES:
1. ALL CONCRETE 4000 PSI.
2. ALL SIDEWALKS SHALL BE CONSTRUCTED WITH TOOLED 1/4" EDGE RADIUS.
3. BROOM FINISH
4. SIDEWALK CROSS SLOPES ARE TO BE A MAXIMUM 1.8%

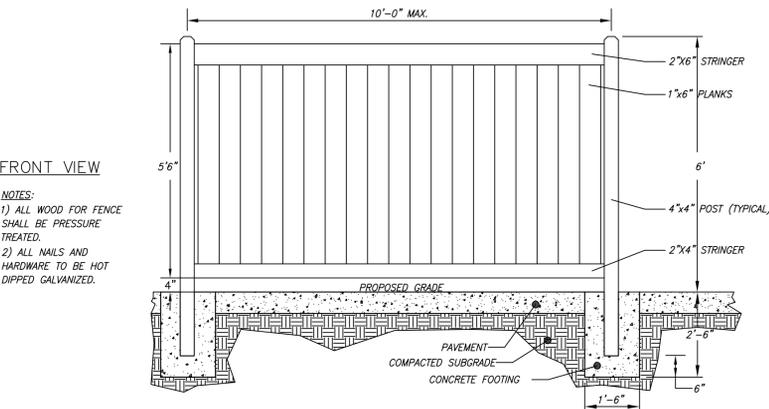


4 / SD-8.0
TREE PLANTING DETAIL
NTS

NOTES:
1. THIS STANDARD APPLIES TO SINGLE AND MULTI-STEM TREES.
2. NO SYNTHETIC FABRIC IS ALLOWED ON ROOT BALL.
3. REMOVE ALL BALL TIES OR STRAPPING FROM ROOT BALL.
4. DO NOT INSTALL TREES DURING PERIODS OF WET OR FROZEN SOIL CONDITIONS.
5. SOAK ROOT BALL AND PLANT PIT IMMEDIATELY AFTER INSTALLATION.
6. SET TREE PLUMB IN ALL DIRECTIONS.
7. THE CONTRACTOR IS RESPONSIBLE FOR KEEPING THE TREE UPRIGHT AND PLUMB IN ALL DIRECTIONS. DO NOT STAKE TREES EXCEPT WHERE SPECIFIED OR DIRECTED BY LANDSCAPE ARCHITECT. IF STAKED, STAKE ONLY AS SHOWN.



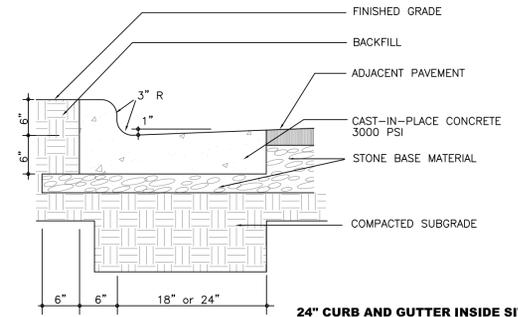
5 / SD-8.0
SHRUB PLANTING DETAIL
NTS



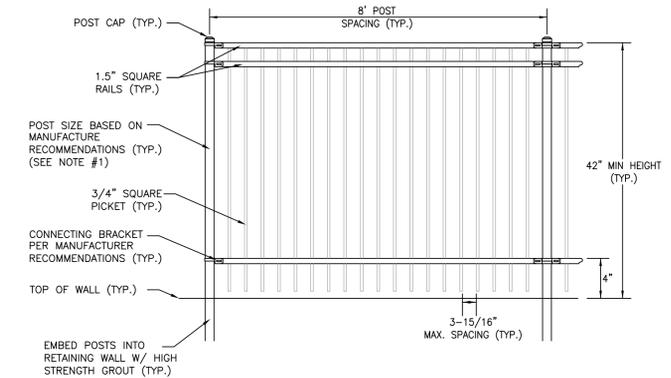
6 / SD-8.0
6' TALL WOODEN PRIVACY FENCE
NTS

NOTES:
1) ALL WOOD FOR FENCE SHALL BE PRESSURE TREATED.
2) ALL NAILS AND HARDWARE TO BE HOT DIPPED GALVANIZED.

-CONTRACTION JOINTS SHALL BE SPACED AT 10 FOOT INTERVALS. EXCEPT THAT A 15 FOOT SPACING MAY BE USED WHEN A MACHINE IS USED OR WHEN SATISFACTORY SUPPORT FOR THE FACE FORM CAN BE OBTAINED WITHOUT THE USE OF TEMPLATES AT 10 FOOT INTERVALS. JOINT SPACING MAY BE ALTERED BY THE ENGINEER TO PREVENT UNCONTROLLED CRACKING.
-CONTRACTION JOINTS MAY BE INSTALLED BY THE USE OF TEMPLATES OR FORMED BY OTHER APPROVED METHODS. WHERE SUCH JOINTS ARE NOT FORMED BY TEMPLATES, A MINIMUM DEPTH OF 1 1/2" SHALL BE MAINTAINED.
-ALL CONTRACTION JOINTS SHALL BE FILLED WITH JOINT FILLER.
-JOINTS SHALL MATCH LOCATIONS WITH JOINT IN ADJUTING SIDEWALK.
-EXPANSION JOINTS SHALL BE SPACED AT 90 FOOT INTERVALS AND ADJACENT TO ALL RIGID OBJECTS.

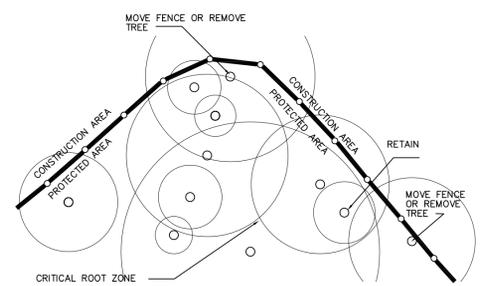


7 / SD-8.0
24" CONCRETE CURB AND GUTTER
NTS



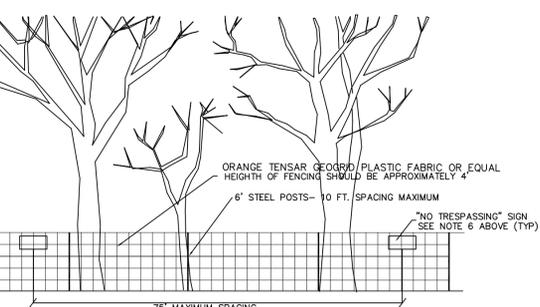
8 / SD-8.0
42" TALL ALUMINUM PICKET FENCE
NTS

NOTES:
1. POST SIZE DEPENDS ON FENCE HEIGHT AND WIND LOADS SEE MANUFACTURE RECOMMENDATIONS.
2. ALL FENCE MATERIALS SHALL BE POWDER COATED BLACK.
3. CONTRACTOR SHALL SUBMIT FENCE CUT SHEETS FOR APPROVAL PRIOR TO ORDERING MATERIALS AND CONSTRUCTION.

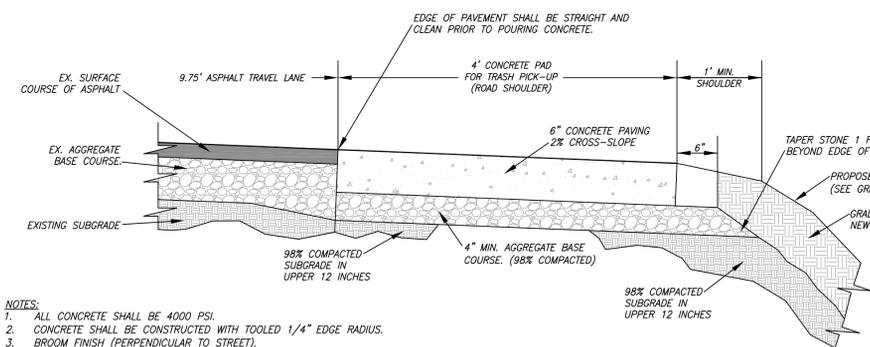


9 / SD-8.0
TREE PROTECTION FENCE
NTS

NOTES:
1. MOVE FENCE OR REMOVE TREE IF MORE THAN 20% OF A TREE'S CRITICAL ROOT AREA IS UNPROTECTED.
2. ROOT PRUNE TREES TO REMAIN WHERE CONSTRUCTIONACTIVITIES WILL SEVER ROOTS.
3. ANY TREE ROOTS EXPOSED BY CONSTRUCTION SHALL BE SEVERED CLEANLY WITH A PRUNING TOOL.
4. DO NOT DISPOSE OF ANY CHEMICALS OR REMOVE SOIL OUTSIDE THE LIMITS OF WORK.
5. WHEN INSTALLING NEW LANDSCAPE PLANTS, DO NOT DRIVE EQUIPMENT UPON OR DISTURB THE SOIL WITHIN THE CRITICAL ROOT ZONE OF EXISTING TREES.
6. SIGNAGE MUST BE PLACED ON TREE PROTECTION FENCING WITH A MINIMUM MINIMUM SPACING OF 75' O.C., TO READ "TREE PROTECTION AREA - NO TRESPASSING WITHIN THE FENCE".



