



TOWN OF CHAPEL HILL
Office of Planning and Sustainability

405 Martin Luther King Jr. Blvd.
Chapel Hill, NC 27514-5705

phone (919) 969-5066 fax (919) 969-2014
www.townofchapelhill.org

FORM DISTRICT PERMIT

This certifies that the project described below has been reviewed by the Town Staff and approved to be in compliance with the Land Use Management Ordinance, based on information and plans provided by the applicant. A Form District Permit, inclusive of the following conditions, is issued pursuant to the provisions of the ordinance.

Name of Applicant: Coulter Jewell Thames PA (Wendi Ramsden)
Name of Property Owner(s): Rams Plaza Associates, LLC
Location: 1728 Fordham Boulevard; Orange County Parcel Identifier Numbers 9799-35-1647, 9799-36-1179, & 9799-36-6054
Project Number: 14-085

Description of Permitted Work:

2,700 square foot retail building for retail/restaurant use in accordance with the following:

Exhibit 1: Plans dated March 16, 2015, revised April 27, 2015, and approved December 2, 2015. Electronic copy attached.

Exhibit 2: Certificate of Appropriateness issued by the Community Design Commission on May 26, 2015; Revised Certificate of Appropriateness issued by the Community Design Commission on October 27, 2015 for approval of a design alternative.

Exhibit 3: Senior Leadership Team Recommendations of Approval

Construction Deadline: That construction begin by December 2, 2016 (1 year from the date of approval of this Form District Permit), and be completed by December 2, 2017 (2 years from the date of approval of this Form District Permit)

Land Use Intensity: This Form District Permit authorizes the following:

Permitted Floor Area	2,700 square feet of retail
Maximum Parking Vehicular Parking Spaces for 2,700 square foot retail use	30
Minimum Bicycle Parking Spaces	3
Permitted Net Impervious Land Area	14,213 square feet
Permitted Land Disturbance	20,234 square feet



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Conditions:

Prior to Land Disturbing Activity

1. Engineering Construction Permit: Prior to land disturbing activity, the applicant shall submit 3 sets of final plans to the Town's Engineering & Design Services Division for stamping, schedule a preconstruction conference with the Town's Senior Engineering Coordinator, and apply for an Engineering Construction Permit.
2. Performance Bond: Prior to Engineering Construction Permit submit an itemized cost estimate for all work in the public right-of-way and multi-modal path to Larry Tucker in the Engineering Services and Design Division 919-969-5085. A bond for 125% must be submitted to cover the estimated cost of construction.
3. Erosion Control Bond: A performance guarantee in accordance with Section 5-97.1 Bonds of the Town Code of Ordinances shall be required prior to final authorization to begin land-disturbing activities. This financial guarantee is intended to cover the costs of restoration of failed or failing soil erosion and sedimentation controls, and/or to remedy damages resulting from land-disturbing activities, should the responsible party or parties fail to provide prompt and effective remedies acceptable to the Town.
4. Pre-Construction Conferences: That pre-construction conference(s) shall be held with the following staff prior to any construction activity:
 - a. The Town's Engineering & Design Services Division (919-969-5084);
 - b. The Town's Inspections Division (919-968-2718);
 - c. The Town's Office of the Fire Marshal Life Safety Division (919-968-2781);
 - d. The Town's Stormwater Management Division (919-969-7246);
 - e. The Town's Urban Forester (919-969-5116) to review procedures for protection and management of all protected landscape elements identified on the Landscape Plan, and to designate one or more persons as Landscape Protection Supervisor(s);
 - f. The Orange County Erosion Control Division (919-245-2575); and,
 - g. The Orange County Solid Waste Department (919-996-2788);



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Transportation

5. Multi-modal Path: Applicant shall coordinate the precise location, final design, and timing of construction of the multi-modal path, with Town-sponsored roadway improvements. An Engineering Construction Permit is required for the multi-modal path and shall ensure coordination with Town sponsored roadway improvements. Completion of the multi-modal path is required prior to issuance of a Certificate of Occupancy (C/O).
6. Repairs in Right-of-Way: Prior to expiration of the performance bond or issuance of the final C/O, whichever occurs first, the applicant shall repair all damage for work in the right-of-way related to the construction of this project, which may include pavement milling and overlay.
7. Traffic Lane and Sidewalk Closure: Prior to any traffic lane and/or sidewalk closures, the applicant shall contact the Town's Traffic Engineering office (919-969-4993) at least 5 working days before the proposed work to apply for a lane closure permit.
8. Parking Lot Access and Circulation During Construction: The applicant shall provide written notice to all tenants of Rams Plaza of changes to the parking lot at least 5 days in advance. Such changes include, but are not limited to, modifications to driveway access, modifications to internal parking lot circulation, and closure of parking spaces.

Stormwater

9. Stormwater Facilities: Prior to issuance of the final C/O , the three documents enumerated below must be submitted to the Town's Stormwater Management Division and a final stormwater management inspection must be scheduled, at least 10 days in advance of requesting the Certificate of Occupancy.
 - a. **Final Plat or Easement Exhibit**; A copy of the final plat or easement exhibit, signed and sealed by a North Carolina-registered Land Surveyor and recorded by the Orange County Register of Deeds, showing the "Stormwater Facility Easements", the stormwater management facilities, and the maintenance access locations. For purposes of maintenance, the maintenance access must be shown on the exhibit and extend from the "Stormwater Facility Easement" to the nearest public right-of-way. The following notes must be included on the recorded final plat or easement exhibit.



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- i. The Reserved Stormwater Facility Easements and the facilities it/they protect are the sole responsibility of the owner. Until the storm water facilities are accepted for maintenance by the Ephesus-Fordham Municipal Service District the owner shall provide for all required maintenance and operations as approved by the Town Manager.
 - ii. All engineered stormwater management control, treatment, and conveyance structures located on or below the ground shall be wholly contained within an easement entitled: "Reserved Stormwater Facility Easement Hereby Dedicated" and shall be reserved from any development which would obstruct or constrict the effective management, control, and conveyance of stormwater from or across the property, other than the approved design and operation functions. The Easements shall provide for access by Town staff, contractors and consultants to facilitate inspections and maintenance services once the stormwater facilities are accepted for maintenance by the Ephesus-Fordham Municipal Service District.
 - iii. The Reserved Stormwater Facility Easement and the Operations and Maintenance Plan are binding on the owner, heirs, successors, and assigns.
- b. **Maintenance covenant ("Operations and Maintenance Plan")**; A copy of the maintenance covenant ("Operations and Maintenance Plan"), signed by the owner and recorded by the County Register of Deeds, for the stormwater management facilities. The Operations and Maintenance Plan must include a description of the device or structure, an inspections checklist, and operating and maintenance procedures. The plan should identify contact information, who will perform the inspections, frequency of inspections, inspections and maintenance logs, any specific equipment needs or certifications (e.g., confined space certification), action levels or thresholds (e.g., remove sediment after depth exceeds one foot), and disposal methods.
- c. **Professional Engineer certification**; Certification, signed and sealed by a North Carolina-registered Professional Engineer, that the stormwater management facilities were constructed in accordance with the approved plans and specifications.

After performing the final inspection and reviewing and approving the documents, the Town's Stormwater Management Division or designee will issue an Approval Notification to the Town's Inspections Division via email. (Please schedule the final stormwater management inspection with the Town's Stormwater Management Division (919-969-7246)).



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10. Approved Impervious Surfaces: The total amount of impervious area shall be limited to a maximum of 14,213 square feet and the disturbed area to 20,234 square feet as shown in the calculations submitted for the Form District Permit. Any increase of impervious area that occurs as a result of construction over this permitted amount shall require a revised stormwater management report and plan, signed and sealed by a North Carolina Registered Professional Engineer, be submitted to the Town's Stormwater Management Division for review and approval prior to the issuance of the C/O.
11. Stormwater Inspection Report: An original inspection report shall be provided to the Town beginning one year from the date of the Operation and Maintenance Plan is recorded and each year thereafter on or before the recordation date of the Operations and Maintenance Plan, until the stormwater facilities are accepted for maintenance by the Ephesus-Fordham Municipal Service District.
12. Location of Stormwater Structures: No portion of the storm water structure may be located within the setbacks or rights-of-way, except as shown in the approved plan. This includes any underdrains or the downgradient toe of French drains.
13. Liability: The owner may be liable if adjoining properties receive substantial damage associated with the discharge of stormwater from this property.
14. Erosion Control Inspections: During construction, the applicant shall inspect the erosion and sediment control devices daily and after every rainfall, make any necessary repairs or adjustments to the devices, and maintain inspection logs documenting the inspections and any necessary repairs.

Life Safety

15. Fire Code Compliance: Prior to any Temporary Certificate of Occupancy (T/CO) and C/O, the applicant shall demonstrate that site work passes field inspections and fully complies with the North Carolina Fire Prevention Code.
16. Public Safety Survey: Prior to the first T/CO and/or C/O for any public use portion of the facility, the applicant shall hold a security survey with the Police Department to identify and consider opportunities for public safety improvements.



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Urban Forestry

17. Encroachment Agreement: That the applicant shall work with Town Staff to obtain an encroachment agreement for the installation and maintenance of trees in the North Carolina Department of Transportation right-of-way along Ephesus Church Road and Fordham Boulevard. Changes to the species or location of trees in the right-of-way required by the North Carolina Department of Transportation shall not require a revision to the Form District Permit, provided the number and spacing of trees complies with LUMO section 3.11.2.4.

Miscellaneous

18. Form District Permit Recordation and Validity: Prior to recordation of a commercial subdivision plat, the applicant shall record this Form District Permit at the Orange County Register of Deeds. This Form District Permit shall be invalidated if not recorded within 30 calendar days of issuance.
19. Subdivision: Prior to issuance of a Building Permit, the applicant shall record a commercial subdivision plat at the Orange County Register of Deeds. The plat shall reference the approved and recorded Form District Permit.
20. Contract for Work in the Right-of-Way: Prior to recordation of the commercial subdivision plat, the applicant shall submit a signed AGREEMENT FOR REIMBURSEMENT FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS (in the existing right-of-way relating to Phase I of the Ephesus/Fordham roadway improvements) to the Town's Engineering and Design Services Division.
21. OWASA Permit to Construct: Prior to issuance of a Building Permit, the applicant shall obtain a Permit to Construction from Orange Water and Sewer Authority.
22. Construction Plans: This project will require building permits to be issued by the Town of Chapel Hill. Prior to issuance of a Building Permit, the applicant shall submit at least 2 paper sets and 1 electronic set of architectural/structural, plumbing, mechanical, and electrical plans, with a minimum scale of ¼ inch = 1 foot, to the Town's Inspections Division for review and approval. Please note that a separate permit for a construction trailer is required. Prior to submittal, the applicant shall schedule a pre-permitting conference through the Town's Permit Technician.
23. Construction Sign: The applicant shall post a construction sign that lists the property owner's representative and telephone number, the contractor's representative and telephone number, and a telephone number for regulatory information, prior to the commencement of any land disturbing activities. The construction sign design shall be in accordance with Section 5.14.3(g) of the Land Use Management Ordinance.



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24. Construction Noise: The applicant shall comply with the Town Noise Ordinance, Article 3, Section 11-40, limiting construction noise levels outside of the following operating hours: 7:00 a.m. to 9:00 p.m. on weekdays and 8:00 a.m. to 9:00 p.m. on weekends. Construction activity may occur during hours outside of the operating hours noted above if they are conducted within noise levels that are in compliance with the Town Noise Ordinance. Exceptions to this requirement must be approved in advance by the Town Manager pursuant to the Town Noise Ordinance.
25. Safety During Construction: During demolition and/or construction, all aspects of Chapter 33 of the NC Building Code and the construction management plan shall be followed. Compliance with OSHA standards is also required. The Town's Inspections Division is authorized to stop construction if violations are observed.
26. Proposed Changes: Any proposed changes to the approved plans may require review and approval by Town Manager and issuance of a revised Form District Permit. Changes to the approved plan set may require review and approval of a revised Certificate of Appropriateness by the Community Design Commission. Design changes to the plans and structures must be submitted and approved by the Town's Inspections Division and prior to implementation.
27. Form District Permit Compliance: No building or structure for which this permit has been issued may be used or occupied until, after final inspection, a Certificate of Occupancy has been issued indicating compliance with the provisions of the Land Use Management Ordinance, and all other state and local laws, including conditions of this permit and all other required permits.
28. Foundation Survey and Inspection: Upon completion of foundation inspections, applicant shall submit a foundation survey showing building footprint and measurements from right-of-way and easement lines showing compliance with build-to-zone and setback requirements as shown on site plan sheet C3-B. Applicant shall schedule an inspection with the Zoning Enforcement Officer (919-969-5062).
29. As-Built Plans: Prior to Stormwater Inspection , the applicant shall:
 - a. a. Submit original certified as-built plans, signed and sealed by a North Carolina Registered Professional Land Surveyor, to the Town's Stormwater Management Division, the Town's Inspections Division and the Town's Engineering & Design Services Division showing building heights and elevation limitations, all building footprints and building designations, driveways, detailed calculations and totals for all other impervious surfaces (to include gravel) and any drainage/conveyance piping and structures. The



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as-built plans must also be submitted in DXF binary format using State plane coordinates and NAVD 88.

- i. Please note that it may be necessary to provide a separate as-built drawing to the Town's Stormwater Management Division related to drainage and piping information and structures as the requested information may not be easily visible on one as-built survey document.
- b. As-built plans must be accompanied by a letter certified by a licensed architect, licensed appraiser, licensed engineer, licensed general contractor, or licensed surveyor that certifies compliance with the lot parameters, building setbacks, build-to-zone, building height, story height, ground floor elevation, transparency, pedestrian access, and building element requirements described in Sections 3.11.2.4 and 3.11.2.7 of the Land Use Management Ordinance.
- c. Contact the Town's Stormwater Management Division (919-969-7246) with questions and to schedule an inspection at least 10 days in advance of requesting the Building Final Inspection from the Town's Inspections Division, and
- d. Contact the Town's Inspections Division (919-968-2718) to schedule a Zoning Inspection in advance of requesting the Building Final for TC/O and/or C/O.

A handwritten signature in blue ink, appearing to be "S. S. S.", written over a horizontal line.

Issued By: Town Manager

Date: December 2, 2015

Exhibit 1:

Plans dated March 16, 2015, revised April 27, 2015, and approved December 2, 2015

RENOVATIONS TO: RAMS PLAZA OUTPARCEL DEVELOPMENT

1728 FORDHAM BLVD, CHAPEL HILL, NC 27514

FORM DISTRICT PERMIT

FDP SUBMITTAL: MARCH 16, 2015

ENGINEERING - LAND SURVEYING - LANDSCAPE ARCHITECTURE



**Coulter
Jewell
Thames** P.A.

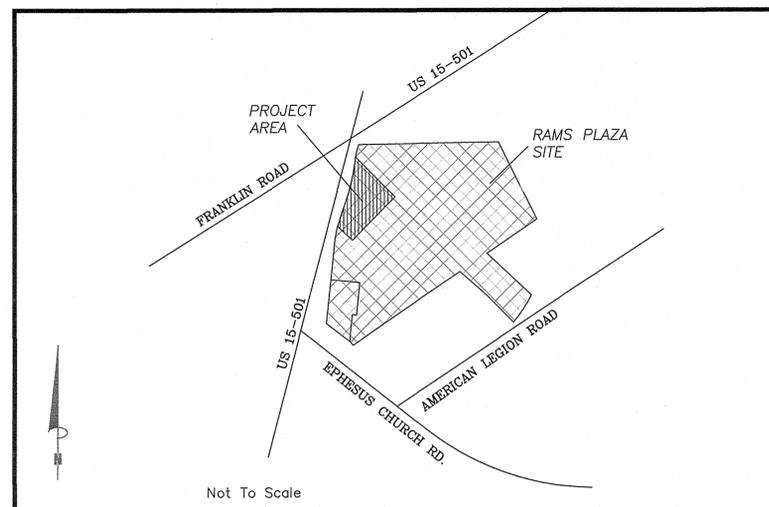
111 West Main Street
Durham, N.C. 27701
p 919.682.0368
f 919.688.5646
www.cjtpa.com

NC BOARD OF EXAMINERS FOR
ENGINEERS & SURVEYORS
LICENSE NO C-1209
NC BOARD OF LANDSCAPE ARCHITECTS
LICENSE NO C-104

PROJECT DATA

EXISTING USE	RETAIL
PROPOSED USE	RETAIL
PIN	
PARCEL 1	9799-36-6054
EXISTING LAND AREA PARCEL 1	13.4 ACRES
OUTBUILDING PARCEL AREA	22,057 SF net 0.51 ACRES
GROSS LAND AREA	24,263 SF gross .556 ACRES
PROJECT AREA	0.51 ACRES (22,061 SF)
PROJECT DISTURBANCE	0.46 ACRES (20,234 SF)
ADDITIONAL DISTURBANCE FOR CONSTRUCTION OF TOCH CONNECTOR	0.87 ACRES (38,105 SF)
EXISTING ZONING	WX-7

VICINITY MAP



LIST OF SHEETS

C0	COVER SHEET
C001	AREA MAP
C100	EXISTING CONDITIONS AND DEMOLITION PLAN
C110	CONSTRUCTION MANAGEMENT PLAN
C200	SITE PLAN
C201	LAYOUT PLAN
C210	STREETSCAPE PLAN - DESIGN COMPLIANCE
C300	GRADING AND DRAINAGE PLAN
C301	STORMWATER PLAN
C400	EROSION CONTROL PLAN & DETAILS
C500	UTILITY PLAN
C600	LIGHTING PLAN
C700	LANDSCAPE PLAN & DETAILS
C800	SITE DETAILS
A 1.0	BUILDING ELEVATIONS

CONSTRUCTION WASTE NOTES

1. BY ORANGE COUNTY ORDINANCE, CLEAN WOOD WASTE, SCRAP METAL AND CORRUGATED CARDBOARD, ALL PRESENT IN CONSTRUCTION WASTE, MUST BE RECYCLED.
2. BY ORANGE COUNTY ORDINANCE, ALL HAULERS OF CONSTRUCTION WASTE MUST BE PROPERLY LICENSED.
3. PRIOR TO ANY DEMOLITION OR CONSTRUCTION ACTIVITY ON THE SITE THE APPLICANT WILL HOLD A PRE-DEMOLITION/PRE-CONSTRUCTION CONFERENCE WITH THE COUNTY'S SOLID WASTE STAFF. THIS MAY BE THE SAME MEETING HELD WITH OTHER DEVELOPMENT OFFICIALS.
4. BECAUSE THERE MAY BE REGULATED RECYCLABLE MATERIALS (METAL, WOOD, CARDBOARD) IN SOME OF THE DEMOLITION WORK IN EXCESS OF 500 SQUARE FEET (EXISTING BUILDING) AS WELL AS IN THE NEW CONSTRUCTION OF THE PROPOSED FACILITY, THE APPLICANT WILL NEED TO CONTACT SOLID WASTE MANAGEMENT STAFF TO CONDUCT A PRE-DEMOLITION ASSESSMENT BEFORE BEGINNING WORK. IN ADDITION, THE APPLICANT WILL BE REQUIRED TO OBTAIN A REGULATED RECYCLABLE MATERIALS PERMIT FROM THE TOWN OF CHAPEL HILL.