10/SD-8.0
4'X40' CONCRETE PAD FOR TRASH PICK-UP
SCALE: NTS



NOTES:
1. ALL CONCRETE SHALL BE 4000 PSI.
2. CONCRETE SHALL BE CONSTRUCTED WITH TOOLED 1/4" EDGE RADIUS.
3. BROOM FINISH (PERPENDICULAR TO STREET).
4. CONC. PAD CROSS SLOPE TO BE A MAXIMUM 2%.
5. CONTROL JOINTS EVERY 4' O.C. (PERPENDICULAR TO THE STREET).
6. CONC. PAD SHALL FOLLOW LONGITUDINAL GRADE OF STREET.



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Project
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111 PUREFOY ROAD
CHAPEL HILL NC, 27514
ORANGE COUNTY NC

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PID: 8801003

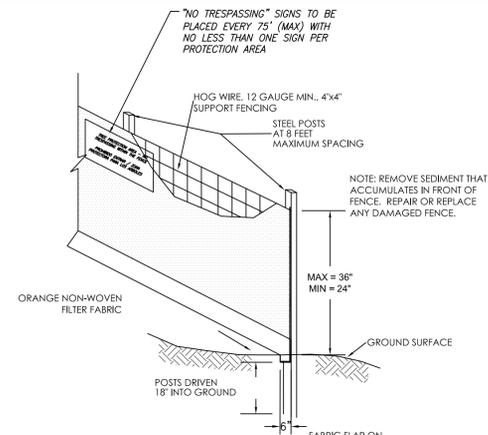
Job Number 1642

Drawn MTC, ED
Checked PBR, AJP
Date 10/10/2016
Revisions

SITE PLANS NOT ISSUED FOR CONSTRUCTION

Sheet Title
SITE DETAILS

Sheet Number
SD-8.0

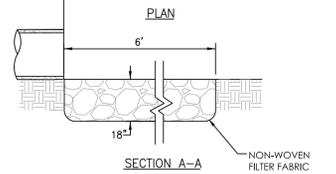
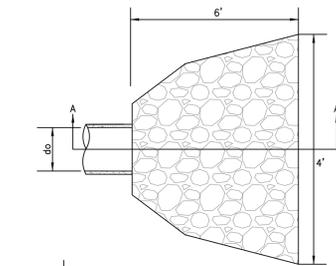


- NOTES:
1. MOVE FENCE OR REMOVE TREE IF MORE THAN 20% OF A TREE'S ROOT PROTECTION ZONE AREA IS UNPROTECTED.
 2. ROOT PRUNE THE TREES TO REMAIN WHERE CONSTRUCTION ACTIVITIES WILL SEVER ROOTS.
 3. ANY TREE ROOTS EXPOSED BY CONSTRUCTION SHALL BE SEVERED CLEANLY WITH A PRUNING TOOL.
 4. DO NOT DISPOSE OF ANY CHEMICALS OR REMOVE SOIL OUTSIDE THE LIMITS OF WORK.
 5. WHEN INSTALLING NEW LANDSCAPE PLANTS, DO NOT DRIVE EQUIPMENT UPON OR DISTURB THE SOIL WITHIN THE ROOT ZONE PROTECTION AREA OF EXISTING TREES.
 6. SIGNAGE IN BOTH ENGLISH AND SPANISH MUST BE PLACED ON TREE PROTECTION FENCING WITH A MINIMUM SPACING OF 75' O.C. SIGNAGE IS TO READ:

TREE PROTECTION AREA - NO TRESPASSING WITHIN THE FENCE PROHIBIDO ENTRAR / ZONA PROTECTORA PARA LOS ARBOLES

7. INSPECT SEDIMENT FENCES AT LEAST ONCE A WEEK AND AFTER EACH RAINFALL. MAKE ANY REQUIRED REPAIRS IMMEDIATELY.
8. SHOULD THE FABRIC OF A SEDIMENT FENCE COLLAPSE, TEAR, DECOMPOSE OR BECOME INEFFECTIVE, REPLACE IT PROMPTLY.
9. REMOVE SEDIMENT DEPOSITS AS NECESSARY TO PROVIDE ADEQUATE STORAGE VOLUME FOR THE NEXT RAIN AND TO REDUCE PRESSURE ON THE FENCE. TAKE CARE TO AVOID UNDERMINING THE FENCE DURING CLEANOUT.
10. REMOVE ALL FENCING MATERIALS AND UNSTABLE SEDIMENT DEPOSITS AND BRING THE AREA TO GRADE AND STABILIZE IT AFTER THE CONTRIBUTING DRAINAGE AREA HAS BEEN PROPERLY STABILIZED.

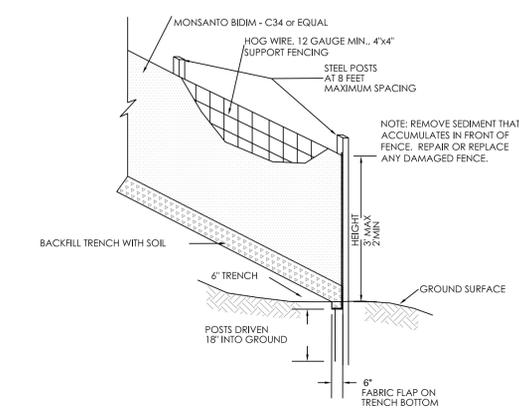
1 / SD-8.1
COMBINATION TREE PROTECTION FENCE SILT FENCE
NTS



- NOTES:
1. RIPRAP APRON 6" MIN. LENGTH.
 2. RIPRAP APRON 4" MIN. WIDTH.
 3. RIPRAP 18" MIN. DEPTH.
 4. IN A WELL-DEFINED CHANNEL EXTEND THE APRON UP THE CHANNEL BANKS TO AN ELEVATION OF 6" ABOVE THE MAXIMUM TAILWATER DEPTH OR TO THE TOP OF THE BANK WHICHEVER IS LESS.
 5. A NON-WOVEN FILTER FABRIC SHOULD BE INSTALLED BETWEEN THE RIPRAP AND SOIL FOUNDATION. FILTER FABRIC SHALL CONFORM TO AASHTO M-288 STANDARDS.

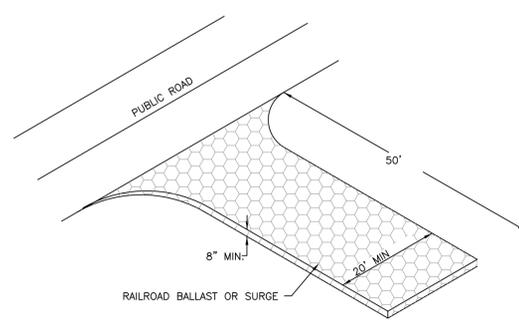
MAINTENANCE
INSPECT RIPRAP OUTLET STRUCTURES WEEKLY AND AFTER SIGNIFICANT (5" OR GREATER) RAINFALL EVENTS TO SEE IF ANY EROSION AROUND OR BELOW THE RIPRAP HAS TAKEN PLACE. OR IF STONES HAVE BEEN DISLODGED, IMMEDIATELY MAKE ALL NEEDED REPAIRS TO PREVENT FURTHER DAMAGE.