FACILITY RENOVATION FOR

**RAMS PLAZA
OUTPARCEL
REDEVELOPMENT**

1728 Fordham Boulevard
Chapel Hill, NC

PIN 9799-36-6054
9799-35-1647
9799-36-1179

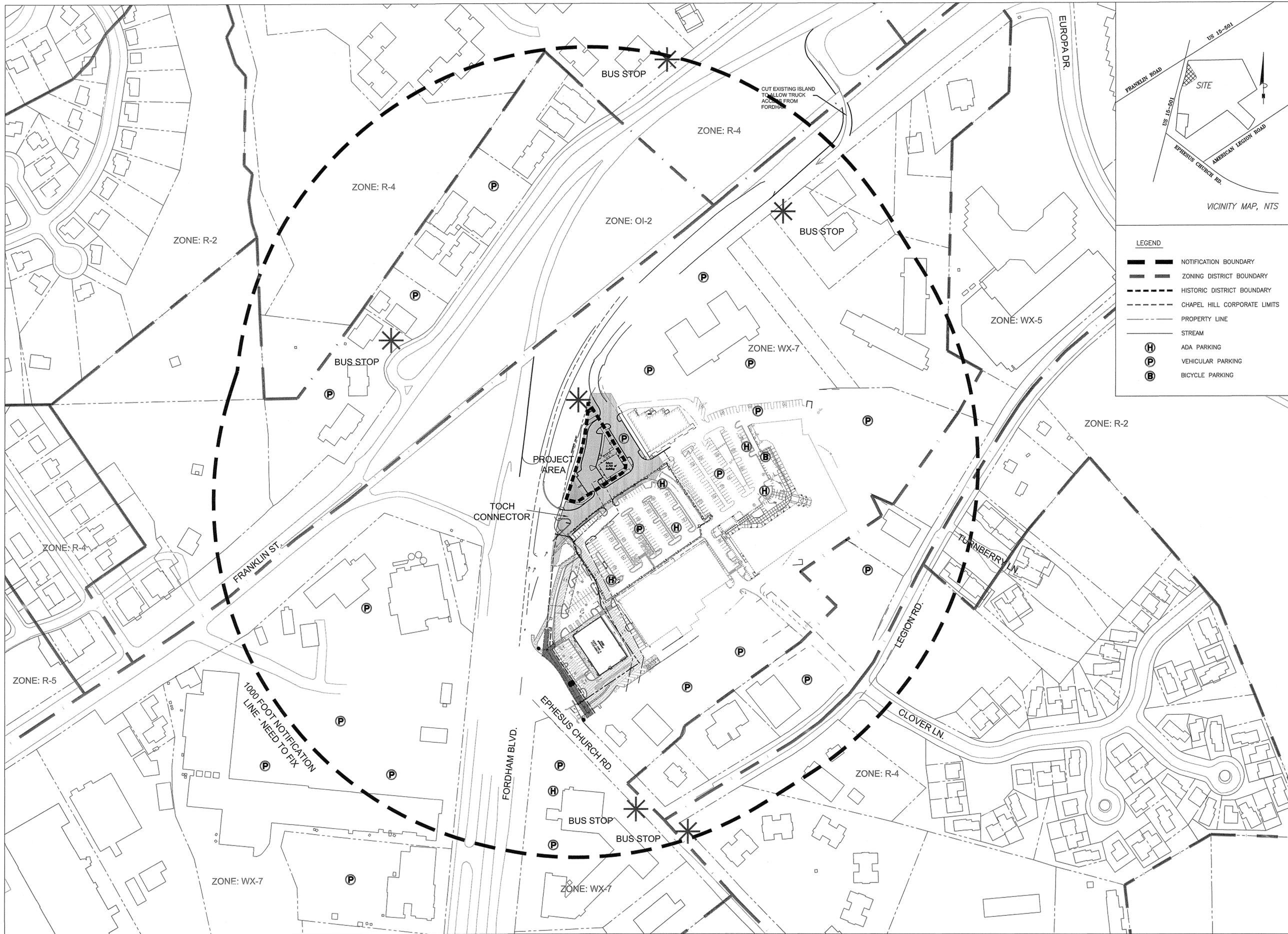
Owner:
Rams Plaza Associates LLC

**NOT ISSUED FOR
CONSTRUCTION
FORM DISTRICT
PERMIT
APPLICATION**

SHEET NAME:

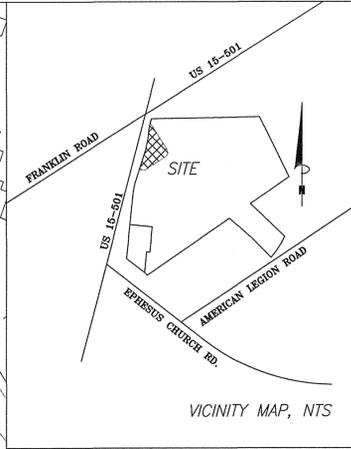
**COVER /
PROJECT
INFORMATION**

ISSUE DATE: 03.16.2015
REVISION DATE: 04.27.2015
CJT PROJECT #: 1458
DRAWN BY: WLR, PBR, MTC
SHEET NUMBER:



LEGEND

- NOTIFICATION BOUNDARY
- ZONING DISTRICT BOUNDARY
- HISTORIC DISTRICT BOUNDARY
- CHAPEL HILL CORPORATE LIMITS
- PROPERTY LINE
- STREAM
- ADA PARKING
- VEHICULAR PARKING
- BICYCLE PARKING



Coulter Jewell Thames
 ENGINEERING - LAND SURVEYING - LANDSCAPE ARCHITECTURE
 111 West Main Street
 Durham, N.C. 27701
 p 919.682.0368
 f 919.688.5646
 www.cjtpa.com

NC BOARD OF EXAMINERS FOR ENGINEERS & SURVEYORS
 LICENSE NO C-1209
 NC BOARD OF LANDSCAPE ARCHITECTS
 LICENSE NO C-104



FACILITY RENOVATION FOR
**RAMS PLAZA
 OUTPARCEL
 REDEVELOPMENT**
 1728 Fordham Boulevard
 Chapel Hill, NC

PIN 9799-36-6054
 9799-35-1647
 9799-36-1179

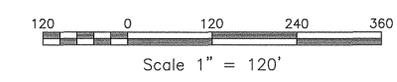
Owner:
 Rams Plaza Associates LLC

**NOT ISSUED FOR
 CONSTRUCTION**
**FORM DISTRICT
 PERMIT
 APPLICATION**
 SHEET NAME:

**AREA
 MAP**

ISSUE DATE: 03.16.2015
 REVISION DATE: 04.27.2015
 CJT PROJECT #: 1458
 DRAWN BY: WLR, PBR, MTC
 SHEET NUMBER:

AREA MAP
 Scale: 1" = 120'



C001

DRIVEWAY CONNECTION
IN DOT RIGHT OF WAY,
WORK BY ARGUS PER
THE KIMLEY HORN
CONSTRUCTION DRAWINGS
APPROVED BY THE TOWN
OF CHAPEL HILL AND DOT

PIN 9799-36-5575
TARHEEL LODGING LL
DB 4011, PG 523
PB, PG 126
USE: VACANT CAR DEALER

GRAVEL CONSTRUCTION
ENTRANCE RE:7/C410

ARC = 70.06'
R = 242.38'
CH BRG S 14°18'24" W
Ch = 69.82'
T = 35.28'

PIN 9799-36-6054
RAMS PLAZA ASSOCIATES LLC
DB 5277, PG 395
PB 57 PG 30

PIN 9799-36-1179

2,700 sf
building

BUILDING
A

SITE R
N 57° 39'

HW IN 12" ROP-372.3

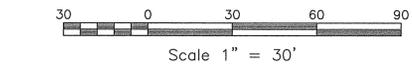
ASPHALT ROAD
CONNECTION
RE:3/C800

N 5° 31' 55.9" E NB FORDHAM BLVD.

IMPROVEMENTS TO COORDINATE FOOD LION
PARKING LOT WITH NEW TOWN OF CHAPEL
HILL CONNECTOR DRIVEWAY TO BE
PERMITTED UNDER SEPARATE APPLICATION.

BUILDING
C

DECELERATION
LANE



1/C110
CONSTRUCTION MANAGEMENT PLAN
Scale: 1" = 30'



LEGEND

- 000--- EXISTING CONTOUR
- S--- EXISTING STORM LINE
- SS--- EXISTING SANITARY SEWER LINE
- OU--- EXISTING OVERHEAD UTILITY WIRE
- LD--- EXISTING TREE LINE
- LD--- PROPOSED LIMITS OF DISTURBANCE
- TP--- TREE PROTECTION FENCE
- 275--- PROPOSED CONTOUR

FIRE AND EMERGENCY ACCESS NOTE:

---EMERGENCY ACCESS FOR APPARATUS SHALL BE PROVIDED BY THE CONTRACTOR AT ALL TIMES.

SIDEWALK CONSTRUCTION NOTE:

---CURB CUTS AND ACCESSIBLE ROUTES PER ICC A117.1 2009 ED. GROSS SLOPE IS LIMITED TO 1.5%. CALL TOWN OF CHAPEL HILL INSPECTIONS FOR INSPECTION BEFORE PLACEMENT OF CONCRETE.

CONSTRUCTION PARKING NOTE:

---CONSTRUCTION PARKING IS ALLOWED IN CONSTRUCTION STAGING AREAS AND IN THE CONSTRUCTION AREAS ON THE PROJECT SITE DURING THE PROJECT. CONSTRUCTION PARKING ON SITE MUST NOT DISRUPT THE OWNER'S USE OF THE SITE. CONSTRUCTION PARKING IS NOT ALLOWED ON LOCAL RESIDENTIAL STREETS. THERE IS NO PARKING ON EPHESUS CHURCH ROAD OR ON FORDHAM BLVD.

CONDITIONS PRIOR TO ANY LAND DISTURBING ACTIVITIES

1. THE APPLICANT WILL MEET WITH THE TOWN'S LANDSCAPE ARCHITECT PRIOR TO INSTALLING TREE PROTECTION OR SILT FENCING. TEMPORARY FENCING SHOULD BE LOCATED AND INSTALLED SO THAT IT WILL REMAIN IN PLACE THROUGHOUT DEMOLITION AND CONSTRUCTION.
2. PRIOR TO ANY LAND DISTURBANCE / DEMOLITION ON THE SITE, A PRE-CONSTRUCTION CONFERENCE SHALL BE HELD WITH:
 - A. THE ORANGE WATER AND SEWER AUTHORITY
DANNY NOLF: 919-360-1604
 - B. THE ORANGE COUNTY SOLID WASTE DEPARTMENT
JEFF SCOUTEN: 919-968-2788
 - C. THE TOWN'S LANDSCAPE ARCHITECT OR TOWN FORSTER TO REVIEW PROCEDURES FOR PROTECTION AND MANAGEMENT OF ALL PROTECTED LANDSCAPE ELEMENTS IDENTIFIED ON THE LANDSCAPE PROTECTION PLAN, AND TO DESIGNATE ONE OR MORE PERSONS AS LANDSCAPE PROTECTION SUPERVISOR(S). THE LANDSCAPE PROTECTION SUPERVISOR SHOULD BE REGISTERED WITH THE TOWN AND SHOULD BE ON SITE DURING ACTIVITIES AFFECTING TREE PROTECTION.
EMLY CAMERON, LANDSCAPE ARCHITECT: 919-969-5114
CURTIS BROOKS, TOWN FORSTER: 919-969-5116
 - D. THE TOWN'S ENGINEERING AND DESIGN SERVICES DIVISION
MIKE TAYLOR: 919-969-5084
3. THE APPLICANT SHALL POST A CONSTRUCTION SIGN THAT LISTS THE PROPERTY OWNER'S REPRESENTATIVE AND TELEPHONE NUMBER, THE CONTRACTOR'S REPRESENTATIVE AND TELEPHONE NUMBER, AND A TELEPHONE NUMBER FOR REGULATORY INFORMATION, PRIOR TO THE COMMENCEMENT OF ANY LAND DISTURBING ACTIVITIES. THE CONSTRUCTION SIGN SHALL BE ACCORDANCE WITH SECTION 5.14.3(g) OF THE LAND USE MANAGEMENT ORDINANCE.

ORANGE COUNTY SOLID WASTE STIPULATIONS

1. BY ORANGE COUNTY ORDINANCE, CLEAN WOOD WASTE, SCRAP METAL AND CORRUGATED CARDBOARD, ALL PRESENT IN CONSTRUCTION WASTE, MUST BE RECYCLED.
2. BY ORANGE COUNTY ORDINANCE, ALL HAULERS OF CONSTRUCTION WASTE MUST BE PROPERLY LICENSED.
3. PRIOR TO ANY DEMOLITION OR CONSTRUCTION ACTIVITY ON THE SITE, THE APPLICANT SHALL HOLD A PRE-DEMOLITION / PRE-CONSTRUCTION CONFERENCE WITH THE COUNTY'S SOLID WASTE STAFF. THIS MAY BE THE SAME MEETING HELD WITH OTHER DEVELOPMENT OFFICIALS.
4. THE PRESENCE OF ANY ASBESTOS CONTAINING MATERIALS ("ACM") OR OTHER HAZARDOUS MATERIALS IN CONSTRUCTION AND DEMOLITION WASTE SHALL BE HANDLED IN ACCORDANCE WITH ANY AND ALL LOCAL, STATE, AND FEDERAL REGULATIONS AND GUIDELINES.

CONDITIONS DURING CONSTRUCTION

1. THE EXISTING PLAZA WILL REMAIN IN OPERATION DURING CONSTRUCTION OF THE EXPANSION. ALL PARTS OF THE EXISTING OCCUPIED BUILDING MUST BE ACCESSIBLE FOR FIRE AND EMERGENCY ACCESS DURING CONSTRUCTION.
2. ONLY ONE DRIVEWAY MAY BE CLOSED OFF AT ANY ONE TIME. CONSTRUCTION FOR ONE DRIVEWAY ACCESS MUST BE COMPLETED BEFORE ANY SUBSEQUENT DRIVEWAY IS CLOSED.
3. DURING DEMOLITION AND/OR CONSTRUCTION, ALL ASPECTS OF CHAPTER 14 OF THE NC FIRE PREVENTION SHALL BE FOLLOWED. THE CONTRACTOR SHALL DESIGNATE ONE PERSON TO BE THE FIRE PREVENTION PROGRAM SUPERINTENDENT WHO SHALL BE RESPONSIBLE FOR ENFORCING CHAPTER 14 OF THE NCFPC AND THE ON-SITE FIRE PREVENTION PROGRAM AND ENSURE THAT IT IS CARRIED OUT THROUGH COMPLETION OF THE PROJECT.
4. FIRE WATCH: DURING CONSTRUCTION AND DEMOLITION WHERE HOT WORK, MATERIALS SUBJECT TO SPONTANEOUS COMBUSTION, OR OTHER HAZARDOUS CONSTRUCTION OR DEMOLITION IS OCCURRING, THE OWNER OR THEIR DESIGNEE SHALL BE RESPONSIBLE FOR MAINTAINING A FIRE WATCH. THE FIRE WATCH SHALL CONSIST OF AT LEAST ONE PERSON WITH A MEANS OF COMMUNICATING AN ALARM TO 911, SHALL INCLUDE A WRITTEN ADDRESS POSED IN A CONSPICUOUS LOCATION, AND SHALL INCLUDE A PERSON TO MAINTAIN CONSTANT PATROLS.
5. THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR PLACEMENT AND MAINTENANCE OF TEMPORARY REGULATORY SIGNS PRIOR TO OCCUPANCY.
6. OPEN BURNING OF TREES, LIMBS, STUMPS, AND CONSTRUCTION DEBRIS ASSOCIATED WITH THIS DEVELOPMENT IS PROHIBITED.
7. DURING THE CONSTRUCTION PHASE, ADDITIONAL EROSION AND SEDIMENT CONTROLS MAY BE REQUIRED IF THE PROPOSED MEASURES DO NOT CONTAIN THE SEDIMENT. SEDIMENT LEAVING THE PROPERTY IS A VIOLATION OF THE TOWN'S EROSION AND SEDIMENT CONTROL ORDINANCE.
8. DURING THE CONSTRUCTION PHASE THE CONTRACTOR IS TO INSPECT THE EROSION AND SEDIMENT CONTROL DEVICES DAILY, MAKE ANY NECESSARY REPAIRS OR ADJUSTMENTS TO THE DEVICES, AND MAINTAIN INSPECTION LOGS DOCUMENTING THE DAILY INSPECTIONS AND ANY NECESSARY REPAIRS.
9. PRIOR TO ANY LANE CLOSURES, IT WILL BE NECESSARY TO CONTACT ERNIE ROGERS AT 919-969-2833, OF THE CHAPEL HILL ENGINEERING DIVISION, AT LEAST 5 WORKING DAYS BEFORE THE PROPOSED WORK TO APPLY FOR A LANE CLOSURE PERMIT.
10. NO NIGHT WORK WILL BE PERMITTED.