2 / SD-8.1
RIP RAP APRON
NTS



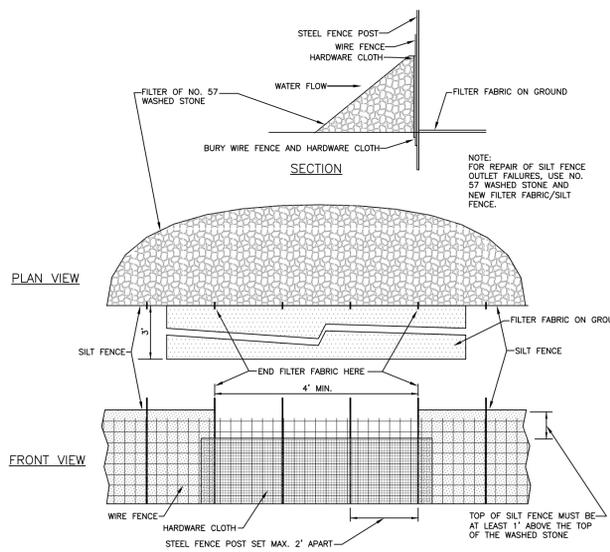
- Maintenance
1. Inspect sediment fences at least once a week and after each rainfall. Make any required repairs immediately.
 2. Should the fabric of a sediment fence collapse, tear, decompose or become ineffective, replace it promptly.
 3. Remove sediment deposits as necessary to provide adequate storage volume for the next rain and to reduce pressure on the fence. Take care to avoid undermining the fence during cleanout.
 4. Remove all fencing materials and unstable sediment deposits and bring the area to grade and stabilize it after the contributing drainage area has been properly stabilized.

3 / SD-8.1
SILT FENCE
NTS



- CONSTRUCTION SPECIFICATIONS
1. AVOID CURVES IN PUBLIC ROADS AND STEEP SLOPES. REMOVE ALL VEGETATION AND OTHER OBJECTIONABLE MATERIAL FROM FOUNDATION AREA. GRADE AND CROWN FOUNDATION FOR POSITIVE DRAINAGE.
 2. IF THE SLOPE TOWARD THE ROAD EXCEEDS 2%, CONSTRUCT A RIDGE, 6 TO 8 INCHES HIGH WITH 3:1 SIDE SLOPES, ACROSS THE FOUNDATION APPROXIMATELY 15 FT FROM THE ENTRANCE TO DIVERT RUNOFF AWAY FROM THE PUBLIC ROAD.
 3. PLACE NON-WOVEN GEO-TEXTILE FABRIC ON GRADED FOUNDATION TO IMPROVE STABILITY, ESPECIALLY WHERE WET CONDITIONS ARE ANTICIPATED.
 4. PLACE STONE TO DIMENSIONS AND GRADE SHOWN ON PLANS. LEAVE SURFACE SMOOTH AND SLOPED FOR DRAINAGE.
 5. INSTALL PIPE UNDER PAD IF NEEDED TO MAINTAIN PROPER PUBLIC ROAD DRAINAGE.
- MAINTENANCE:
MAINTAIN THE GRAVEL PAD IN A CONDITION TO PREVENT MUD OR SEDIMENT FROM LEAVING THE CONSTRUCTION SITE. THIS MAY REQUIRE PERIODIC REMOVAL AND REPLACEMENT OF STONE, AS NECESSARY. IMMEDIATELY REMOVE ALL OBJECTIONABLE MATERIALS SPILLED, WASHED, OR TRACKED ONTO PUBLIC ROADWAYS.

4 / SD-8.1
GRAVEL CONSTRUCTION ENTRANCE
NTS



5 / SD-8.1
SILT FENCE OUTLET
NTS

FALL/WINTER/SPRING TEMPORARY COVER		AUGUST 15 - MAY 1	
Lime	100 lbs/1000 sf	100 lbs/1000 sf	
10-10-10 Fertilizer	25 lbs/1000 sf	25 lbs/1000 sf	
Oat Seed	2 lbs/1000 sf	2 lbs/1000 sf	
Rye Grain Seed	1 lbs/1000 sf	1 lbs/1000 sf	
Straw Mulch *	100 lbs/1000 sf	100 lbs/1000 sf	
SUMMER TEMPORARY COVER		MAY 1 - AUGUST 15	
Lime	100 lbs/1000 sf	100 lbs/1000 sf	
10-10-10 Fertilizer	15 lbs/1000 sf	15 lbs/1000 sf	
Browntop Millet Seed	1 lbs/1000 sf	1 lbs/1000 sf	
Straw Mulch *	100 lbs/1000 sf	100 lbs/1000 sf	
SPRINGS/FALL PERMANENT COVER		MARCH 1 - APRIL 30	
Lime	100 lbs/1000 sf	100 lbs/1000 sf	
10-10-10 Fertilizer	25 lbs/1000 sf	25 lbs/1000 sf	
Improved Turf Type Fine Fescue Seed	8 lbs/1000 sf	8 lbs/1000 sf	
Straw Mulch *	100 lbs/1000 sf	100 lbs/1000 sf	
SUMMER PERMANENT COVER		APRIL 1 - AUGUST 15	
GRASS	PLANTING DATE	SEEDS ²	SPRINGS ³ STOLONLS
BERMUDAGRASS	APRIL-JULY	1-2	.75 3-5
BERMUDAGRASS(HYBRID)	APRIL-JULY	1-2	.75 3-5
CENTIPEDGEGRASS	MARCH-JULY	.25-50	.75 3-5
ST.AUGUSTINEGRASS	APRIL-JULY	-	1.0 -
TALL FESCUE	SEPT-OCT.15	6	-
ZOYSIAGRASS	MAY-JULY	.50-1.0	.25 3-5

1. OPTIMUM DATE OF PLANTING. SEEDING BEYOND THESE DATES INCREASES THE CHANCE OF FAILURE.
2. POUNDS PER 1000 SQ.FT.
3. BUSHELS PER 1000 SQ.FT.

Seeded Preparation: Remove rocks, stumps, roots, etc. Apply lime and fertilizer then rip the soil 4 to 6 inches to mix the nutrients into the soil and to loosen and roughen it to receive seed.

Seed Temporary cover to stabilize temporary sedimentation control measures and other accomplished. If planting season is not suitable for installation of permanent cover, Contractor shall install temporary cover suitable for that season and reseed with permanent grass at earliest possible date.

* Anchor straw mulch by applying an asphalt binder emulsion at a rate of 10 gallons per 1000 SF, or install jute, paper or twine netting or excelsior mats staked to ground according to the manufacturer's instructions.

STABILIZATION TIME TABLE

1. All permanent dikes, swales, ditches, perimeter slopes, and all slopes steeper than 3:1 shall be provided with temporary or permanent stabilization with groundcover as soon as practicable but within 7 calendar days from last land-disturbing activity.
2. All other disturbed areas shall be provided with temporary or permanent stabilization with groundcover as soon as practicable but in any event within 14 calendar days from last land-disturbing activity.

*EXPOSED AREAS INCLUDE, BUT ARE NOT LIMITED TO:

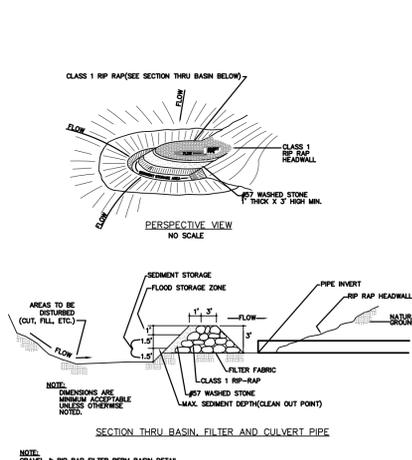
- AREAS CLEARED FOR ROADWAY CONSTRUCTION.
- AREAS CLEARED ON RESIDENTIAL BUILDING LOTS.
- DRAINAGE EASEMENTS AND OPEN DRAINAGE CHANNELS.
- SEDIMENT AND EROSION CONTROL MEASURES (SEDIMENT TRAPS, DIVERSION DITCHES, ETC.) AND THE AREAS ADJACENT TO SUCH MEASURES.

6 / SD-8.1
SEEDING SCHEDULE
NTS

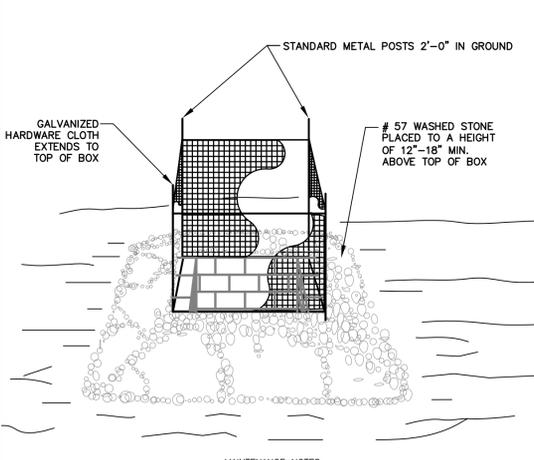
Ground Stabilization*		
Site Area Description	Stabilization Time Frame	Stabilization Time Frame Exceptions
Perimeter dikes, swales, ditches, and slopes	7 days	None
High Quality Water (HQW) Zones	7 days	None
Slopes steeper than 3:1	7 days	If slopes are 10' or less in length and are not steeper than 2:1, 14 days are allowed
Slopes 3:1 or flatter	14 days	7 days for slopes greater than 50 feet in length
All other areas with slopes flatter than 4:1	14 days	None (except for perimeters and HWQ Zones)

* "Extensions of time may be approved by the permitting authority based on weather or other site-specific conditions (that make compliance impracticable)" (Section 11.2(b))

7 / SD-8.1
ARCH FILTER
NTS



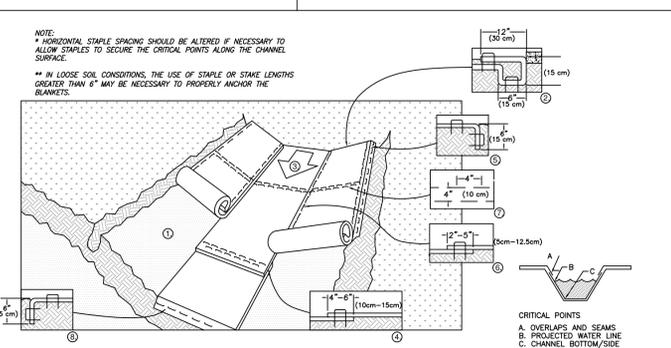
10 / SD-8.1
TEMPORARY INLET PROTECTION
NTS



9 / SD-8.1
CONCRETE FLUME AND PREFORMED SCOUR HOLE
NTS

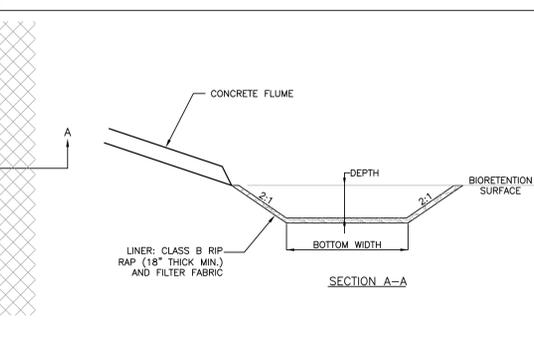
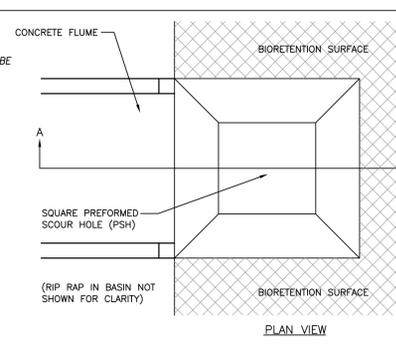
1. Prepare soil before installing blankets, including any necessary application of lime, fertilizer, and seed.
2. Begin at the top of the channel by anchoring the blanket in a 6" deep x 6" wide trench. Anchor the blanket with a row of staples/stakes approximately 12" apart in the bottom of the trench. Backfill and compact the trench after stapling. Apply seed to compacted soil and fold remaining 12" portion of blanket back over seed and compacted soil. Secure blanket over compacted soil with a row of staples/stakes spaced approximately 12" apart across the width of the blanket.
3. Roll center blanket in direction of water flow in bottom of channel. Unroll blankets with appropriate side against the soil surface. All blankets must be securely fastened to soil surface by placing staples/stakes in appropriate locations as shown by manufacturer.
4. Place consecutive blankets end over end (shingle style) with a 4"-6" overlap. Use a double row of staples staggered 4" apart and 4" on center to secure blankets.
5. Full length edge of blankets at top of side slopes must be anchored with a row of staples/stakes approximately 12" apart in a 6" deep x 6" wide trench. Backfill and compact the trench after stapling.
6. Adjacent blankets must be overlapped approximately 2"-5" (depending on blanket type) and stapled.
7. Staple check slot is recommended at 30 to 40 foot intervals. Use a double row of staples staggered 4" apart and 4" on center over entire width of the channel.
8. The terminal end of the blankets must be anchored with a row of staples/stakes approximately 12" apart in a 6" deep x 6" wide trench. Backfill and compact the trench after stapling.

8 / SD-8.1
TURF REINFORCING MAT
NTS



- NOTES:
1. TO AVOID SHIFTING OF THE SCOUR HOLE AFTER INSTALLATION, THE SCOUR HOLE SHOULD BE INSTALLED IN UNDISTURBED SOIL INSTEAD OF IN FILL MATERIAL.
 2. INSTALL PRE-FORMED SCOUR HOLE AFTER SITE STABILIZATION.
 3. THE ELEVATION OF THE TOP OF THE PREFORMED SCOUR HOLE SHOULD BE THE SAME AS THE ELEVATION OF THE BIORETENTION AREA.
 4. ENSURE THAT THE RIP RAP CONSISTS OF A WELL-GRADED MIXTURE OF STONE. SMALLER-SIZE RIP RAP STONES SHOULD BE USED TO FILL VOID BETWEEN LARGER STONES.
 5. WHERE PRACTICAL, ROUTE OFF-SITE RUNOFF AWAY FROM SCOUR HOLE.
 6. IMMEDIATELY AFTER CONSTRUCTION, STABILIZE THE EXIT AREAS WITH VEGETATION.
 7. CLEAR THE AREA OF ALL CONSTRUCTION DEBRIS AND CHECK THE EXIT AREAS FOR ANY POTENTIAL OBSTRUCTIONS THAT COULD PROMOTE CHANNELIZED FLOW.
 8. TOP OF RIP RAP SHALL BE INSTALLED AT THE SAME ELEVATION AS THE FLUME INVERT.

9 / SD-8.1
CONCRETE FLUME AND PREFORMED SCOUR HOLE
NTS



SD-8.1

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CHAPEL HILL, NC, 27514
ORANGE COUNTY NC

PN: 9788419609
PID: 8801003

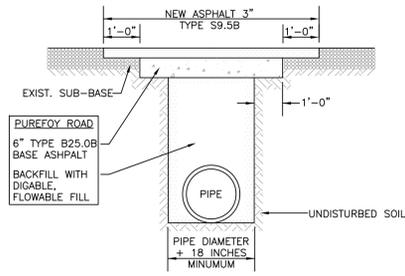
Job Number 1642
Drawn MTC, ED
Checked PBR, AJP
Date 10/10/2016
Revisions

SITE PLANS
NOT ISSUED
FOR CONSTRUCTION

Sheet Title
EROSION
CONTROL
DETAILS

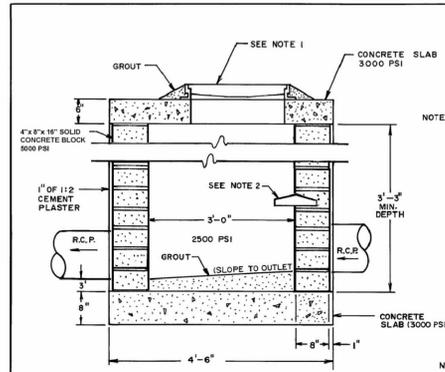
Sheet Number

SD-8.1



- NOTES:
1. SAW CUT EDGES MUST BE STRAIGHT AND CLEAN.
 2. PATCHES MUST BE REGULAR, SQUARE, OR RECTANGULAR (4 STRAIGHT EDGES).
 3. FINAL SURFACE COURSE MUST BE FLUSH WITH THE EDGE OF EXISTING PAVEMENT, VERTICALLY AND HORIZONTALLY, WITH NO SPILLOVER OF ASPHALT OR TACK COAT.
 4. CARE MUST BE TAKEN NOT TO DAMAGE INTEGRITY OR APPEARANCE OF SURROUNDING PAVEMENT. IF DAMAGED, THE ENTIRE SURFACE PATCH MUST BE EXPANDED TO COVER DAMAGES.
 5. ALL STRIPING IMPACTED BY REPAIRS MUST BE REPLACED.
 6. PROPER TRAFFIC CONTROL AND PLATING OF THE ROAD DURING CURE TIME FOR FLOWABLE FILL MUST BE CONDUCTED APPROPRIATELY.
 7. THE MAXIMUM TIME TO COMPLETE FULL REPAIR SHALL NOT EXCEED 10 WORKING DAYS.