CONDITIONS PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY

1. PRIOR TO ISSUANCE OF THE CERTIFICATE OF OCCUPANCY, THE APPLICANT SHALL CONSTRUCT THE PARKING LOT AND DRIVE AISLES TO TOWN STANDARD, DESIGN SUBJECT TO TOWN MANAGER APPROVAL.
2. PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY, THE APPLICANT SHALL PROVIDE AT LEAST THE MINIMUM REQUIRED HANDICAPPED PARKING SPACES AND DESIGN ALL HANDICAPPED PARKING SPACES, RAMPS, AND CROSSWALKS, AND ASSOCIATED INFRASTRUCTURE ACCORDING TO AMERICANS WITH DISABILITIES ACT STANDARDS, NORTH CAROLINA ACCESSIBILITY CODES, AND TOWN STANDARD. CODE REQUIREMENTS INCLUDE STANDARDS FOR THE NUMBER, SIZE AND SPACING OF HANDICAPPED SPACES, TRAVEL DISTANCE FROM PARKING SPACES TO BUILDINGS, RAMP AND SIDEWALK SLOPE, CROSS-WALK STRIPING AND OTHER CONSIDERATIONS.
3. THE APPLICANT SHALL POST A CONSTRUCTION SIGN THAT LISTS THE PROPERTY OWNER'S REPRESENTATIVE AND TELEPHONE NUMBER, THE CONTRACTOR'S REPRESENTATIVE AND TELEPHONE NUMBER, AND A TELEPHONE NUMBER FOR REGULATORY INFORMATION, PRIOR TO THE COMMENCEMENT OF ANY LAND DISTURBING ACTIVITIES. THE CONSTRUCTION SIGN SHALL BE ACCORDANCE WITH SECTION 5.14.3(g) OF THE LAND USE MANAGEMENT ORDINANCE.
4. LANDSCAPING SHALL ADHERE TO THE STANDARDS FOR SECTION 5.9.6 (a-d) OF THE LAND USE MANAGEMENT ORDINANCE.
5. THERE IS NO SPRINKLER REQUIREMENT FOR THE PROPOSED 4,000 SF BUILDING.



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111 West Main Street
Durham, N.C. 27701
p 919.682.0368
f 919.688.5646
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LICENSE NO C-1209
NC BOARD OF LANDSCAPE ARCHITECTS
LICENSE NO C-104



**FACILITY RENOVATION FOR
RAMS PLAZA
OUTPARCEL
REDEVELOPMENT**

1728 Fordham Boulevard
Chapel Hill, NC

PIN 9799-36-6054
9799-35-1647
9799-36-1179

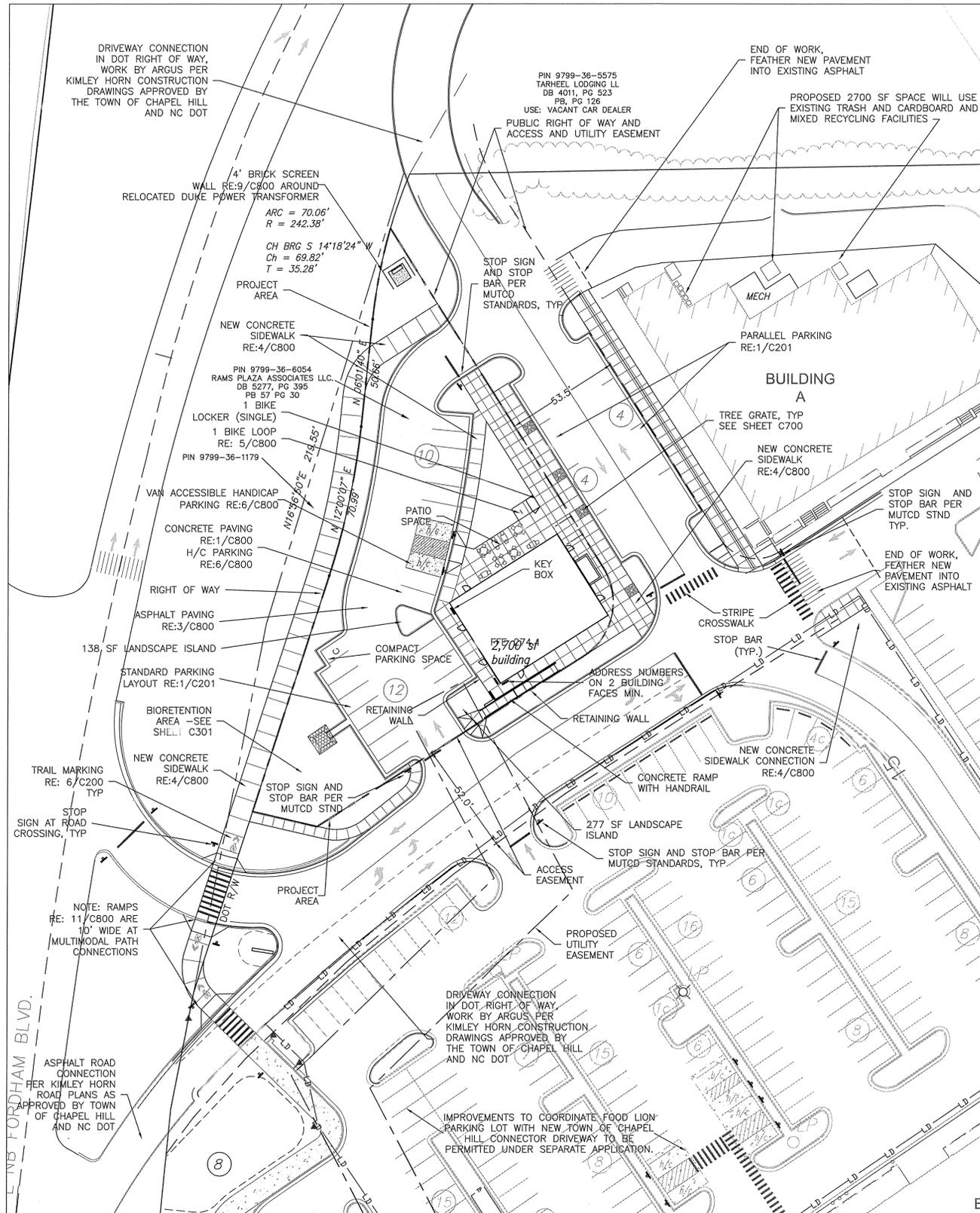
Owner:
Rams Plaza Associates LLC

**NOT ISSUED FOR
CONSTRUCTION
FORM DISTRICT
PERMIT
APPLICATION**

SHEET NAME:
**CONSTRUCTION
MANAGEMENT
PLAN**

ISSUE DATE: 03.16.2015
REVISION DATE: 04.27.2015
CJT PROJECT #: 1458
DRAWN BY: WLR, PBR, MTC
SHEET NUMBER:

C110



LEGEND

---	000	---	EXISTING CONTOUR
---	S	---	EXISTING STORM LINE
---	SS	---	EXISTING SANITARY SEWER LINE
---	OU	---	EXISTING OVERHEAD UTILITY WIRE
---	LD	---	EXISTING TREE LINE
---	TP	---	PROPOSED LIMITS OF DISTURBANCE
---	275	---	TREE PROTECTION FENCE
---	---	---	PROPOSED CONTOUR

NET OUTBUILDING PROJECT AREA	22,057 SF
GROSS PROJECT AREA	24,263 SF
REQUIRED OUTDOOR AMENITY SPACE 20%	4,853 SF
OUTDOOR AMENITY SPACE PROVIDED	5,445 SF
AMOUNT FOR PAYMENT IN LIEU	NOT REQUIRED

2/C200
OUTDOOR AMENITY CALCULATIONS
Scale: 1" = 40'

GENERAL CONDITIONS

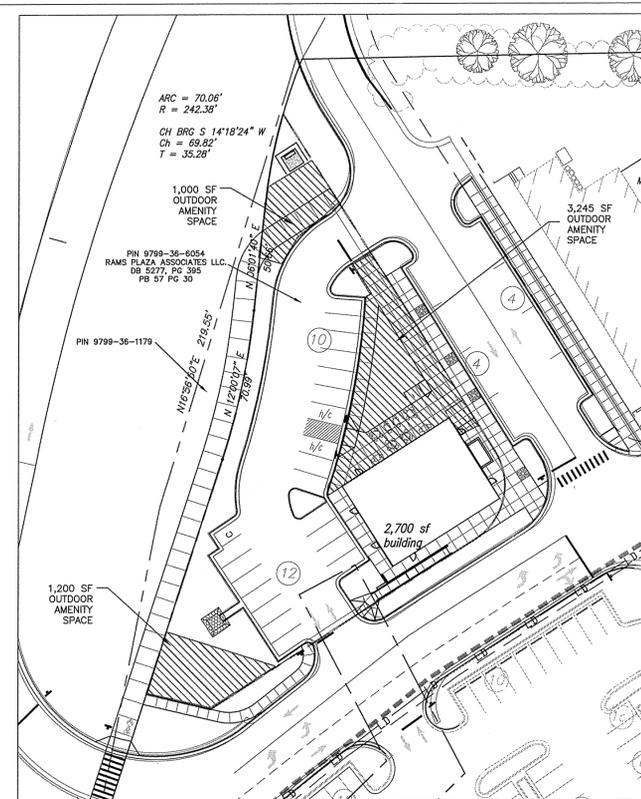
1. THE OUTPARCEL DEVELOPMENT SHALL HAVE FULL AND CONTINUOUS ACCESS TO THE SOLID WASTE AND RECYCLING FACILITIES BEHIND THE BUILDING TO THE EAST INDICATED AS BUILDING A. SHOULD THAT FACILITY BE UNAVAILABLE DUE TO CONSTRUCTION OR REDEVELOPMENT, AN ALTERNATIVE FACILITY ON THE RAMS PLAZA SITE SHALL BE MADE AVAILABLE.

CONDITIONS DURING CONSTRUCTION

1. THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR PLACEMENT AND MAINTENANCE OF TEMPORARY REGULATORY SIGNS PRIOR TO OCCUPANCY.
2. OPEN BURNING OF TREES, LIMBS, STUMPS, AND CONSTRUCTION DEBRIS ASSOCIATED WITH THIS DEVELOPMENT IS PROHIBITED.
3. DURING THE CONSTRUCTION PHASE, ADDITIONAL EROSION AND SEDIMENT CONTROLS MAY BE REQUIRED IF THE PROPOSED MEASURES DO NOT CONTAIN THE SEDIMENT. SEDIMENT LEAVING THE PROPERTY IS A VIOLATION OF THE TOWN'S EROSION AND SEDIMENT CONTROL ORDINANCE. THE APPLICANT SHALL INSPECT EROSION AND SEDIMENT CONTROL DEVICES DAILY, MAKE NECESSARY ADJUSTMENTS TO THE DEVICES AND MAINTAIN INSPECTION LOGS DOCUMENTING INSPECTIONS AND REPAIRS.
4. PRIOR TO ANY LANE CLOSURES, IT WILL BE NECESSARY TO CONTACT ERNIE ROGERS AT 919-968-2833, OF THE CHAPEL HILL ENGINEERING DIVISION, AT LEAST 5 WORKING DAYS BEFORE THE PROPOSED WORK TO APPLY FOR A LANE CLOSURE PERMIT.
5. ALL REQUIRED FIRE HYDRANTS MUST BE INSTALLED, ACTIVE, AND ACCESSIBLE FOR THE FIRE DEPARTMENT USE PRIOR TO THE ARRIVAL OF COMBUSTIBLE MATERIALS ON SITE. FIRE PROTECTION SYSTEMS SHALL BE INSTALLED ACCORDING TO TOWN ORDINANCE, THE NC FIRE CODE, AND NFPA 13.
6. EXISTING IMPROVEMENTS NOT DESIGNATED FOR DEMOLITION (SIDEWALKS, CURB & GUTTER, PAVEMENTS, TREES, PROPERTY CORNERS, ECT) WILL BE PROTECTED DURING CONSTRUCTION. IF DAMAGED BY THE CONTRACTOR, ANY DAMAGE WILL BE REPAIRED BY THE CONTRACTOR AT NO COST TO THE OWNER.
7. ALL DEMOLITION WORK IS TO FOLLOW CHAPTER 14 OF THE NC FIRE PREVENTION CODE. THE GENERAL CONTRACTOR MUST ASSIGN ONE PERSON TO BE THE FIRE PREVENTION PROGRAM SUPERINTENDENT WHO SHALL BE RESPONSIBLE FOR ENFORCING CHAPTER 14 OF THE NCFPC AND THE ON-SITE FIRE PREVENTION PROGRAM AND ENSURE THAT IT IS CARRIED OUT THROUGH COMPLETION OF THE PROJECT.
8. DURING CONSTRUCTION, FIRE DEPARTMENT ACCESS MUST BE MAINTAINED AT ALL TIMES. A 20' WIDE GATE MUST BE PROVIDED FOR VEHICULAR ACCESS INTO ANY FENCED AREAS.
9. CONFIRM THAT SIGNAGE ON THIS PLAN CONFORMS TO FINAL CONSTRUCTION ROAD DRAWINGS BY KIMLEY HORN APPROVED BY TOWN OF CHAPEL HILL AND NCDOT.

CONDITIONS PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY

1. PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY, THE APPLICANT SHALL PROVIDE THE MINIMUM REQUIRED HANDICAPPED INFRASTRUCTURE ACCORDING TO AMERICANS WITH DISABILITIES ACT AND ASSOCIATED CODES AND STANDARDS.
2. PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY, IT WILL BE NECESSARY TO REPAIR ALL DAMAGE FOR WORK IN THE PUBLIC RIGHT-OF-WAY, TO THE SATISFACTION OF THE TOWN, RELATED TO THE CONSTRUCTION OF THIS PROJECT, WHICH MAY INCLUDE PAVEMENT MILLING AND OVERLAY.
3. LANDSCAPING SHALL ADHERE TO THE STANDARDS FOR SECTION 5.9.6 (g-d) OF THE LAND USE MANAGEMENT ORDINANCE.
4. PRIOR TO CERTIFICATE OF OCCUPANCY, THE APPLICANT IS TO DISCUSS SAFETY CONSIDERATIONS WITH THE CHAPEL HILL POLICE DEPARTMENT REGARDING: VISIBILITY AND APPROPRIATE TRIMMING OF LANDSCAPE MATERIALS, LIMITED ACCESS CONTROL INCLUDING PROVISION OF LOCKS AND SAFETY STANDARDS, AND USE OF ALARMS AND CAMERAS AS APPROPRIATE.
5. PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY, NC FIRE CODE (SECTION 1410.1 REQUIRED ACCESS). VEHICLE ACCESS FOR FIREFIGHTING SHALL BE PROVIDED TO ALL CONSTRUCTION OR DEMOLITION SITES INCLUDING VEHICLE ACCESS TO WITHIN 100 FEET OF TEMPORARY OR PERMANENT FIRE DEPARTMENT CONNECTIONS AND HYDRANTS. VEHICLES ACCESS SHALL BE PROVIDED BY EITHER TEMPORARY OR PERMANENT ROADS CAPABLE OF SUPPORTING VEHICLES LOADING UNDER ALL WEATHER CONDITIONS.
6. PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY, A SECURE KEY BOX MOUNTED ON THE ADDRESS SIDE OF THE BUILDING NEAR THE MAIN ENTRANCE, SHALL BE PROVIDED TO ENSURE ADEQUATE ACCESS TO THE BUILDING BASED ON LIFE SAFETY, AND /OR FIRE PROTECTION CODES.
7. PREMISE IDENTIFICATION: PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY, APPROVED BUILDING ADDRESS NUMBERS ARE REQUIRED TO BE PLACED ON THE BUILDING IN AN ACCEPTABLE POSITION TO THE FIRE CODE OFFICIAL.
8. OWNER WILL PROVIDE A CONCRETE SIDEWALK CONNECTION FROM THE MULTI-MODAL PATH TO THE BUS STOP LOCATION ON FORDHAM BLVD.



CONSTRUCTION WASTE:

1. ALL EXISTING STRUCTURES 500 SF AND LARGER IN SIZE SHALL BE ASSESSED PRIOR TO DEMOLITION TO ENSURE COMPLIANCE WITH THE COUNTY'S REGULATED RECYCLABLE MATERIALS ORDINANCE (RMO) AND TO ACCESS THE POTENTIAL FOR DECONSTRUCTION AND/OR THE RE-USE OF SALVAGEABLE MATERIALS.
2. BY ORANGE COUNTY ORDINANCE, CLEAN WOOD WASTE, SCRAP METAL, AND CORRUGATED CARDBOARD PRESENT IN CONSTRUCTION OR DEMOLITION WASTE MUST BE RECYCLED.
3. BY ORANGE COUNTY ORDINANCE, ALL HAULERS OF MIXED CONSTRUCTION AND DEMOLITION WASTE THAT INCLUDES ANY REGULATED RECYCLABLE MATERIALS SHALL BE LICENSED BY ORANGE COUNTY.
4. PRIOR TO AND DEMOLITION OR CONSTRUCTION ACTIVITY ON THE SITE, THE APPLICANT SHALL HOLD A PRE-DEMOLITION / PRE-CONSTRUCTION CONFERENCE WITH THE SOLID WASTE STAFF. THIS MAY BE THE SAME PRE-CONSTRUCTION MEETING HELD WITH OTHER DEVELOPMENT / ENFORCEMENT OFFICIALS.
5. THE PRESENCE OF ANY ASBESTOS CONTAINING MATERIALS (ACM) AND/OR OTHER HAZARDOUS MATERIALS IN CONSTRUCTION AND DEMOLITION WASTE SHALL BE HANDLED IN ACCORDANCE WITH ANY AND ALL LOCAL, STATE, AND FEDERAL REGULATIONS AND GUIDELINES.

ARGUS
DEVELOPMENT GROUP

March 31, 2015

Town of Chapel Hill
405 Martin Luther King, Jr Blvd.
Chapel Hill, NC 27514

Re: Proposed Rams Plaza Outparcel Building (Project #14-085)
Rams Plaza
Chapel Hill, NC

Gentlemen,

As owner of Rams Plaza, this letter shall serve as acknowledgement and agreement that the future 2,700 square feet building shown on the attached plan will share the trash, cardboard, and mixed recycling facilities with other Rams Plaza occupants in the area behind Building A indicated on the attached plan.