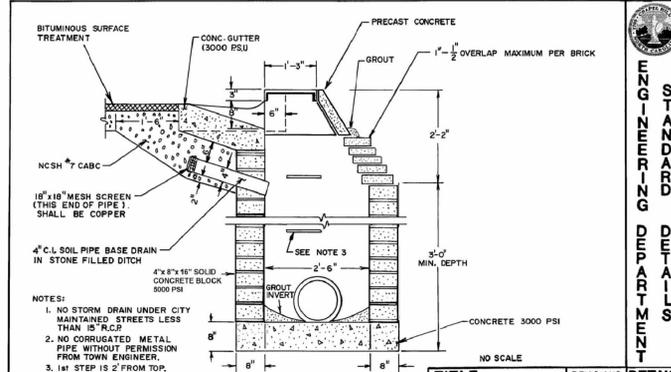
1 / SD-8.2
OPEN CUT AND REPAIR
NTS



- NOTES:
1. USE EAST JORDAN IRON WORKS MANHOLE RING & SOLID COVER IN SIDEWALKS & YARD AREAS. USE MANHOLE RING & SOLID COVER IN STREETS.
 2. MANHOLE STEPS @ 15" O.C., 1st STEP IS 2' FROM TOP.

NO SCALE
TITLE: JUNCTION BOX DETAIL
DET. NO.: SD-3

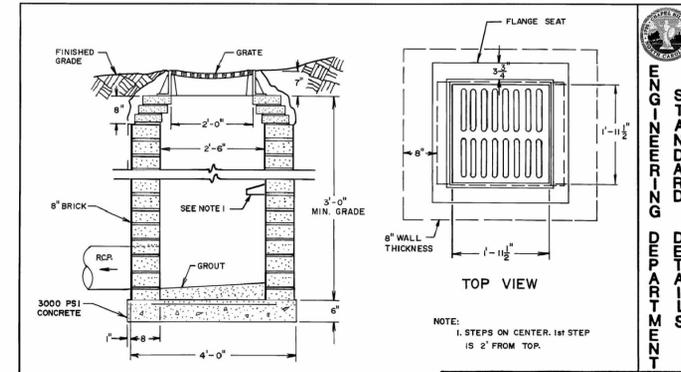
2 / SD-8.2
JUNCTION BOX DETAIL
NTS



- NOTES:
1. NO STORM DRAIN UNDER CITY MAINTAINED STREETS LESS THAN 15' R.C.P.
 2. NO CORRUGATED METAL PIPE WITHOUT PERMISSION FROM TOWN ENGINEER.
 3. 1st STEP IS 2' FROM TOP.

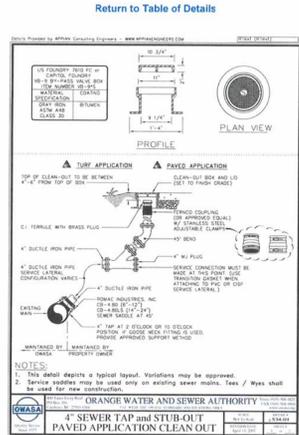
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DET. NO.: SD-5

3 / SD-8.2
CURB INLET DETAIL
NTS



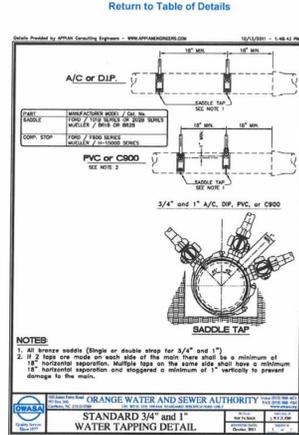
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DET. NO.: SD-6

4 / SD-8.2
CATCH BASIN DETAIL
NTS



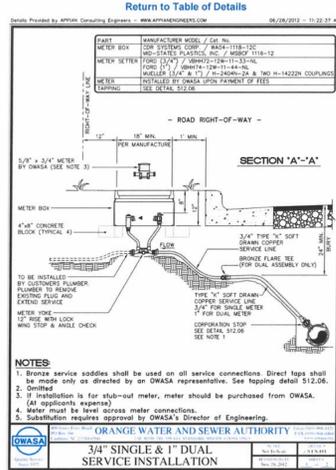
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STANDARD 3/4\"/>

5 / SD-8.2
CLEAN OUT
NTS



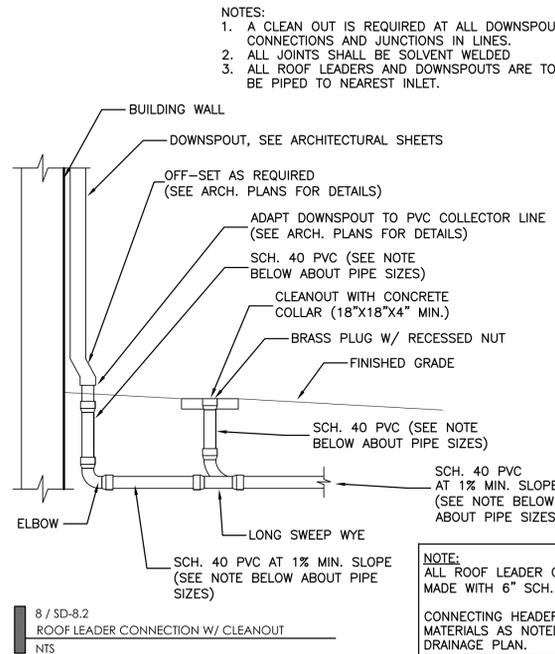
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STANDARD 3/4\"/>

6 / SD-8.2
WATER TAPPING DETAIL
NTS



ORANGE WATER AND SEWER AUTHORITY
STANDARD 3/4\"/>

7 / SD-8.2
SERVICE INSTALLATION DETAIL
NTS



CONNECTING HEADER PIPE SIZES AND MATERIALS AS NOTED ON SD-3.0 GRADING AND DRAINAGE PLAN.

8 / SD-8.2
ROOF LEADER CONNECTION W/ CLEANOUT
NTS



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Project
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111 PUREFOY ROAD
CHAPEL HILL NC, 27514
ORANGE COUNTY NC

PN: 9788419609
PID: 8801003

Job Number 1642

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Date 10/10/2016
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SITE PLANS NOT ISSUED FOR CONSTRUCTION