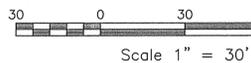
Please do not hesitate to contact us should you have any questions.

Sincerely,
Ted S. Barnes
Ted S. Barnes
Rams Plaza Associates LLC

2908 OAK LAKE BOULEVARD, SUITE 203 CHARLOTTE, NC 28208
(704) 376-9849 FAX (704) 376-9918 WWW.ARGUSDEVELOPMENTGROUP.COM

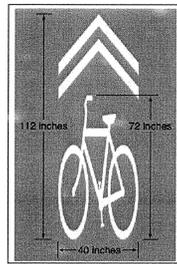
GROUND FLOOR ELEVATION CALCULATIONS

- LESS THAN 1' ALONG NORTH AND EASTERN SIDES
- 2' ALONG SOUTH SIDE
- 1' ALONG WESTERN SIDE



LAND DISTURBANCE CALCULATIONS

- LAND DISTURBANCE WITHIN THE OUTPARCEL SITE: 20,234 SF
- LAND DISTURBANCE IN THE RIGHT OF WAY RELATED TO THE CONNECTOR DRIVE AND NEW ENTRY CONSTRUCTION: 38,105 SF



USE WHITE THERMO PLASTIC PAINT TO MARK BIKE LANES

6/C200
SHARED LANE MARKING

3/C200
SPECIAL CONDITIONS

5/C200
SHARED TRASH FACILITY DOCUMENT

1/C200
SITE PLAN
Scale: 1" = 30'

Coulter Jewell Thames
ARCHITECTS

111 West Main Street
Durham, N.C. 27701
p 919.682.0368
f 919.688.5646
www.cjtpa.com

NC BOARD OF EXAMINERS FOR ENGINEERS & SURVEYORS
LICENSE NO C-1209
NC BOARD OF LANDSCAPE ARCHITECTS
LICENSE NO C-104

1302
4-27-2015

FACILITY RENOVATION FOR
RAMS PLAZA OUTPARCEL REDEVELOPMENT
1728 Fordham Boulevard
Chapel Hill, NC

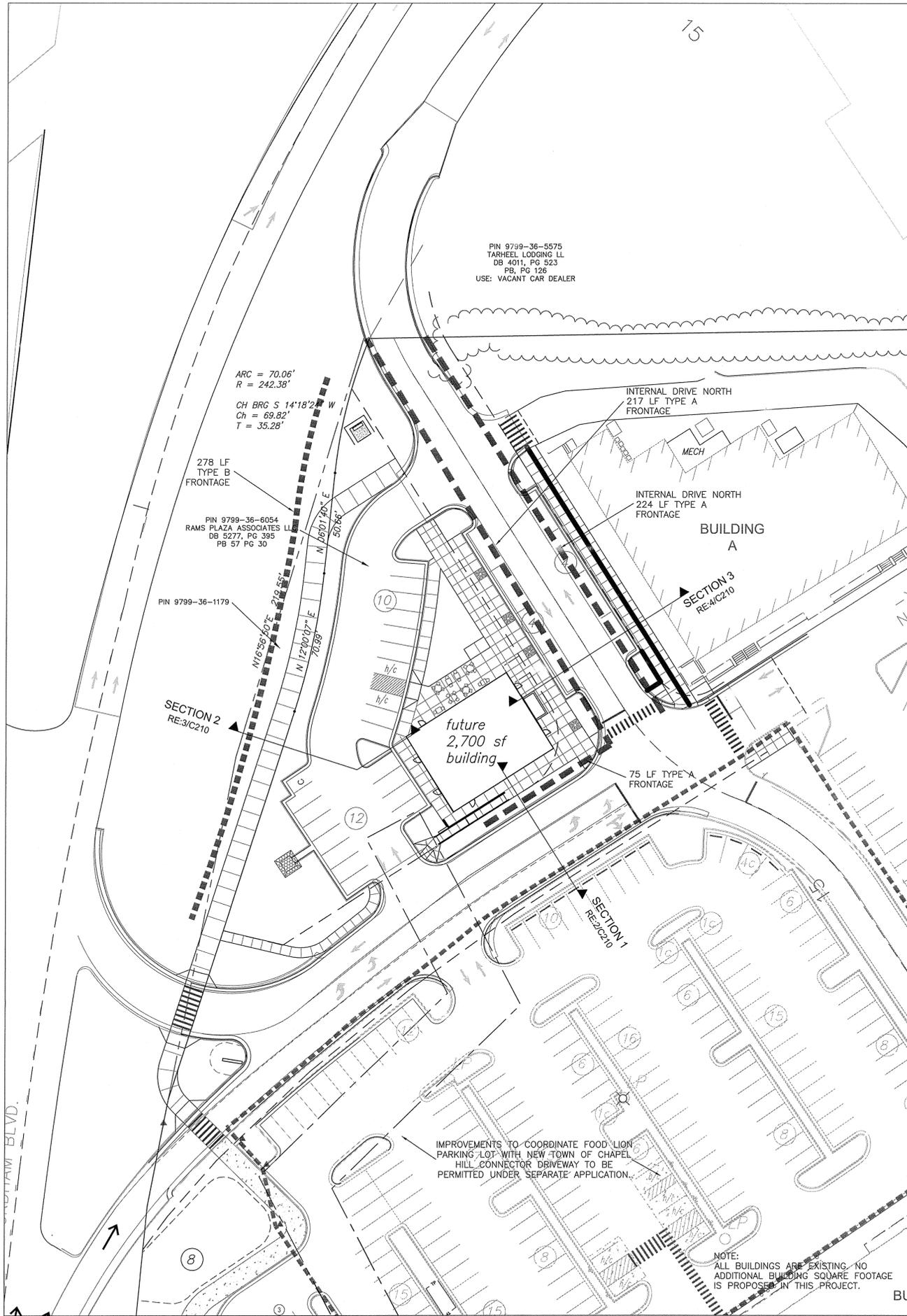
PIN 9799-36-6054
9799-35-1647
9799-36-1179

Owner:
Rams Plaza Associates LLC

NOT ISSUED FOR CONSTRUCTION
FORM DISTRICT PERMIT APPLICATION

SHEET NAME:
SITE PLAN

ISSUE DATE: 03.16.2015
REVISION DATE: 04.27.2015
CJT PROJECT #: 1458
DRAWN BY: WLR, PBR, MTC
SHEET NUMBER:
C200



LEGEND

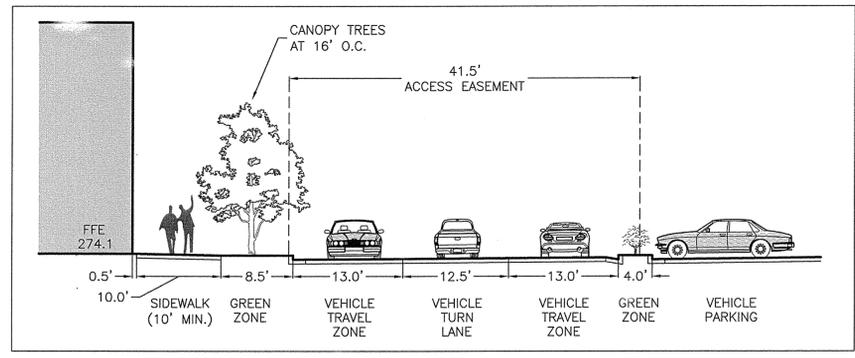
- 000--- EXISTING CONTOUR
- S--- EXISTING STORM LINE
- SS--- EXISTING SANITARY SEWER LINE
- OU--- EXISTING OVERHEAD UTILITY WIRE
- LD--- EXISTING TREE LINE
- TP--- PROPOSED LIMITS OF DISTURBANCE
- 275--- TREE PROTECTION FENCE
- 275--- PROPOSED CONTOUR

TYPE A FRONTAGE INTERNAL

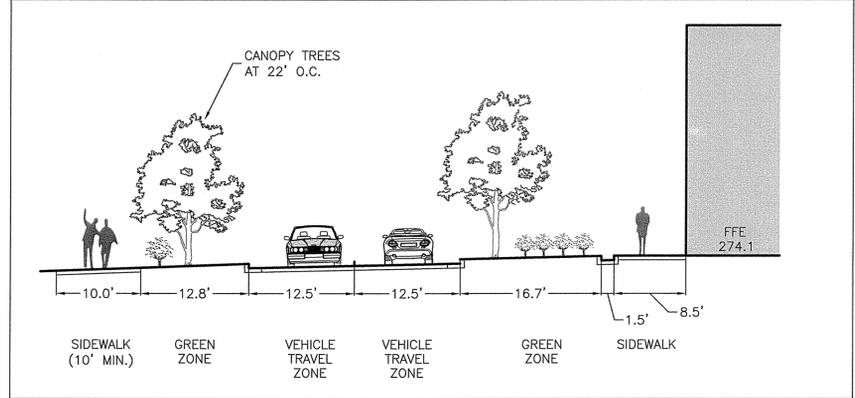
LENGTH:	REQUIREMENT	WEST SIDE 240 LF PROVIDED	EAST SIDE 224 LF PROVIDED	CONNECTOR DRIVE 75 LF PROVIDED
BUILDING SETBACK:	MIN 5' -MAX 10'	18'	NO BUILDINGS PROVIDED	18.5'
BUILDING FACADE IN BUILD-TO-ZONE	MIN 80%	0%	N/A	0%
MAXIMUM BUILDING HT	7 STORIES, 90'	1 STORY	N/A	1 STORY
PRINCIPAL ENTRANCE MUST FACE STREET	YES	YES	N/A	NO
SIDEWALK	MIN 10' WIDTH	10'	10'	10'
TREE PLANTING ZONE	MIN 8' WIDTH	N/A	8' WIDTH	8' WIDTH
TREE SPACING	AVG 40' O.C.	N/A	AVG 40' O.C.	AVG 25' O.C.
PARKING	MAX. 2 BAYS	1 BAY	1 BAY	NONE

TYPE B FRONTAGE ON FORDHAM BLVD

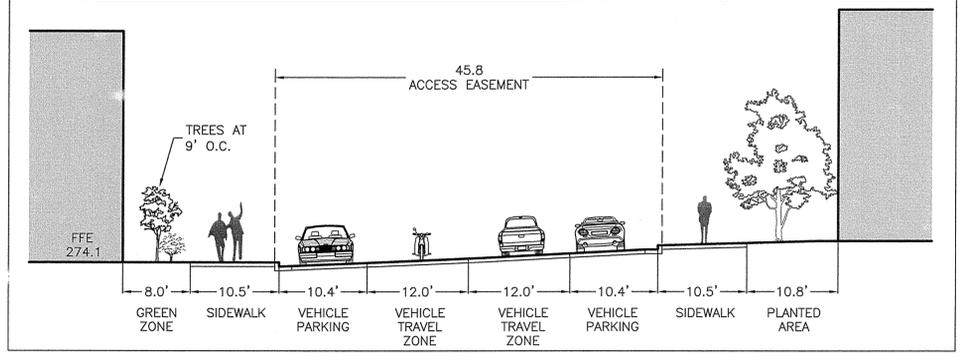
LENGTH: 290 LF	REQUIREMENT	PROVIDED
BUILDING SETBACK:	MIN 5' -MAX 85'	80'
BUILDING FACADE IN BUILD-TO-ZONE	MIN 60%	21%
MAXIMUM BUILDING HT	7 STORIES, 90'	1 STORY
PRINCIPAL ENTRANCE MUST FACE STREET	YES	YES
SIDEWALK	MIN 8' WIDTH	8'
TREE PLANTING ZONE	MIN 8' WIDTH	8'
TREE SPACING	AVG 40' O.C.	30' O.C.
PARKING	MAX. 2 BAYS	1 BAY



2/C210
SECTION 1 - TYPE A FRONTAGE
Scale: 1" = 10'



3/C210
SECTION 2 - TYPE B FRONTAGE
Scale: 1" = 10'



4/C210
SECTION 3 - TYPE A FRONTAGE
Scale: 1" = 10'

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ENGINEERING - LAND SURVEYING - LANDSCAPE ARCHITECTURE

111 West Main Street
Durham, N.C. 27701
p 919.682.0368
f 919.688.5646
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LICENSE NO C-104



FACILITY RENOVATION FOR
RAMS PLAZA OUTPARCEL REDEVELOPMENT
1728 Fordham Boulevard
Chapel Hill, NC

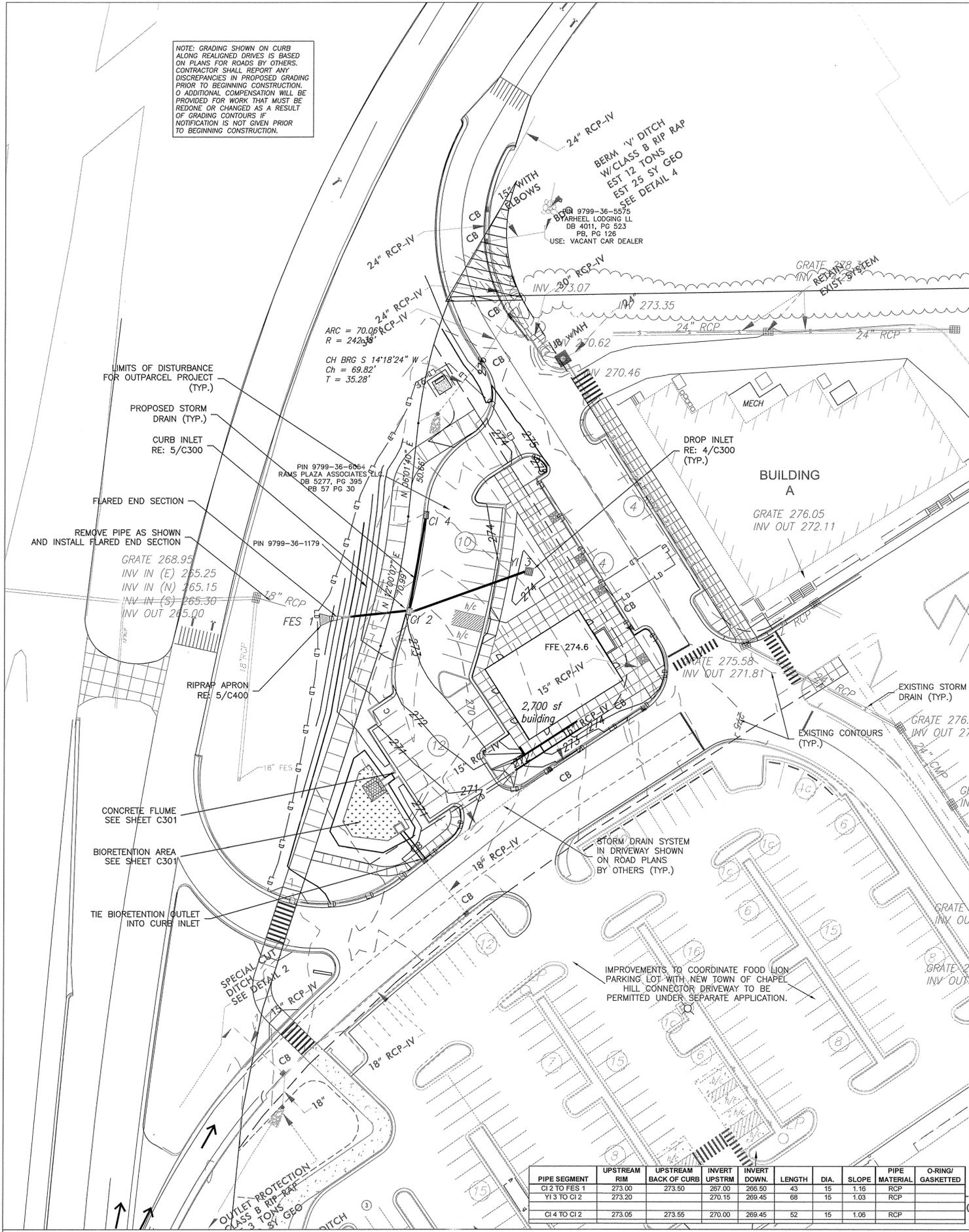
PIN 9799-36-6054
9799-35-1647
9799-36-1179

Owner:
Rams Plaza Associates LLC

NOT ISSUED FOR CONSTRUCTION
FORM DISTRICT PERMIT APPLICATION
SHEET NAME:
STREETSCAPE PLAN

ISSUE DATE: 03.16.2015
REVISION DATE: 04.27.2015
CJT PROJECT #: 1458
DRAWN BY: WLR, PBR, MTC
SHEET NUMBER:

NOTE: GRADING SHOWN ON CURB ALONG REALIGNED DRIVES IS BASED ON PLANS FOR ROADS BY OTHERS. CONTRACTOR SHALL REPORT ANY DISCREPANCIES IN PROPOSED GRADING PRIOR TO BEGINNING CONSTRUCTION. NO ADDITIONAL COMPENSATION WILL BE PROVIDED FOR WORK THAT MUST BE REDONE OR CHANGED AS A RESULT OF GRADING CONTOURS IF NOTIFICATION IS NOT GIVEN PRIOR TO BEGINNING CONSTRUCTION.



PIPE SEGMENT	UPSTREAM RIM	UPSTREAM BACK OF CURB	INVERT UPSTRM	INVERT DOWN	LENGTH	DIA.	SLOPE	PIPE MATERIAL	O-RING/GASKETTED
CI 2 TO FES 1	273.00	267.00	273.50	266.50	43	15	1.16	RCP	
Y13 TO CI 2	273.20		270.15	269.45	68	15	1.03	RCP	
CI 4 TO CI 2	273.05	273.55	270.00	269.45	52	15	1.06	RCP	

LEGEND

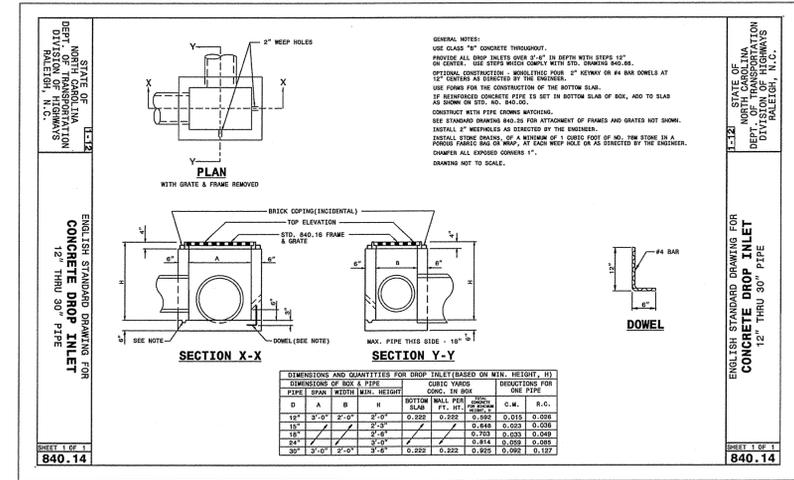
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- OU --- EXISTING OVERHEAD UTILITY WIRE
- LD --- EXISTING TREE LINE
- TP --- TREE PROTECTION FENCE
- 275 --- PROPOSED LIMITS OF DISTURBANCE
- 275 --- PROPOSED CONTOUR

- ALL DIMENSIONS AND GRADES SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE OWNER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN OR GRADE CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR ANY WORK DONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE TOWN OF CHAPEL HILL AND NCDOT STANDARDS AND SPECIFICATIONS.
- CONTRACTOR SHALL NOTIFY "NORTH CAROLINA ONE CALL" (1-800-832-4343) AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR TO CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "NORTH CAROLINA ONE CALL".
- PRIOR TO BEGINNING CONSTRUCTION, THE GENERAL CONTRACTOR SHALL SCHEDULE AND ATTEND A PRECONSTRUCTION CONFERENCE WITH THE TOWN OF CHAPEL HILL INSPECTIONS DEPARTMENT (919) 968-2718, AND A REPRESENTATIVE OF THE OWNER.
- CONSTRUCTION, MAINTENANCE AND REMOVAL OF ALL EROSION CONTROL DEVICES ARE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
- EXISTING UTILITIES AND STRUCTURES SHOWN, BOTH UNDERGROUND AND ABOVE GROUND, ARE BASED ON A FIELD SURVEY AND THE BEST AVAILABLE RECORD DRAWINGS. THE CONTRACTOR SHALL VERIFY FIELD CONDITIONS PRIOR TO BEGINNING RELATED CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO THE OWNER'S REPRESENTATIVE IMMEDIATELY.
- SOIL UNDER BUILDINGS, PAVED AREAS AND WITHIN SLOPES STEEPER THAN 3:1 (H:V) SHALL BE APPROVED, PLACED AND COMPACTED AS RECOMMENDED BY THE GEOTECHNICAL ENGINEER. THESE SOILS SHALL BE COMPACTED TO THE STANDARD PROCTOR MAXIMUM DRY DENSITY UNLESS OTHERWISE RECOMMENDED BY THE GEOTECHNICAL ENGINEER.
- ALL BANKS, SWALES AND FILL SLOPES SHALL BE NO STEEPER THAN 2.5:1 MAXIMUM. CUT SLOPES SHALL BE NO STEEPER THAN 2:1.
- ALL GRADING MUST PRODUCE SURFACE DRAINAGE ADEQUATE TO PREVENT STANDING WATER OR WET LAWN AREAS, AND TO ENSURE THAT ALL STORM WATER FLOWS TO INLETS OR OTHER POINTS OF DISCHARGE.

- ALL STORM DRAINAGE PIPES SHOWN ARE TO BE CLASS III REINFORCED CONCRETE (RCP) UNLESS NOTED OTHERWISE.
- ALL CONCRETE SHALL MEET A MINIMUM 3,000 PSI COMPRESSIVE STRENGTH.
- ALL STORM DRAINAGE CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE TOWN OF CHAPEL HILL AND NCDOT STANDARDS.
- ALL CONCRETE SHALL MEET A MINIMUM 3000 PSI COMPRESSIVE STRENGTH.
- ALL PIPE IN STORM DRAIN STRUCTURES SHALL BE STRUCK EVEN WITH INSIDE WALL.
- ALL PIPE JOINTS SHALL BE MADE WITH PREFORMED JOINT SEALER, WHICH CONFORMS TO AASHTO SPECIFICATION M-198 FOR TYPE B FLEXIBLE PLASTIC GASKETS UNLESS OTHERWISE NOTED.
- THE INTERIOR SURFACES OF ALL STORM DRAINAGE STRUCTURES SHALL BE POINTED UP AND SMOOTHED TO AN ACCEPTABLE STANDARD USING MORTAR MIXED TO MANUFACTURER'S SPECIFICATIONS.
- ALL BACKFILL SHALL BE NON-PLASTIC IN NATURE, FREE FROM ROOTS, VEGETATION MATTER, WASTE CONSTRUCTION MATERIAL OR OTHER OBJECTIONABLE MATERIAL. SAID MATERIAL SHALL BE CAPABLE OF BEING COMPACTED BY MECHANICAL MEANS AND SHALL HAVE NO TENDENCY TO FLOW OR BEHAVE IN A PLASTIC MANNER UNDER THE TAMPING BLOWS OR PROOF ROLLING.
- MATERIALS DEEMED BY THE OWNER'S REPRESENTATIVE AS UNSUITABLE FOR BACKFILL PURPOSES SHALL BE REMOVED AND REPLACED WITH SUITABLE MATERIAL.
- BACKFILLING OF TRENCHES SHALL BE ACCOMPLISHED IMMEDIATELY AFTER PIPE IS LAID. THE FILL AROUND THE PIPE SHALL BE THOROUGHLY COMPACTED TO 85% OF THE MAXIMUM DRY DENSITY OBTAINABLE WITH THE STANDARD PROCTOR TEST. THE TOP EIGHT (8) INCHES SHALL BE COMPACTED TO 100% STANDARD PROCTOR.
- UNDER NO CIRCUMSTANCES SHALL WATER BE ALLOWED TO RISE IN UNBACKFILLED TRENCHES AFTER PIPE HAS BEEN PLACED.

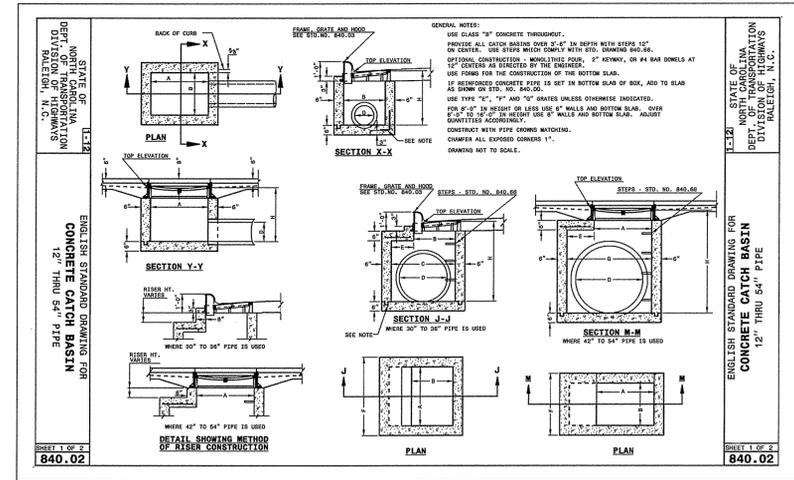
2/C300 GRADING NOTES

3/C300 STORM DRAINAGE NOTES



4/C300 NCDOT DROP INLET

NOTE: FOR INLETS Y4, Y5, AND Y6, INSTALL 18" BY 18" GRATES WITH NARROW OPENINGS FOR PEDESTRIAN TRAFFIC. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR REVIEW AND APPROVAL.



5/C300 NCDOT CURB INLET

ENGINEERING - LAND SURVEYING - LANDSCAPE ARCHITECTURE

Coulter Jewell Thames

111 West Main Street
Durham, N.C. 27701
p 919.682.0368
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NC BOARD OF LANDSCAPE ARCHITECTS LICENSE NO C-104

FACILITY RENOVATION FOR

RAMS PLAZA OUTPARCEL REDEVELOPMENT

1728 Fordham Boulevard
Chapel Hill, NC

PIN 9799-36-6054
9799-35-1647
9799-36-1179

Owner:
Rams Plaza Associates LLC

NOT ISSUED FOR CONSTRUCTION

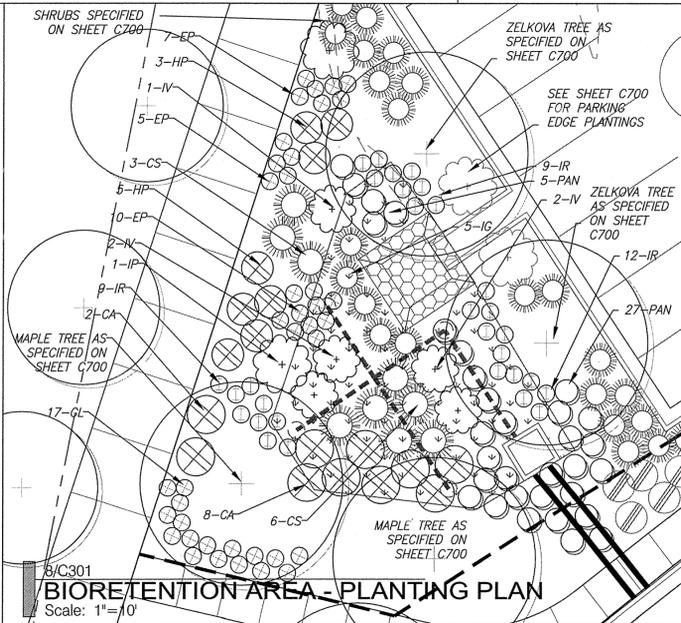
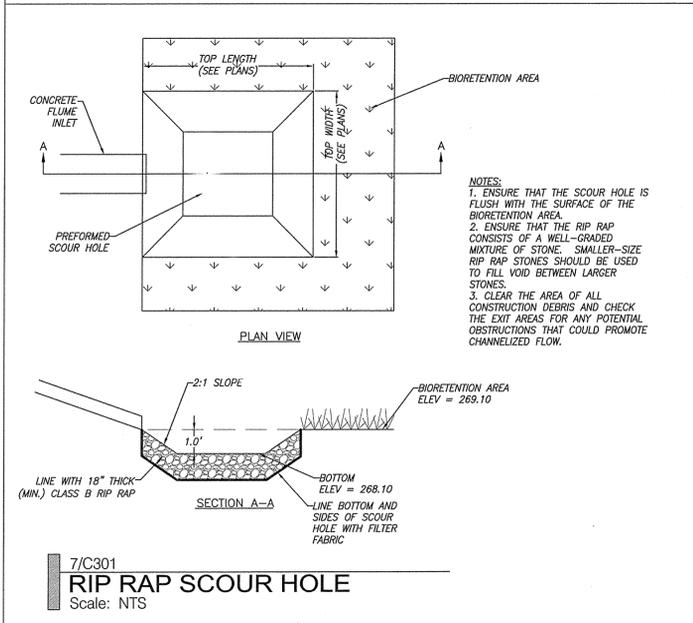
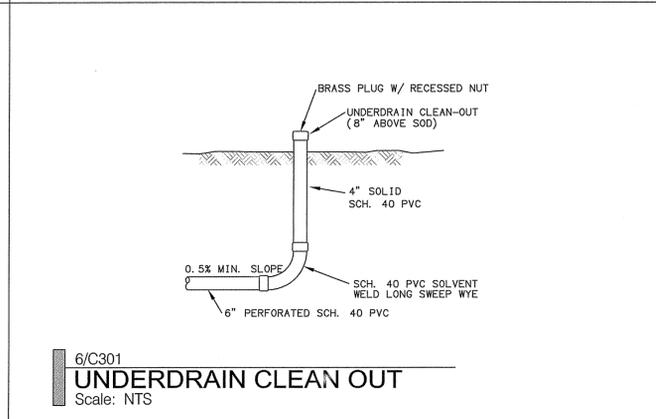
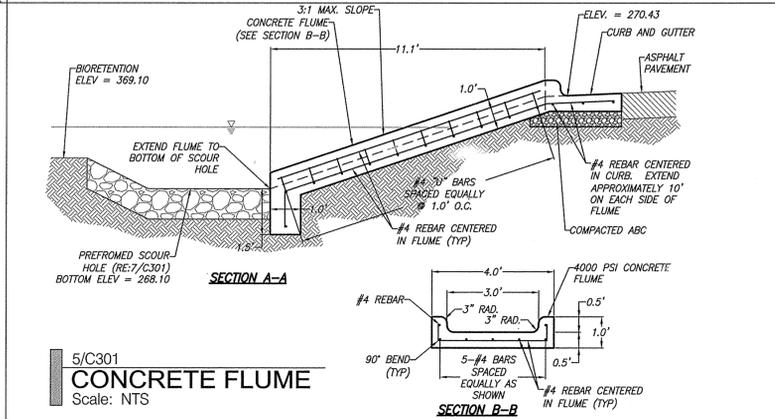
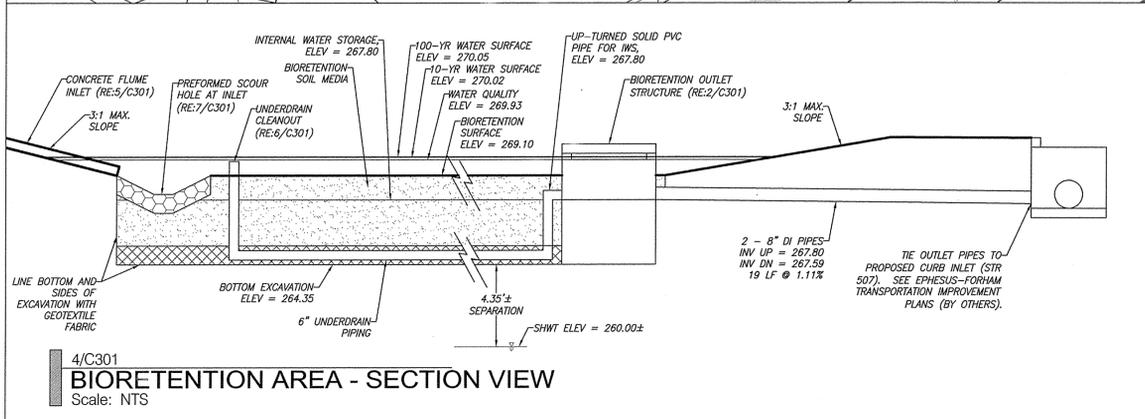
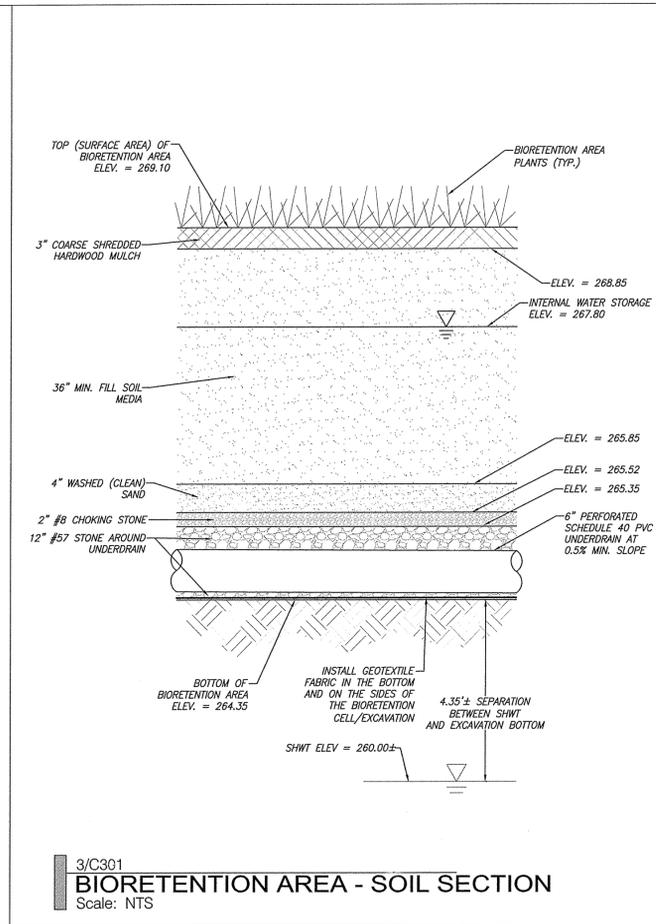
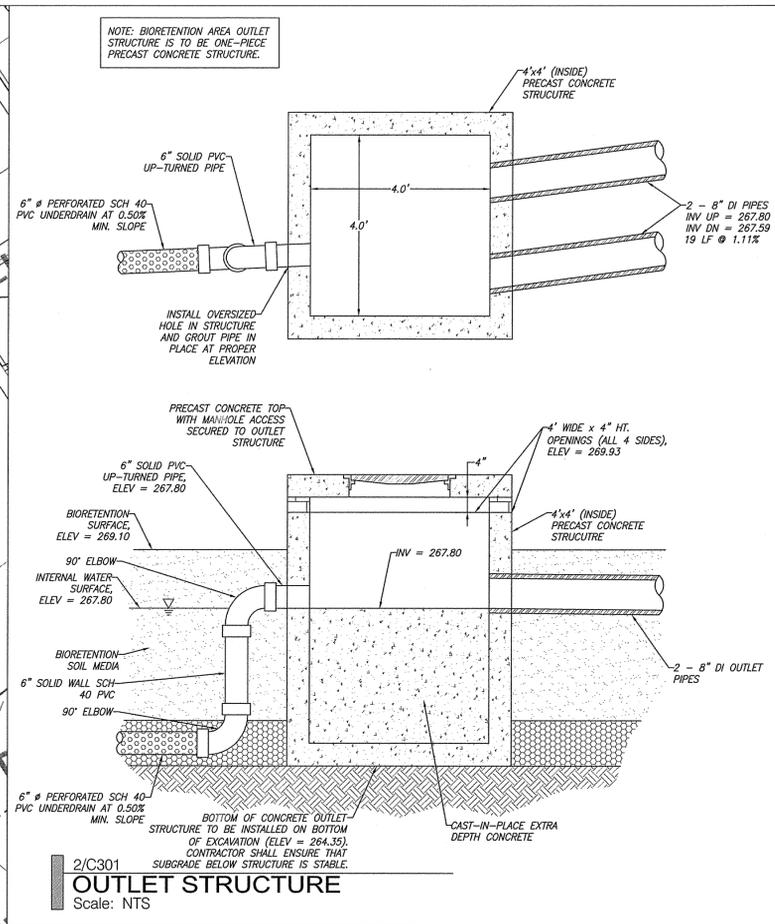
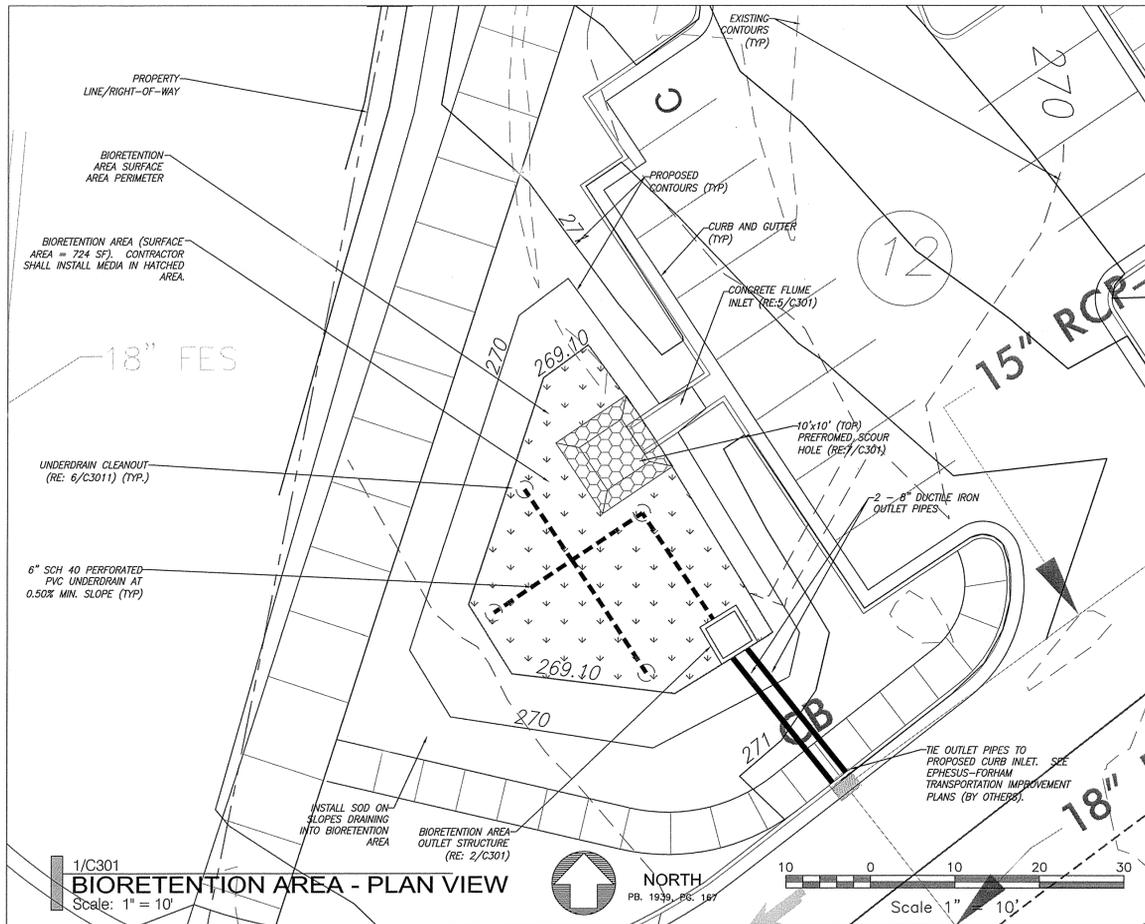
FORM DISTRICT PERMIT APPLICATION