Sheet Title

UTILITY DETAILS

Sheet Number

SD-8.2

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Chapel Hill, NC

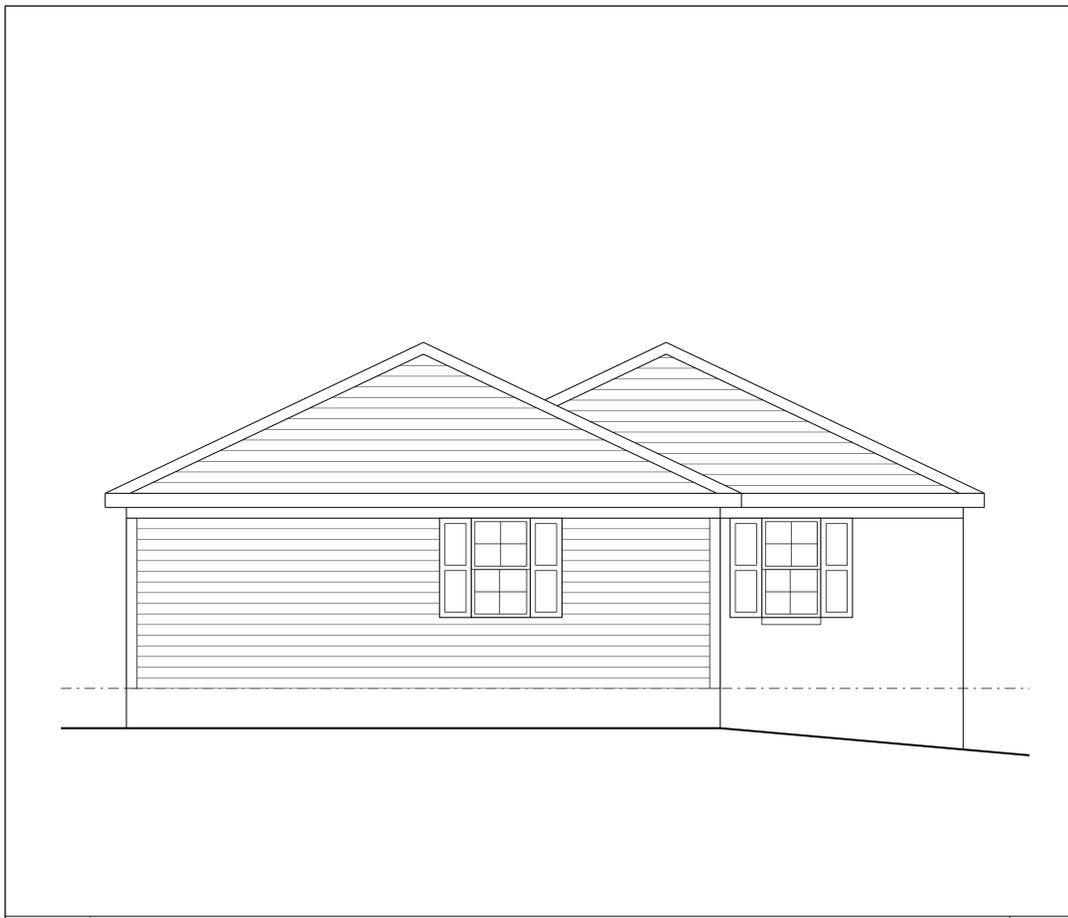
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- Date: 10.10.16
- Revisions:



Elevations
BUILDING No. 1

Sheet

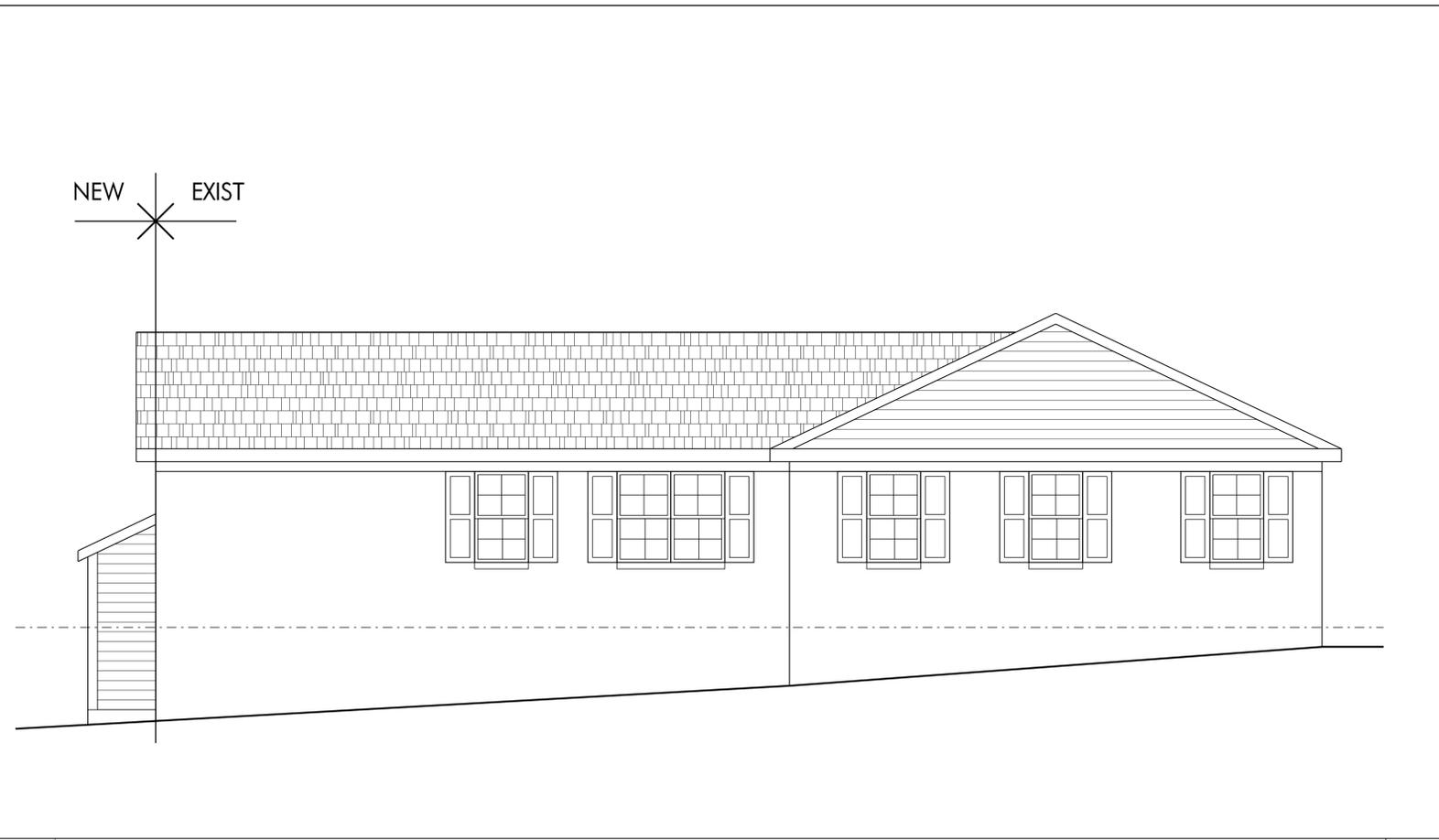
A4.11



South Elevation

Scale: 1/4" = 1'-0"

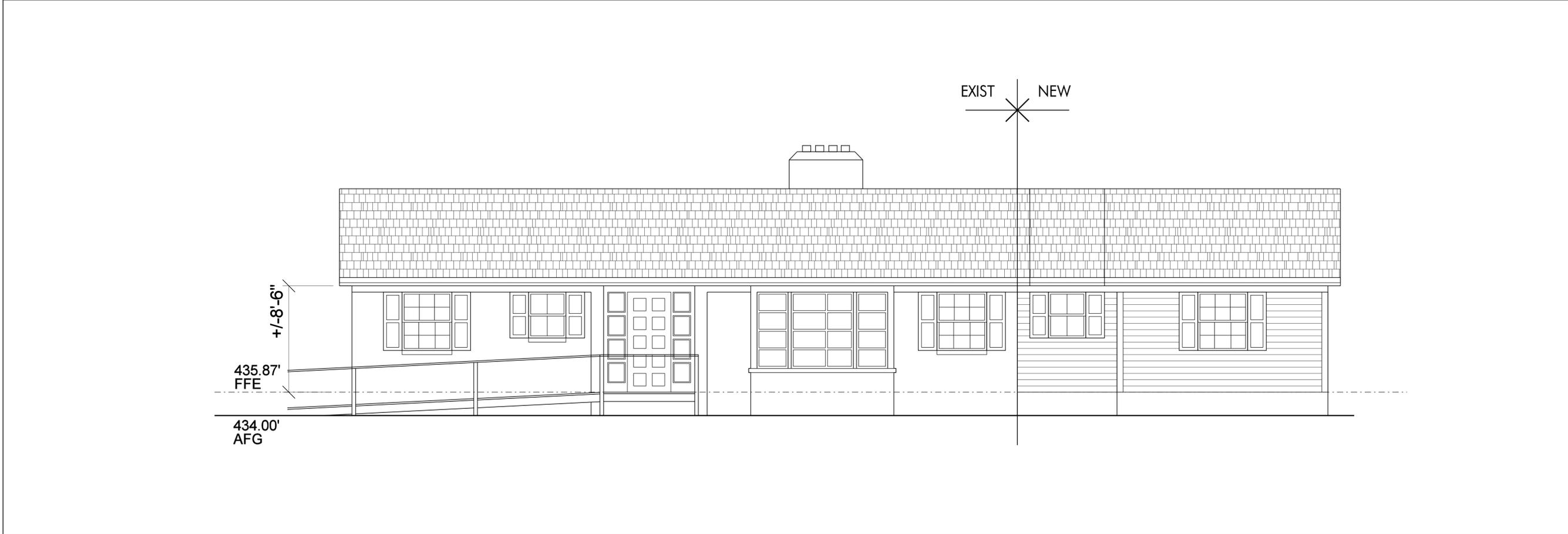
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North Elevation