SHEET NAME:
GRADING & DRAINAGE PLAN

ISSUE DATE: 03.16.2015
REVISION DATE: 04.27.2015
CJT PROJECT #: 1458
DRAWN BY: WLR, PBR, MTC
SHEET NUMBER:

1/C300 GRADING & DRAINAGE PLAN
Scale: 1" = 30'





Qty	Sym	Botanic Name	Common Name	Installation Size	Spacing
10	CA	Callicarpa americana	American Beautyberry	3 gal	5' o.c.
9	CS	Cornus sericea	Red-ossier Dogwood	3 gal	5' o.c.
22	EP	Echinacea purpurea	Purple Coneflower	1 qt	2' o.c.
17	GL	Gaura lindheimeri	Gaura	1 gal	2' o.c.
8	HP	Hypericum prolificum	Shrubby St. Johnswort	3 gal	4' o.c.
5	IG	Ilex glabra	Inkberry	1 qt	5' o.c.
1	IP	Illicium parviflorum	Yellow Anies	3 gal	as shown
30	IR	Iris virginiana	Iris	1 gal	2' o.c.
5	IV	Ilex verticillata	Winterberry	5 gal	5' o.c.
32	PAN	Panicum virgatum	Switchgrass	1 qt	4'-5' o.c.

BIORETENTION AREA PLANTING NOTES:
1. TREES ARE TO BE INSTALLED AT A MINIMUM OF 5' FROM PIPE LOCATIONS.
2. NO TREES OR SHRUBS TO BE PLANTED AT THE INFLOW LOCATIONS.
3. COVER CURB/VEGETATED AREA WITH 3" THICK LAYER OF SHREDED HARDWOOD MULCH (2" MINIMUM, 4" MAXIMUM) UNLESS SPECIFIED TO BE LAWN.
4. ALL PLANT MATERIAL IS TO HAVE WELL DEVELOPED BRANCHES AND A VIGOROUS ROOT SYSTEM, AND BE FREE FROM PHYSICAL DEFECTS, PLANT DISEASES, AND INSECT PESTS.
5. TREES AND SHRUBS ARE TO BE PLANTED PER THE INSTALLATION DETAILS ON SHEET C700, EXCEPT THAT TREES DO NOT NEED A WATERING RING.

4-27-2015

NOTES:

- ALL SEDIMENT AND EROSION CONTROL PRACTICES SHALL BE IN PLACE AND THE SLOPES DRAINING TO THE BIORETENTION AREA SHALL BE STABILIZED BEFORE CONSTRUCTION OF THE BIORETENTION AREA BEGINS. ALL UPHILL AREAS DRAINING TO THE BIORETENTION AREA INCLUDING PARKING AND BUILDINGS MUST BE STABILIZED AND PAVED PRIOR TO BEGINNING CONSTRUCTION OF THE BIORETENTION AREA.
- THE BIORETENTION SOIL MIX SHALL BE AT LEAST 36" DEEP AND SHALL BE A MIX THAT MEETS THE FOLLOWING SPECIFICATIONS:
- 85% - 88% (BY VOLUME) ASTM C-33 SAND
- 8% - 12% (BY VOLUME) FINES (INCLUDES BOTH SILTS AND CLAYS)
- 3% - 5% (BY VOLUME) ORGANIC/PEAT MOSS (NOTE: THE ORGANIC MATERIAL SHALL BE WELL MIXED OR LAYERED IN THE UPPER 18" OF THE SOIL MIX.)
- THE IN-PLACE HYDRAULIC CONDUCTIVITY RANGE OF THE SOIL MIX SHALL BE BETWEEN 1.0-2.0 INCHES/HOUR. THE MEDIA SHOULD BE TESTED TO DETERMINE THE ACTUAL DRAINAGE RATE AFTER PLACEMENT
- THE SOIL MIX SHALL HAVE A P-HARDY RANGE BETWEEN 10 AND 25
- SOIL MEDIA SHOULD BE SENT TO NC DEPARTMENT OF AGRICULTURE LABS TO BE ANALYZED
- SOD THAT IS INSTALLED MUST NOT BE GROWN IN SOIL THAT HAS AN IMPERMEABLE LAYER, SUCH AS CLAY.
- THE FILL SOIL MEDIA SHALL BE FREE OF STONES, STUMPS, ROOTS, OR SIMILAR OBJECTS LARGER THAN 1". SOIL SHALL BE PLACED IN LAYERS LESS THAN 18".
- ALL SLOPES DRAINING TO THE BIORETENTION AREA SHALL BE STABILIZED PRIOR TO INSTALLATION OF THE UNDERDRAIN SYSTEM.
- THE BIORETENTION AREA MUST BE COMPLETE PRIOR TO OBTAINING C.O.
- CONTRACTOR TO PROVIDE ELEVATIONS AT THE TOP OF THE MULCH, TOP OF PLANTING SOIL MEDIA, TOP OF THE SAND LAYER, TOP OF GRAVEL, AND BOTTOM OF BIORETENTION AREA TO THE ENGINEER. CONTRACTOR SHALL PROVIDE SPACING OF UNDERDRAIN PIPING TO THE ENGINEER. IF THIS INFORMATION IS NOT PROVIDED, CONTRACTOR SHALL VERIFY ELEVATIONS BY EXCAVATING DOWN TO EACH LAYER AND REPAIR BIORETENTION AREA AT NO ADDITIONAL COST TO THE OWNER.
- CONTRACTOR TO CONDUCT IN-PLACE INFILTRATION TESTING ON THE SOIL MEDIA. THE INFILTRATION RATE MUST BE BETWEEN 1-2 IN/HR. DOUBLE RING INFILTRATION TESTS (MINIMUM OF 2 TESTS OR 1 TEST/1000 SF OF FILTER MEDIA SURFACE AREA, WHICHEVER IS GREATER) SHALL BE PERFORMED AT THE COMPLETION OF THE BIORETENTION AREA CONSTRUCTION. IF THE IN-PLACE INFILTRATION RATE IS OUTSIDE OF THE ALLOWABLE RANGE, THE CONTRACTOR SHALL CORRECT THE RATE BY WHATEVER MEANS ARE NECESSARY AT NO ADDITIONAL COST TO THE OWNER. A COPY OF THE TEST RESULTS SHALL BE PROVIDED TO THE ENGINEER.
- CONTRACTOR SHALL PROVIDE A COPY OF THE PURCHASE RECEIPTS FOR ALL PIPE INSTALLED AS PART OF THE BIORETENTION AREA. THE RECEIPTS SHOULD IDENTIFY THE ASTM SPECIFICATION GOVERNING THE MANUFACTURE OF THE PIPE.
- AVOID OVER-COMPACTION BY ALLOWING TIME FOR NATURAL COMPACTION AND SETTLEMENT. NO ADDITIONAL MANUAL COMPACTION OF SOIL IS NECESSARY. BARE SOIL MATERIAL IS NEEDED TO LEVEL OUT. OVERFILL ABOVE THE PROPOSED SURFACE INVERT TO ACCOMMODATE NATURAL SETTLEMENT TO PROPER GRADE. DEPENDING UPON THE SOIL MATERIAL, UP TO 20% NATURAL COMPACTION MAY OCCUR. CONSULT WITH SOIL PROVIDER FOR NATURAL COMPACTION.
- A COPY OF THE SOIL ANALYSIS MUST BE PROVIDED TO THE ENGINEER FOR REVIEW AND APPROVAL PRIOR TO ORDERING AND INSTALLING THE FILTER MEDIA.

9/C301 BIORETENTION AREA NOTES
Scale: NTS

ENGINEERING - LAND SURVEYING - LANDSCAPE ARCHITECTURE

Coulter Jewell Thames
P.A.

111 West Main Street
Durham, N.C. 27701
p 919.682.0368
f 919.688.5646
www.cjtpa.com

NC BOARD OF EXAMINERS FOR ENGINEERS & SURVEYORS LICENSE NO C-1209
NC BOARD OF LANDSCAPE ARCHITECTS LICENSE NO C-104

4/27/15

FACILITY RENOVATION FOR

RAMS PLAZA OUTPARCEL REDEVELOPMENT

1728 Fordham Boulevard
Chapel Hill, NC

PIN 9799-36-6054
9799-35-1647
9799-36-1179

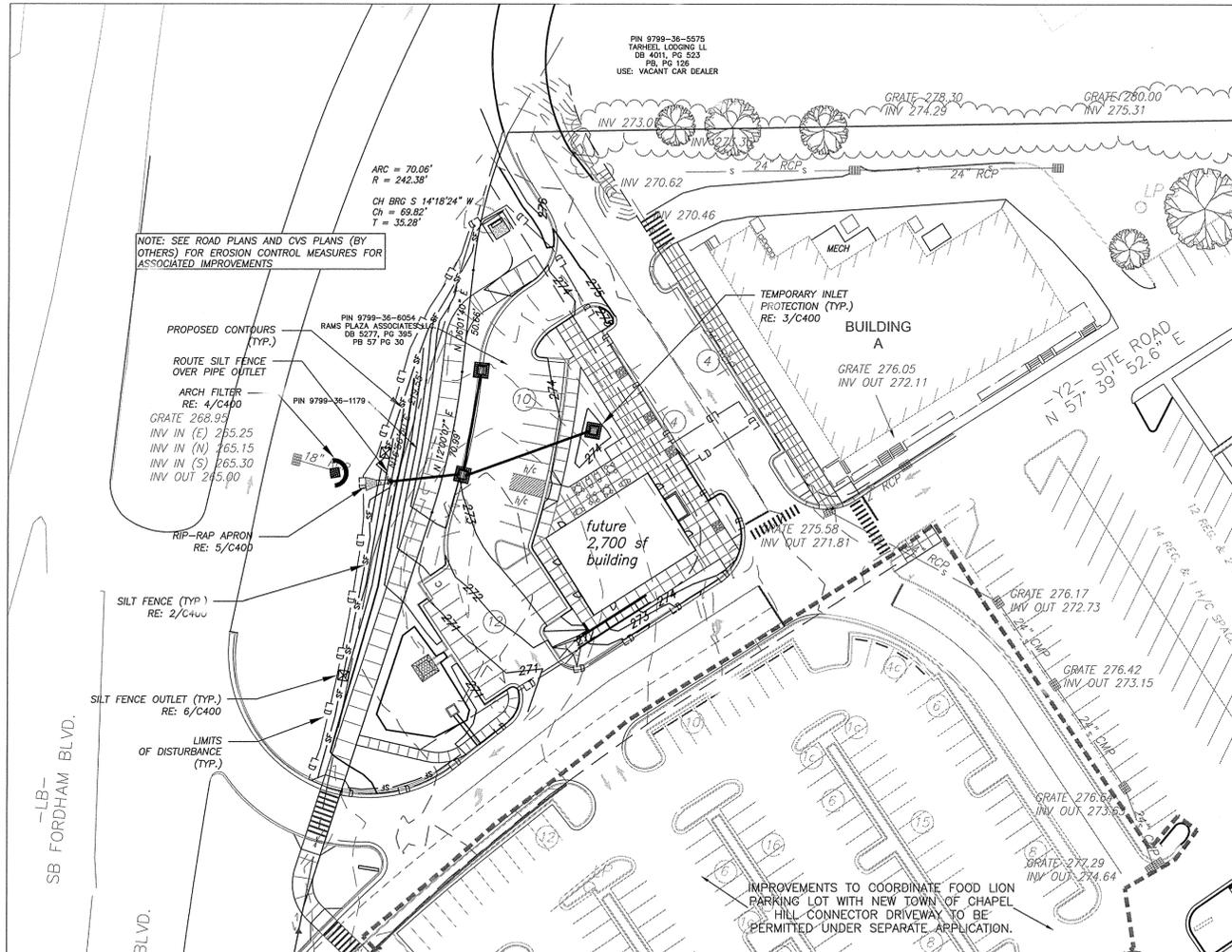
Owner:
Rams Plaza Associates LLC

NOT ISSUED FOR CONSTRUCTION
FORM DISTRICT PERMIT APPLICATION

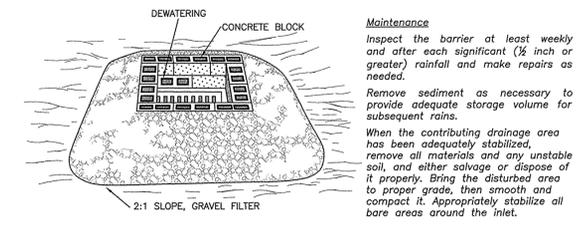
SHEET NAME:
STORMWATER PLAN

ISSUE DATE: 03.16.2015
REVISION DATE: 04.27.2015
CJT PROJECT #: 1458
DRAWN BY: WLR, PBR, MTC
SHEET NUMBER:

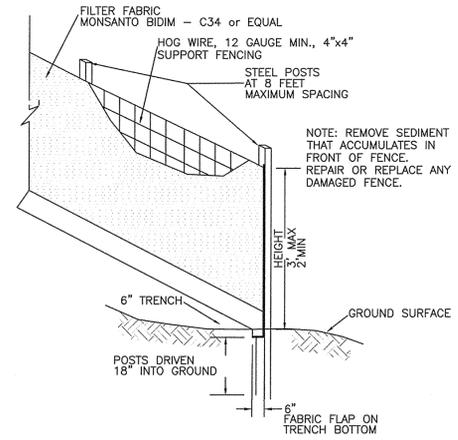
C301



- LEGEND**
- 000--- EXISTING CONTOUR
 - S--- EXISTING STORM LINE
 - SS--- EXISTING SANITARY SEWER LINE
 - OU--- EXISTING OVERHEAD UTILITY WIRE
 - LD--- EXISTING TREE LINE
 - TP--- TREE PROTECTION FENCE
 - 275--- PROPOSED CONTOUR

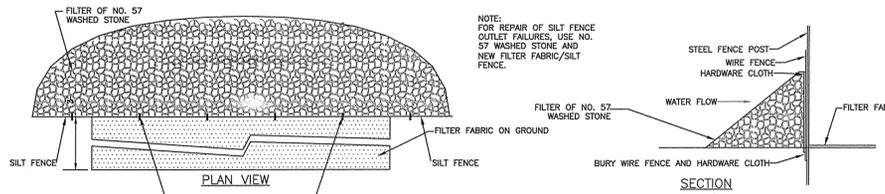


**3/C400
TEMPORARY INLET PROTECTION
NTS**



- Maintenance**
- Inspect sediment fences at least once a week and after each rainfall. Make any required repairs immediately.
 - Should the fabric of a sediment fence collapse, tear, decompose or become ineffective, replace it promptly.
 - Remove sediment deposits as necessary to provide adequate storage volume for the next rain and to reduce pressure on the fence. Take care to avoid undermining the fence during cleanout.
 - Remove all fencing materials and unstable sediment deposits and bring the area to grade and stabilize it after the contributing drainage area has been properly stabilized.