Scale: 1/4" = 1'-0"

2



West Elevation

Scale: 1/4" = 1'-0"

1



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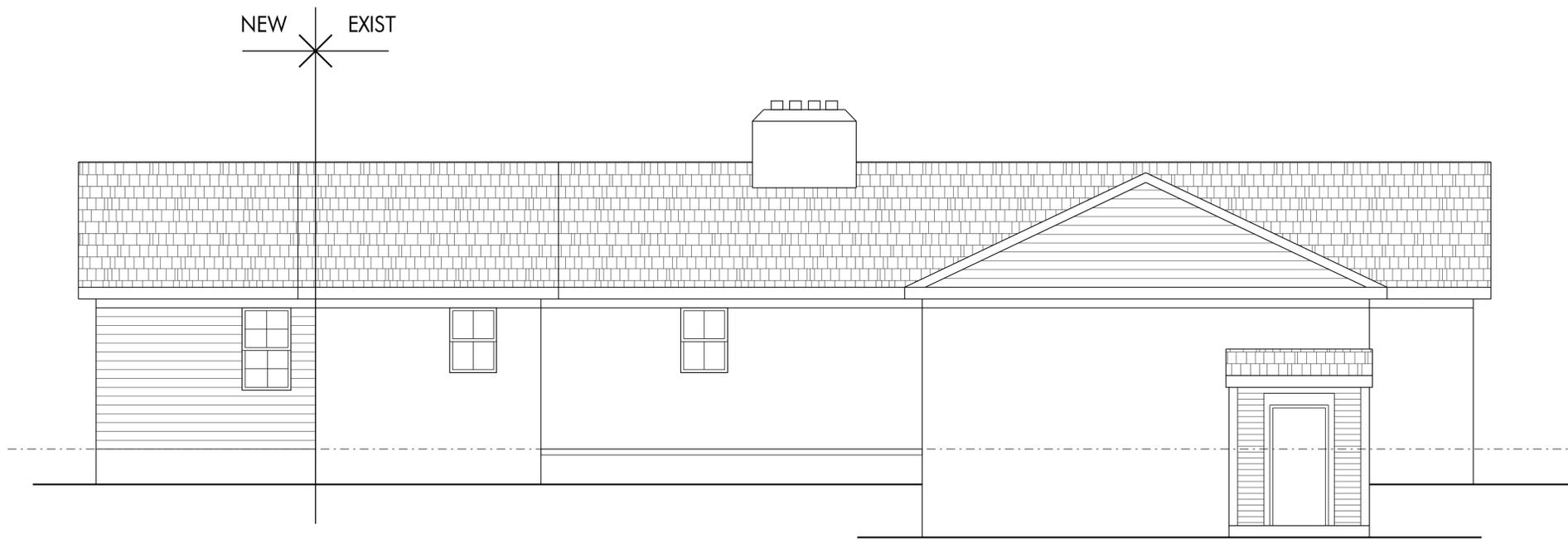
Purefoy Road

Chapel Hill, NC

Job Number: 0000

Date: 10.10.16

Revisions:



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10/10/2016

4

East Elevation

Scale: 1/4" = 1'-0"

1

Elevations
BUILDING No. 1

Sheet

A4.12



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Purefoy Road

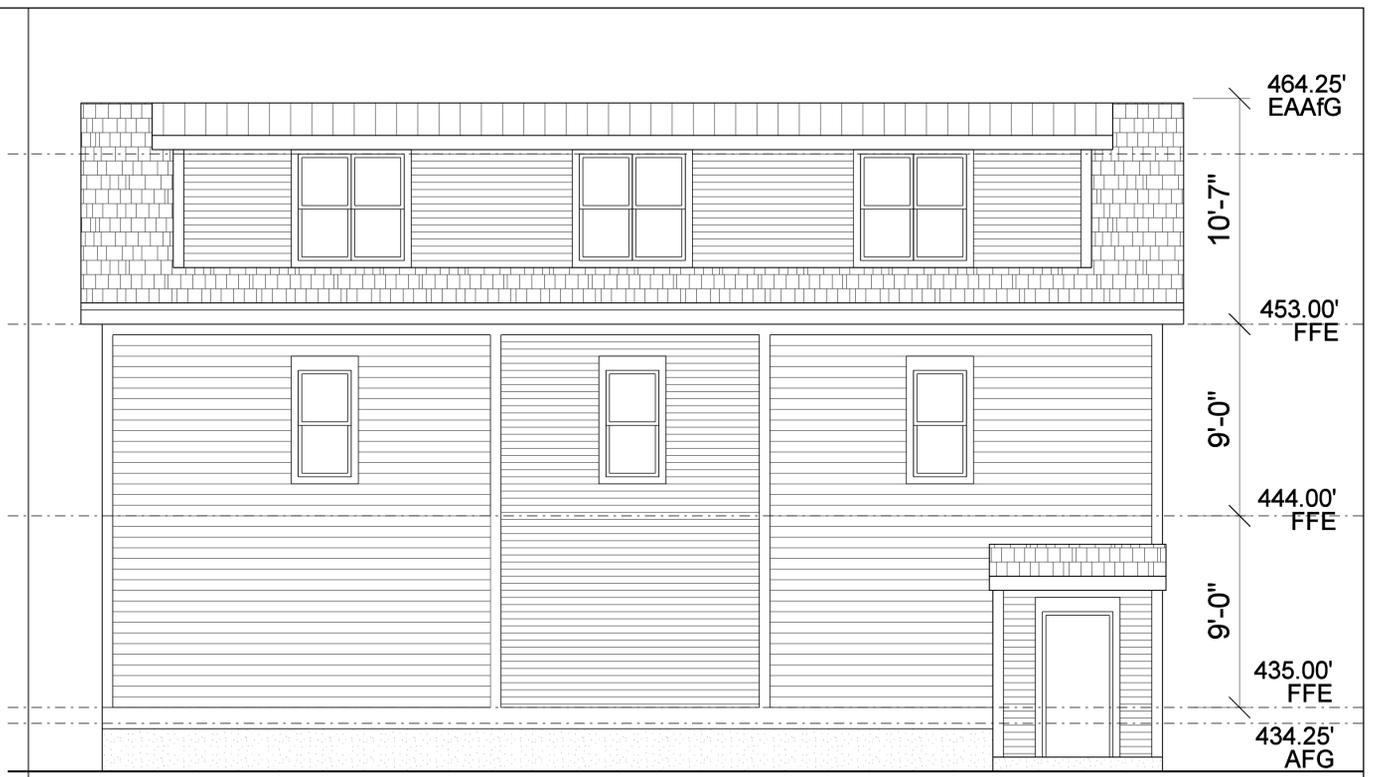
Chapel Hill, NC

- Job Number: 0000
- Date: 10.10.16
- Revisions:



Elevations
BUILDING No. 2
Sheet

A4.2



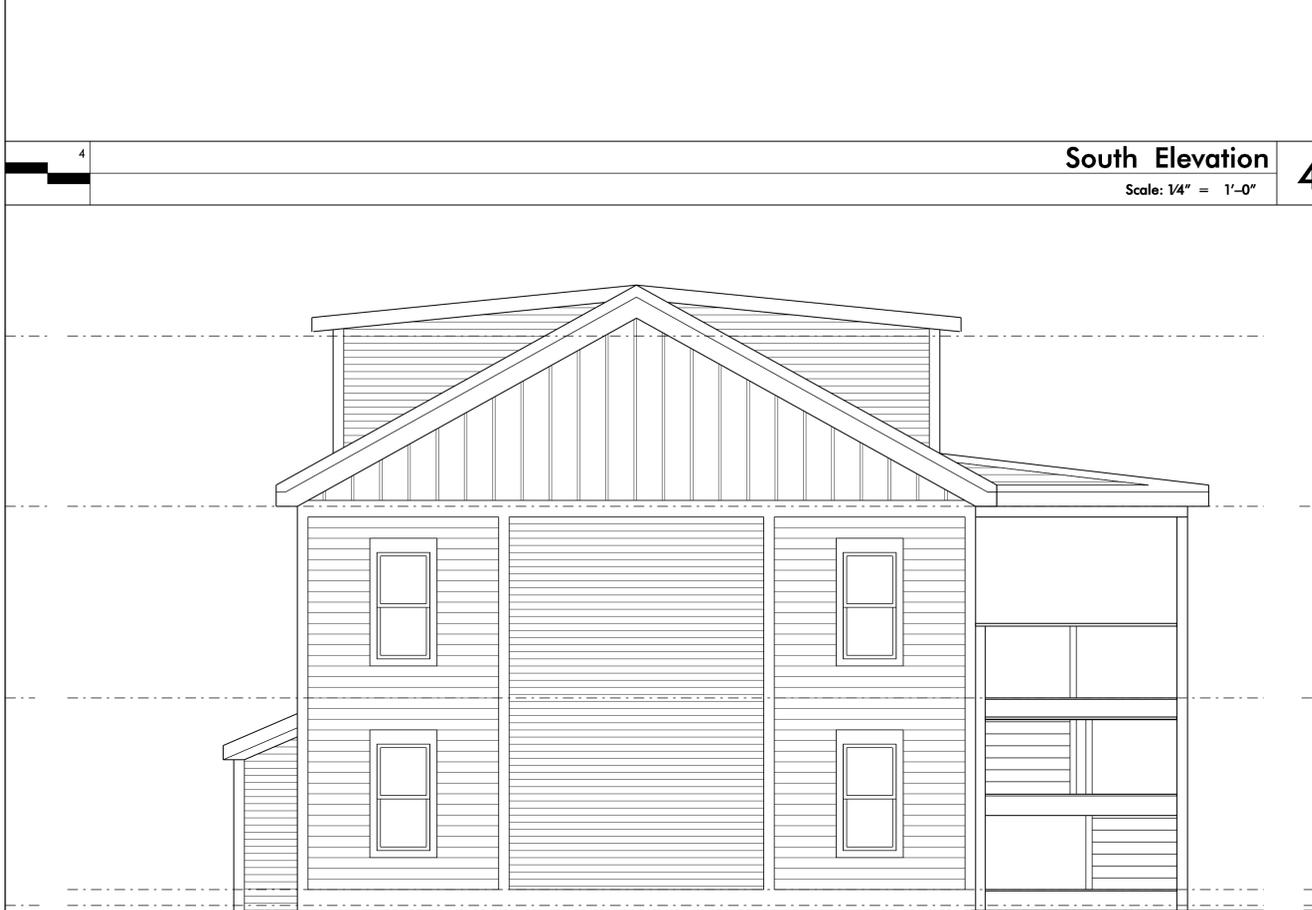
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South Elevation 4
Scale: 1/4" = 1'-0"



West Elevation 1
Scale: 1/4" = 1'-0"



North Elevation 2
Scale: 1/4" = 1'-0"

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Chapel Hill, NC

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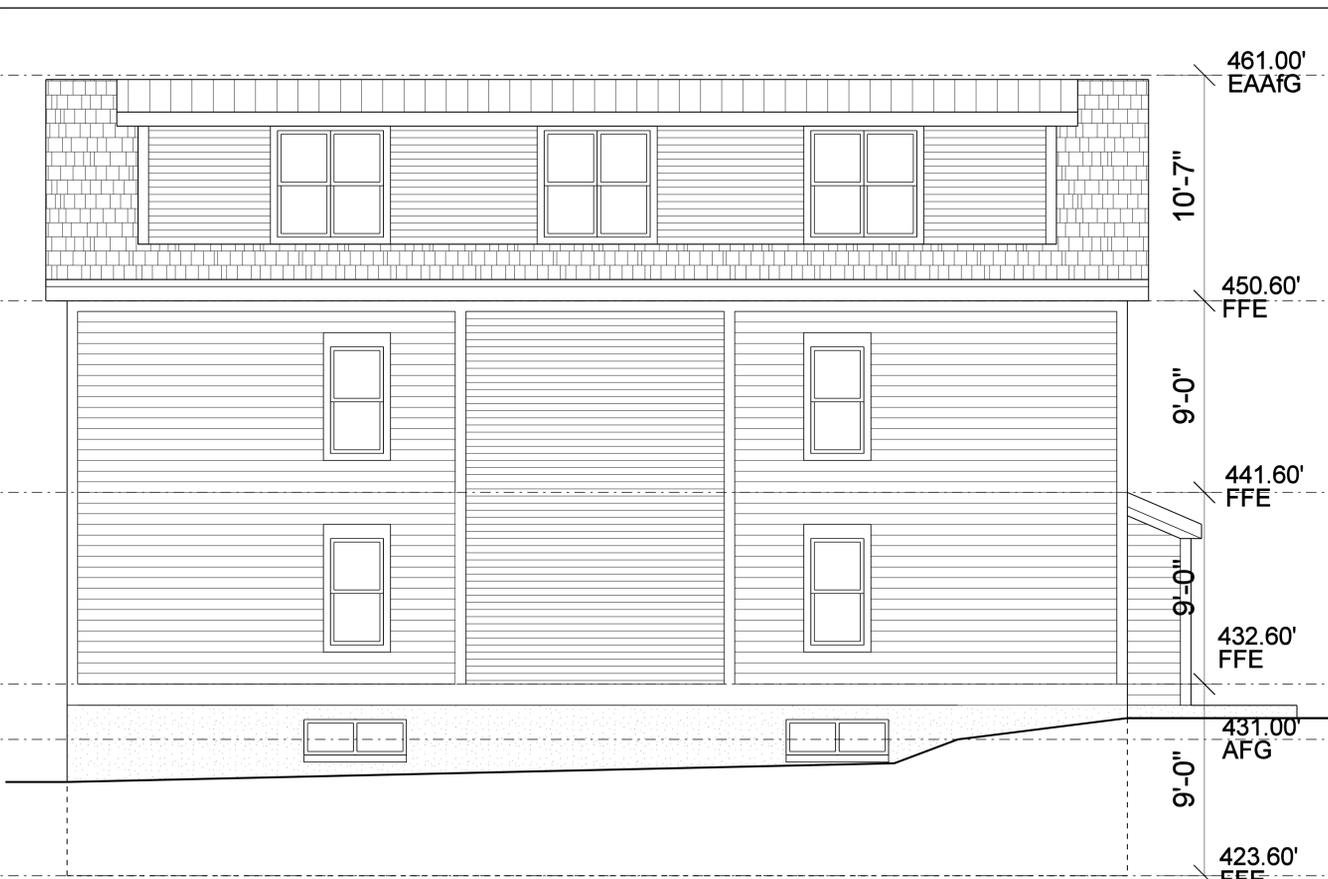


Elevations
BUILDING No. 3
Sheet

A4.3



West Elevation 4
Scale: 1/4" = 1'-0"



North Elevation 3
Scale: 1/4" = 1'-0"



South Elevation 2
Scale: 1/4" = 1'-0"



East Elevation 1
Scale: 1/4" = 1'-0"

10/10/2016 P:\2016\Corfile\Purefoy\Design\A4.3_1007.dgn



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Planning for the Future

October 10, 2016

Town of Chapel Hill
Planning Department
405 Martin Luther King Jr. Blvd.
Chapel Hill, NC 27514

Reference: **Site Plan Application**
Purefoy Road Apartments
111 Purefoy Road
Chapel Hill, NC 27514
Pin: 9788419609

Judy,

Enclosed please find the Site Plan Application for the Purefoy Road Apartment project. The project is located at 111 Purefoy Road, Chapel Hill, NC 27514 (PIN: 9788419609). The 1.3 acre site is currently zoned R-4, medium density residential.

Site Plan - Project Narrative:

Developer is seeking approval of a small multi-family development as represented on the attached Site Plans.

Project scope includes renovation of the existing structure which will include a small new addition to the existing 1 story, 2,470 square foot home. The addition is proposed on the western facade of the existing structure and will add 511 square feet to the overall building. The new total square footage of this structure will be 2,981 square feet.

The developer is also proposing to add two new duplex's buildings to the property. The northern most duplex will be three stories and 4,457 square feet. The southernmost duplex will be 4 stories and 6,057 square feet.

The overall total proposed building area on site will be 13,495 square feet, 5 dwelling units, and 34 total bedrooms.

Associated with the renovation/addition and new duplex buildings the developer is proposing necessary site related improvements as required by the Town of Chapel Hill, OWASA and Orange County.