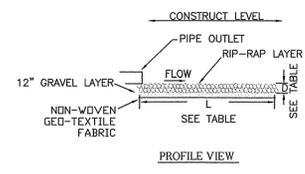
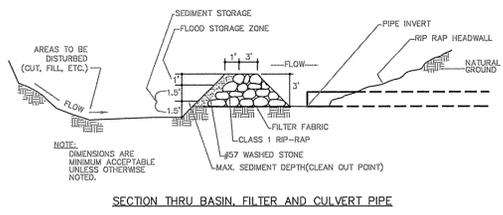
**2/C400
SILT FENCE
NTS**



**6/C400
SILT FENCE OUTLET
NTS**

- Maintenance**
- INSPECT SILT FENCE OUTLETS AT LEAST ONCE A WEEK AND AFTER EACH RAINFALL. MAKE ANY REQUIRED REPAIRS AS NEEDED.
- REMOVE SEDIMENT AS NECESSARY TO PROVIDE ADEQUATE STORAGE VOLUME FOR SUBSEQUENT RAINS.
- WHEN THE CONTRIBUTING DRAINAGE AREA HAS BEEN ADEQUATELY STABILIZED, REMOVE ALL MATERIALS AND ANY UNSTABLE SOIL, AND EITHER SALVAGE OR DISPOSE OF IT PROPERLY.
- BRING THE DISTURBED AREA TO PROPER GRADE, THEN SMOOTH AND COMPACT IT. STABILIZE AREAS AROUND THE OUTLET.

**1/C400
EROSION CONTROL PLAN
Scale: 1" = 40'**



NOTE: PLACE A 12" LAYER OF WELL GRADED 3/4" GRAVEL UNDER THE RIP-RAP LAYER AND LINE GROUND UNDER APRON WITH NON-WOVEN FILTER FABRIC TO PREVENT WASHOUT.

MAINTENANCE

INSPECT RIPRAP OUTLET STRUCTURES WEEKLY AND AFTER SIGNIFICANT (1/2" OR GREATER) RAINFALL EVENTS TO SEE IF ANY EROSION AROUND OR BELOW THE RIPRAP HAS TAKEN PLACE, OR IF STONES HAVE BEEN DISLODGED. IMMEDIATELY MAKE ALL NEEDED REPAIRS TO PREVENT FURTHER DAMAGE.

RIP RAP APRON SUMMARY

W = 4.5 FT
L = 6 FT
Th = 12 IN

**5/C400
RIP RAP APRON
NTS**

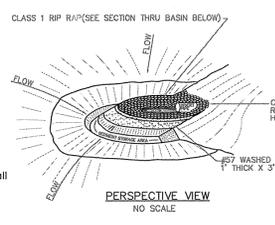
NOTE:

DURING THE CONSTRUCTION PHASE, ADDITIONAL EROSION AND SEDIMENT CONTROLS MAY BE REQUIRED IF THE PROPOSED MEASURES DO NOT CONTAIN THE SEDIMENT. SEDIMENT LEAVING THE PROPERTY IS A VIOLATION OF THE TOWN'S EROSION AND SEDIMENT CONTROL ORDINANCE, AND STATE LAW.

THE OWNER MAY BE LIABLE IF ADJOINING PROPERTIES RECEIVE SUBSTANTIAL DAMAGE ASSOCIATED WITH THE DISCHARGE OF STORMWATER FROM THIS PROPERTY.

- Maintenance**
- Inspect the filter at least weekly and after each significant (1/2 inch or greater) rainfall and make repairs as needed.
 - Remove sediment as necessary to provide adequate storage volume for subsequent rains. Replace stone as necessary along face of filter.
 - When the contributing drainage area has been adequately stabilized, remove all materials and any unstable soil, and either salvage or dispose of it properly. Bring the disturbed area to proper grade, then smooth and compact it. Appropriately stabilize all bare areas around the inlet.

**4/C400
ARCH FILTER
DETAIL
NTS**



FALL/WINTER/SPRING TEMPORARY COVER	AUGUST 15 - MAY 1
<ul style="list-style-type: none"> Lime 100 lbs/1000 sf 10-10-10 Fertilizer 25 lbs/1000 sf Oat Seed 2 lbs/1000 sf Rye Grain Seed 1 lbs/1000 sf Straw Mulch * 100 lbs/1000 sf 	<ul style="list-style-type: none"> Lime 100 lbs/1000 sf 10-10-10 Fertilizer 15 lbs/1000 sf Brown Top Millet Seed 1 lbs/1000 sf Straw Mulch * 100 lbs/1000 sf
SUMMER TEMPORARY COVER	MAY 1 - AUGUST 15
<ul style="list-style-type: none"> Lime 100 lbs/1000 sf 10-10-10 Fertilizer 15 lbs/1000 sf Brown Top Millet Seed 1 lbs/1000 sf Straw Mulch * 100 lbs/1000 sf 	<ul style="list-style-type: none"> Lime 100 lbs/1000 sf 10-10-10 Fertilizer 8 lbs/1000 sf Straw Mulch * 100 lbs/1000 sf
SPRING/FALL PERMANENT COVER	MARCH 1 - APRIL 30
<ul style="list-style-type: none"> Lime 100 lbs/1000 sf 10-10-10 Fertilizer 25 lbs/1000 sf Improved Turf Type Fine Fescue Seed 8 lbs/1000 sf Straw Mulch * 100 lbs/1000 sf 	<ul style="list-style-type: none"> Lime 100 lbs/1000 sf 10-10-10 Fertilizer 8 lbs/1000 sf Straw Mulch * 100 lbs/1000 sf
GRASS	APRIL 1 - AUGUST 15
<ul style="list-style-type: none"> BERMUDAGRASS BERMUDAGRASS(HYBRID) CENTPEDEGRASS ST.AUGUSTINEGRASS TALL FESCUE ZOYSIAGRASS 	

1. OPTIMUM DATE OF PLANTING. SEEDING BEYOND THESE DATES INCREASES THE CHANCE OF FAILURE.

2. POUNDS PER 1000 SQ.FT.

3. BUSHELS PER 1000 SQ.FT.

Seedbed Preparation: Remove rocks, stumps, roots, etc. Apply lime and fertilizer then rip the soil 4 to 6 inches to mix the nutrients into the soil and to loosen and roughen it to receive seed.

Seed Temporary cover to stabilize temporary sedimentation control measures and other accomplished. If planting season is not suitable for installation of permanent cover, contractor shall install temporary cover suitable for that season and reseed with permanent grass at earliest possible date.

* Anchor straw mulch by applying an asphalt binder emulsion at a rate of 10 gallons per 1000 SF, or install jute, paper or twine netting or excelsior mats staked to ground according to the manufacturer's instructions.

**7/C400
SEEDING SCHEDULE
NTS**

STABILIZATION TIME TABLE

1. All permanent dikes, swales, ditches, perimeter slopes, and all slopes steeper than 3:1 shall be provided with temporary or permanent stabilization with groundcover as soon as practicable but within 7 calendar days from last land-disturbing activity.

2. All other disturbed areas shall be provided with temporary or permanent stabilization with groundcover as soon as practicable but in any event within 14 calendar days from last land-disturbing activity.

"EXPOSED" AREAS INCLUDE, BUT ARE NOT LIMITED TO:

- AREAS CLEARED FOR ROADWAY CONSTRUCTION.
- AREAS CLEARED ON RESIDENTIAL BUILDING LOTS.
- DRAINAGE EASEMENTS AND OPEN DRAINAGE CHANNELS.
- SEDIMENT AND EROSION CONTROL MEASURES (SEDIMENT TRAPS, DIVERSION DITCHES, ETC.) AND THE AREAS ADJACENT TO SUCH MEASURES.

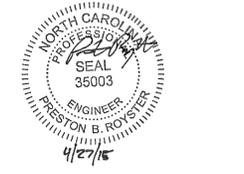
Site Area Description	Ground Stabilization*	
	Stabilization Time Frame	Stabilization Time Frame Exceptions
Perimeter dikes, swales, ditches, and slopes	7 days	None
High Quality Water (HQW) Zones	7 days	None
Slopes steeper than 3:1	7 days	If slopes are 10' or less in length and are not steeper than 2:1, 14 days are allowed
Slopes 3:1 or flatter	14 days	7 days for slopes greater than 50 feet in length
All other areas with slopes flatter than 4:1	14 days	None (except for perimeters and HQW Zones)

*Extensions of time may be approved by the permitting authority based on weather or other site-specific conditions that make compliance impracticable" (Section 11.B(2)(b))

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NC BOARD OF EXAMINERS FOR ENGINEERS & SURVEYORS LICENSE NO C-1209
NC BOARD OF LANDSCAPE ARCHITECTS LICENSE NO C-104



FACILITY RENOVATION FOR

**RAMS PLAZA
OUTPARCEL
REDEVELOPMENT**

1728 Fordham Boulevard
Chapel Hill, NC

PIN 9799-36-6054
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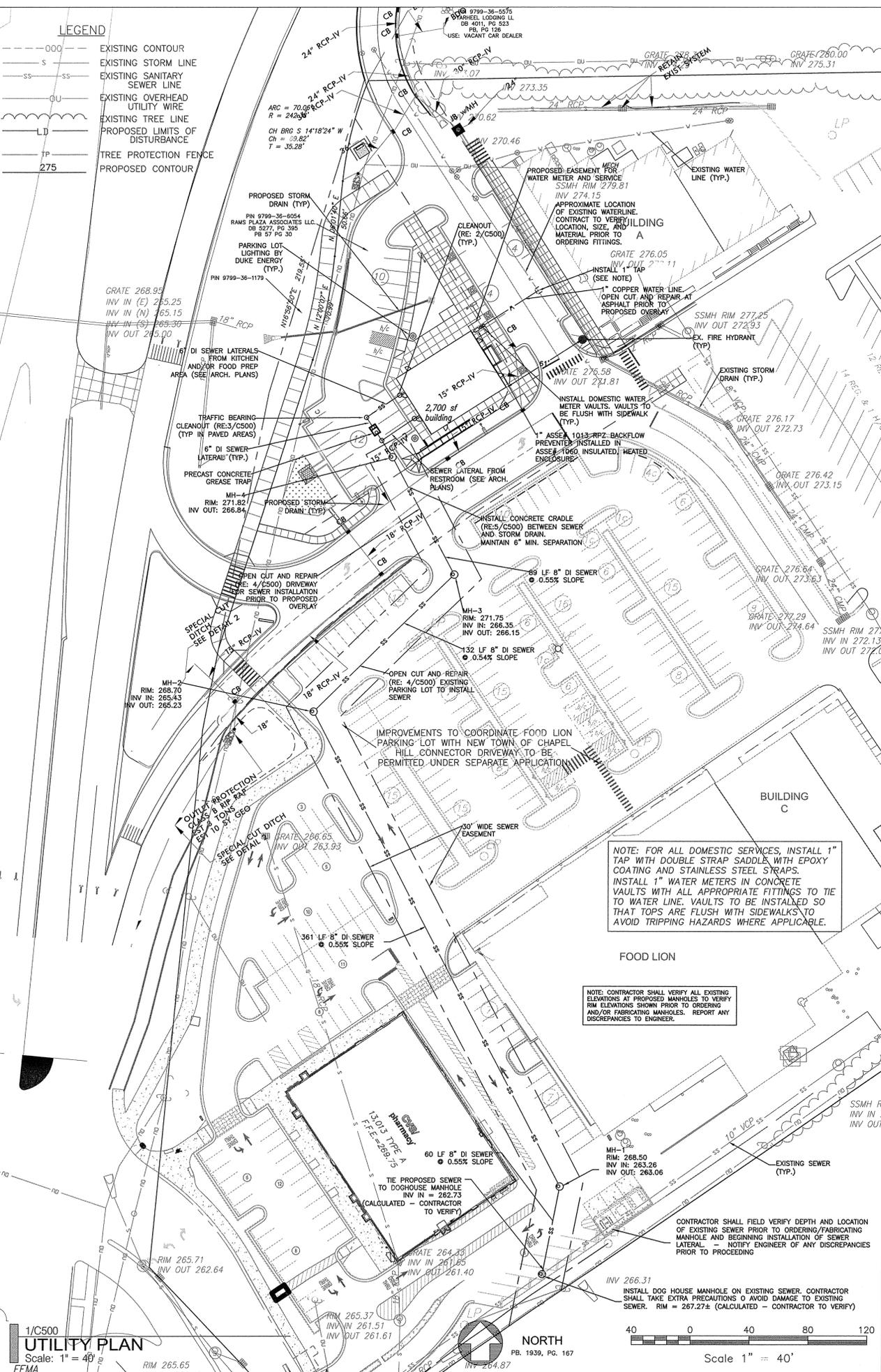
Owner:
Rams Plaza Associates LLC

**NOT ISSUED FOR
CONSTRUCTION
FORM DISTRICT
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APPLICATION**

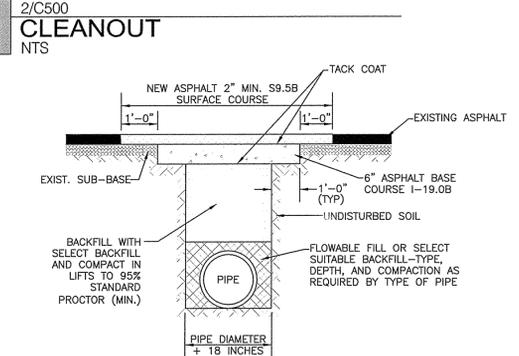
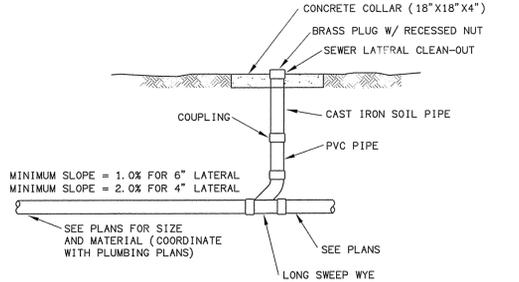
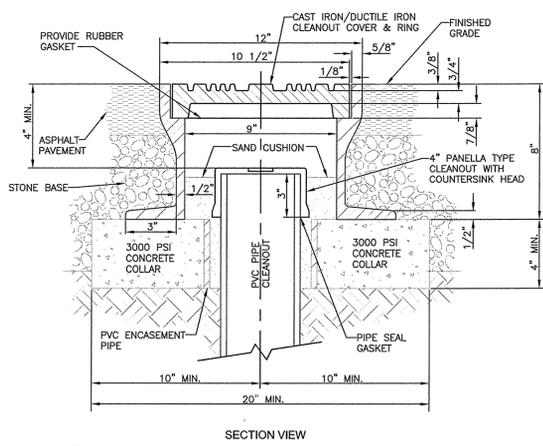
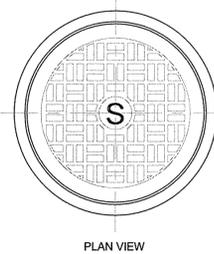
SHEET NAME:
**EROSION
CONTROL
PLAN**

ISSUE DATE: 03.16.2015
REVISION DATE: 04.27.2015
CJT PROJECT #: 1458
DRAWN BY: WLR, PBR, MTC
SHEET NUMBER:

LEGEND	
---	EXISTING CONTOUR
-S-	EXISTING STORM LINE
-SS-	EXISTING SANITARY SEWER LINE
-OU-	EXISTING OVERHEAD UTILITY WIRE
-L-	EXISTING TREE LINE
-L-D-	PROPOSED LIMITS OF DISTURBANCE
-TP-	TREE PROTECTION FENCE
275	PROPOSED CONTOUR



NOTE: UTILITY TIE-IN LOCATIONS SHOWN AT THE BUILDINGS ARE SCHEMATIC. CONTRACTOR SHALL COORDINATE TIE-IN LOCATIONS AND ELEVATIONS WITH ARCHITECTURAL AND PLUMBING PLANS.



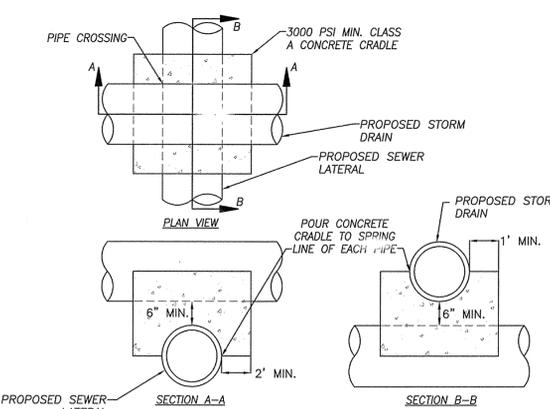
- GENERAL NOTES:
1. SAW CUT EDGES MUST BE STRAIGHT AND CLEAN.
 2. PATCHES MUST BE REGULAR, SQUARE, OR RECTANGULAR (4 STRAIGHT EDGES).
 3. FINAL SURFACE COURSE MUST BE FLUSH WITH THE EDGE OF EXISTING PAVEMENT, VERTICALLY AND HORIZONTALLY, WITH NO SPILLOVER OF ASPHALT OR TACK COAT.
 4. CARE MUST BE TAKEN NOT TO DAMAGE INTEGRITY OR APPEARANCE OF SURROUNDING PAVEMENT. IF DAMAGED, THE ENTIRE SURFACE PATCH MUST BE EXPANDED TO COVER DAMAGES.
 5. ALL STRIPING IMPACTED BY THE REPAIRS MUST BE REPLACED.
 6. PROPER TRAFFIC CONTROL AND PLATING OF THE ROAD DURING CURE TIME FOR FLOWABLE FILL MUST BE CONDUCTED APPROPRIATELY.

- GENERAL NOTES:
1. CONTRACTOR SHALL NOTIFY "NORTH CAROLINA ONE CALL" (1-800-632-4949) AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR TO CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATION SERVICE INDEPENDENT OF "NORTH CAROLINA ONE CALL".
 2. ALL WATER AND SEWER MAINS WITH PUBLIC EASEMENTS AND RIGHT-OF-WAYS TO BE OWNED, OPERATED AND MAINTAINED BY OWASA.
 3. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE TOWN OF CHAPEL HILL AND/OR OWASA STANDARDS AND SPECIFICATIONS.
 4. ALL EXISTING UNDERGROUND UTILITIES ARE APPROXIMATELY LOCATED. ACTUAL LOCATION AND DEPTH SHALL BE CONFIRMED IN THE FIELD PRIOR TO CONSTRUCTION.
 5. BEFORE STARTING ANY CONSTRUCTION OF IMPROVEMENTS WITHIN ANY CITY OR N.C.D.O.T. STREET OR HIGHWAY RIGHT-OF-WAY THE FOLLOWING PROCEDURES SHOULD BE UNDERGONE: CITY RIGHT-OF-WAY: CONTACT LOCAL AUTHORITIES' TRAFFIC ENGINEERING DEPT. FOR INFORMATION ON DETOURS, OPEN CUTTING, OR STREETS OR FOR ANY CONSTRUCTION WITHIN RIGHT-OF-WAY. N.C.D.O.T. RIGHT-OF-WAY: CONTACT PROJECT ENGINEERS AND OBTAIN ALL PERMITS AND ENCLOSURES (KEEP COPIES ON CONSTRUCTION SITE, ALSO CONTACT N.C.D.O.T. DISTRICT OFFICE 24 HOURS IN ADVANCE BEFORE PLACING CURB AND GUTTER).
 6. ALL DIMENSIONS AND GRADES SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE OWNER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN OR GRADING CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR ANY WORK DONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
 7. POWER, TELEPHONE, AND GAS SERVICES TO BUILDINGS SHALL BE UNDERGROUND. ACCESS AND SERVICE ROUTES TO BE COORDINATED WITH THE PUBLIC UTILITIES, CONTRACTOR AND THE OWNER.
 8. RESURFACING OF STREET DUE TO UTILITY CUTS SHALL BE REQUIRED AT THE DIRECTION OF ENGINEERING. (MINIMUM 50' TO EITHER SIDE OF UTILITY CUTS).

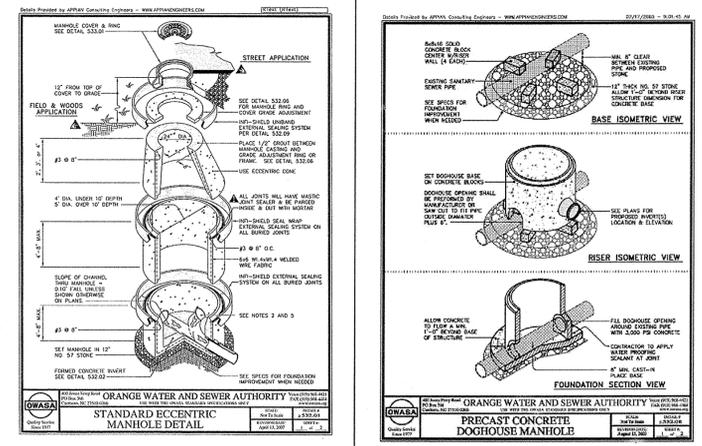
- SANITARY SEWER:
1. BACKFLOW PREVENTORS SHALL BE PROVIDED FOR ALL UNITS WITH FINAL FLOOR ELEVATIONS OF BUILDINGS LESS THAN 1'-0" ABOVE UPSTREAM MANHOLE.
 2. MINIMUM COVER OF 5 FEET IN TRAFFIC AREAS TO BE PROVIDED FOR ALL COLLECTOR LINES 4 INCHES AND LARGER. IF LESS THAN 5 FEET, DUCTILE IRON PIPE SHALL BE REQUIRED.
 3. MINIMUM SLOPE FOR 4 INCH SANITARY SEWER COLLECTION LINES SHALL BE NO LESS THAN 2.0% WITH CLEANSOUTS EVERY 75 LINEAL FEET.
 4. MINIMUM SLOPE FOR 6 INCH SANITARY SEWER COLLECTION LINES SHALL BE NO LESS THAN 1.0% WITH CLEANSOUTS EVERY 75 LINEAL FEET.
- WATER:
1. ALL OF THE WATER LINES BEHIND THE MASTER METERS ON WEAVER DAIRY ROAD AND SUNRISE ROAD ARE PRIVATELY OWNED AND OPERATED BY CAROL WOODS.
 2. WATERLINES WILL BE 3" OFF CURB AND CUTTER UNLESS SHOWN OTHERWISE.
 3. LAY WATER MAINS AT LEAST 10 FEET LATERALLY FROM EXISTING OR PROPOSED SANITARY SEWERS. IF LOCAL CONDITIONS OR BARRIERS PREVENT A 10 FOOT SEPARATION, LAY THE WATER MAIN WITH AT LEAST 18" VERTICAL SEPARATION ABOVE THE TOP OF THE SANITARY SEWER PIPE EITHER IN A SEPARATE TRENCH OR IN THE SAME TRENCH ON A BENCH OF UNDISTURBED EARTH.
 4. WHEN A PROPOSED WATER MAIN CROSSES OVER A PROPOSED OR EXISTING SANITARY SEWER, LAY THE WATER MAIN WITH AT LEAST 18" VERTICAL SEPARATION ABOVE THE TOP OF THE SANITARY SEWER. IF LOCAL CONDITIONS PREVENT AN 18" VERTICAL SEPARATION, CONSTRUCT BOTH THE WATER MAIN AND THE SANITARY SEWER FOR A DISTANCE OF 10 FEET ON EACH SIDE TO THE POINT OF CROSSING WITH FERROUS PIPE HAVING WATER MAIN QUALITY COUPLERS.
 5. WHEN A PROPOSED WATER MAIN CROSSES UNDER A PROPOSED OR EXISTING SANITARY SEWER, CONSTRUCT BOTH THE WATER MAIN AND THE SANITARY SEWER OF FERROUS MATERIALS WITH JOINTS THAT ARE EQUIVALENT TO WATER MAIN STANDARDS FOR A DISTANCE OF 10 FEET ON EACH SIDE OF THE POINT OF CROSSING. CENTER THE SECTION OF WATER PIPE AT THE POINT OF CROSSING.
 6. MAINTAIN A MINIMUM COVER OF 42" BELOW FINISHED GRADE OVER ALL PIPES UNLESS OTHERWISE DIRECTED OR SHOWN ON THE PLANS. DUE TO THE HEIGHTS OF VALVES, INCREASE THE COVER DEPTHS ADJACENT TO THE VALVES OR VARIED AT POINTS OF TIE-IN TO EXISTING LINES.
 7. ALL PDC(S) AND HYDRANT(S) TO BE PROVIDED WITH 5 INCH DIAMETER STORZ CONNECTIONS.

- OTHER NOTES:
1. ALL UTILITIES SHOWN ARE APPROXIMATELY LOCATED. CONTRACTOR TO VERIFY LOCATIONS IN THE FIELD AND REPORT ANY DISCREPANCIES TO ENGINEER. NO ADDITIONAL COMPENSATION SHALL BE PROVIDED TO CONTRACTOR FOR FIELD VERIFICATION IF DISCREPANCIES ARE NOT REPORTED.
 2. CONTRACTOR TO FIELD LOCATE EXISTING WATER LINE, UNCOVER LINE FOR INSPECTION, AND VERIFY MATERIAL AND OUTSIDE DIAMETER PRIOR TO ORDERING ANY FITTINGS.
 3. CONTRACTOR TO KEEP SPARE VALVE, COUPLING, AND OTHER REQUIRED FITTINGS ON SITE DURING CONSTRUCTION TO REPAIR ANY WATER LINE BREAKS OR LEAKS CAUSED BY CONSTRUCTION.
 4. CONTRACTOR SHALL COORDINATE ALL WATER SYSTEM SHUT DOWNS WITH OWNER TO INSURE SERVICE IS NOT STOPPED DURING TIMES OF PEAK DEMAND. WATER LINE TIE-INS MAY NEED TO BE MADE AT NIGHT OR OTHER LOW DEMAND TIMES.
 5. ALL UTILITY SHUT DOWNS FOR TIE-INS OR RELOCATIONS ARE TO BE COORDINATED WITH OWNER.
 6. CONTRACTOR TO FIELD LOCATE ALL EXISTING PIPE JOINTS AND REPORT LOCATIONS TO ENGINEER PRIOR TO PROCEEDING WITH WATER INSTALLATION.
 7. PRIVATE WATER SYSTEM TO BE INSTALLED TO OWASA STANDARDS. WATER LINES TO BE INSPECTED BY OWASA INCLUDING OBSERVATION OF INSTALLATION, PRESSURE TESTING, AND PURITY SAMPLING. CONTRACTOR IS RESPONSIBLE FOR COORDINATING INSPECTIONS WITH OWASA, THE OWNER, AND THE ENGINEER.
 8. CONTRACTOR IS RESPONSIBLE FOR PROVIDING A MARKED-UP SET OF PLANS SHOWING ANY AND ALL UTILITY INSTALLATIONS AND MODIFICATIONS BASED ON THE ACTUAL INSTALLATION TO THE ENGINEER. CONTRACTOR MUST ALSO LOCATE THE NEWLY INSTALLED WATER LINE AND WATER FEATURES FOR THE UTILITY AS-BUILT SURVEY.

3/C500 TRAFFIC-BEARING CLEANOUT NTS



5/C500 CONCRETE CRADLE NTS



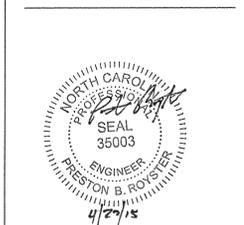
6/C500 MANHOLE NTS

7/C500 UTILITY NOTES

Coulter Jewell Thames

111 West Main Street
Durham, N.C. 27701
p 919.682.0368
f 919.688.5646
www.cjtpa.com

NC BOARD OF EXAMINERS FOR ENGINEERS & SURVEYORS
LICENSE NO C-1209
NC BOARD OF LANDSCAPE ARCHITECTS
LICENSE NO C-104



FACILITY RENOVATION FOR RAMS PLAZA OUTPARCEL REDEVELOPMENT

1728 Fordham Boulevard
Chapel Hill, NC

PIN 9799-36-6054
9799-35-1647
9799-36-1179

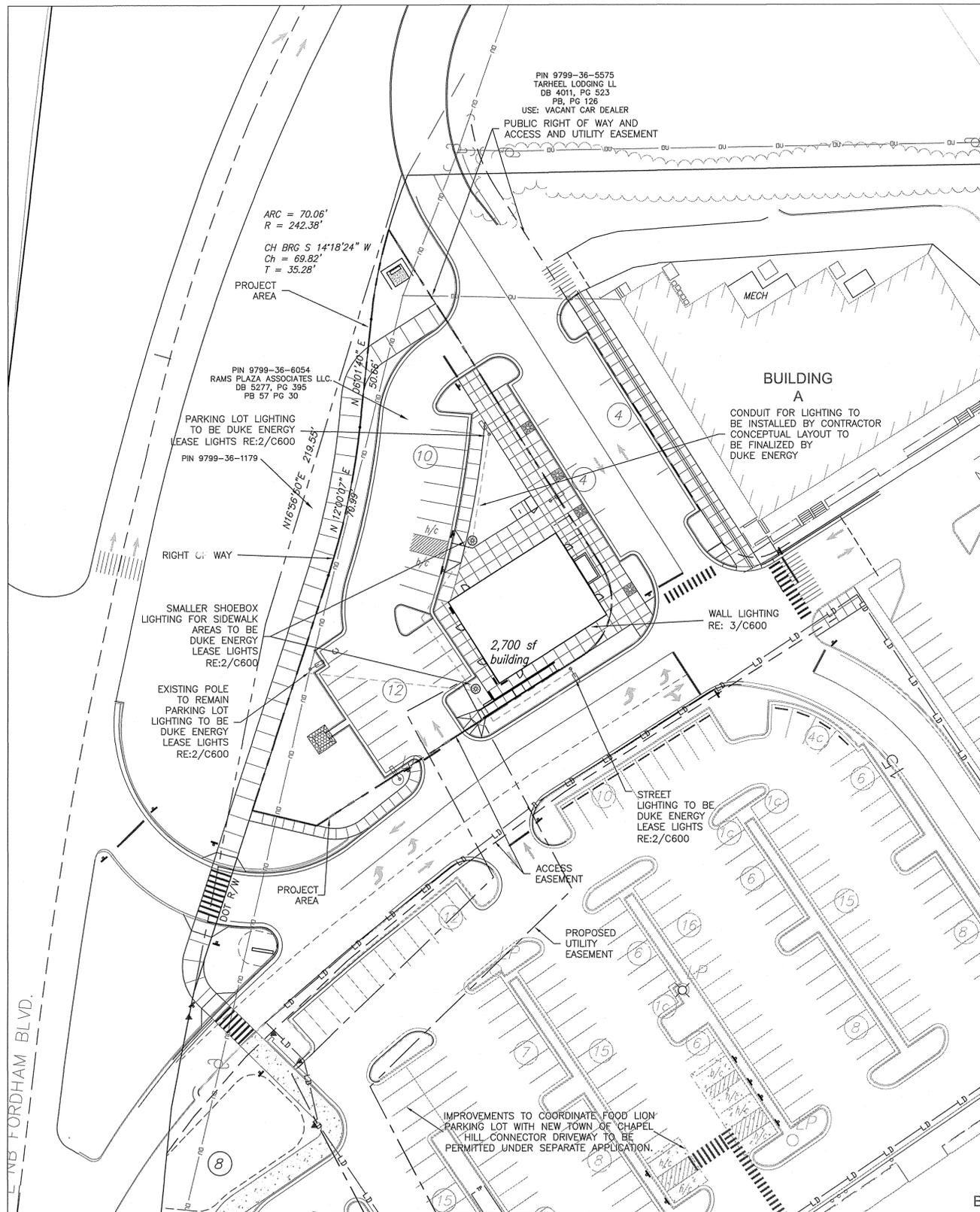
Owner:
Rams Plaza Associates LLC

NOT ISSUED FOR CONSTRUCTION
FORM DISTRICT PERMIT APPLICATION

SHEET NAME:
UTILITY PLAN

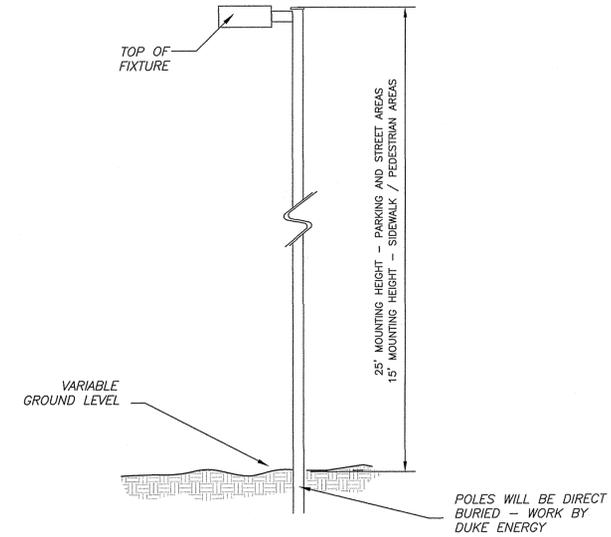
ISSUE DATE: 03.16.2015
REVISION DATE: 04.27.2015
CJT PROJECT #: 1458
DRAWN BY: WLR, PBR, MTC
SHEET NUMBER:

C500



LEGEND

---000---	EXISTING CONTOUR
—S—	EXISTING STORM LINE
—SS—SS—	EXISTING SANITARY SEWER LINE
—OU—	EXISTING OVERHEAD UTILITY WIRE
—LD—	EXISTING TREE LINE
—TP—	PROPOSED LIMITS OF DISTURBANCE
—275—	TREE PROTECTION FENCE
—	PROPOSED CONTOUR



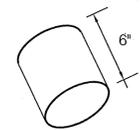
CONDUIT ALLOWANCE = ??? LF
 CONTRACTOR TO COORDINATE LIGHT POLE AND CONDUIT LOCATIONS WITH DUKE ENERGY

LIGHTING NOTES

- Measures shall be provided to prevent light spillover onto adjacent properties and glare toward motor vehicle operators. Exterior lights shall be shielded so they do not cast direct light beyond the property line.
- Provide 2" PVC conduit under pavement, under heavily landscaped areas as necessary, and as determined by Duke Energy to provide access to all light fixtures. Conduit locations shown on plans are conceptual. Coordinate with Duke Energy to finalize conduit locations and lengths.

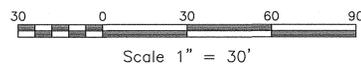
- SPECIAL COORDINATION NOTES:**
- CONTRACTOR IS TO COORDINATE LIGHT POLE AND CONDUIT LOCATIONS WITH DUKE ENERGY PRIOR TO INSTALLATION OF WALLS AND PAVING.
 - ABOVE GROUND PEDESTALS AND LIGHT POLES WILL BE PROVIDED AND INSTALLED BY DUKE ENERGY.
 - CONTRACTOR IS TO REFER TO DUKE ENERGY SPECIFICATIONS IN DETAILS 4 AND 5 ON THIS SHEET, FOR CONDUIT INSTALLATION.
 - CONDUIT IS TO BE FURNISHED AND INSTALLED BY CONTRACTOR.

2/C600 DUKE ENERGY SHOEBOX LIGHTING



LED LIGHTING IN DOWNWARD FLOOR FIXTURES MOUNTED 6" OFF GROUND

3/C600 WALL LIGHTING



1/C600 LIGHTING PLAN
 Scale: 1" = 30'



Coulter Jewell Thames

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NC BOARD OF EXAMINERS FOR ENGINEERS & SURVEYORS LICENSE NO C-1209
 NC BOARD OF LANDSCAPE ARCHITECTS LICENSE NO C-104

FACILITY RENOVATION FOR
RAMS PLAZA OUTPARCEL REDEVELOPMENT

1728 Fordham Boulevard
 Chapel Hill, NC

PIN 9799-36-6054
 9799-35-1647
 9799-36-1179

Owner:
 Rams Plaza Associates LLC

NOT ISSUED FOR CONSTRUCTION
 FORM DISTRICT PERMIT APPLICATION

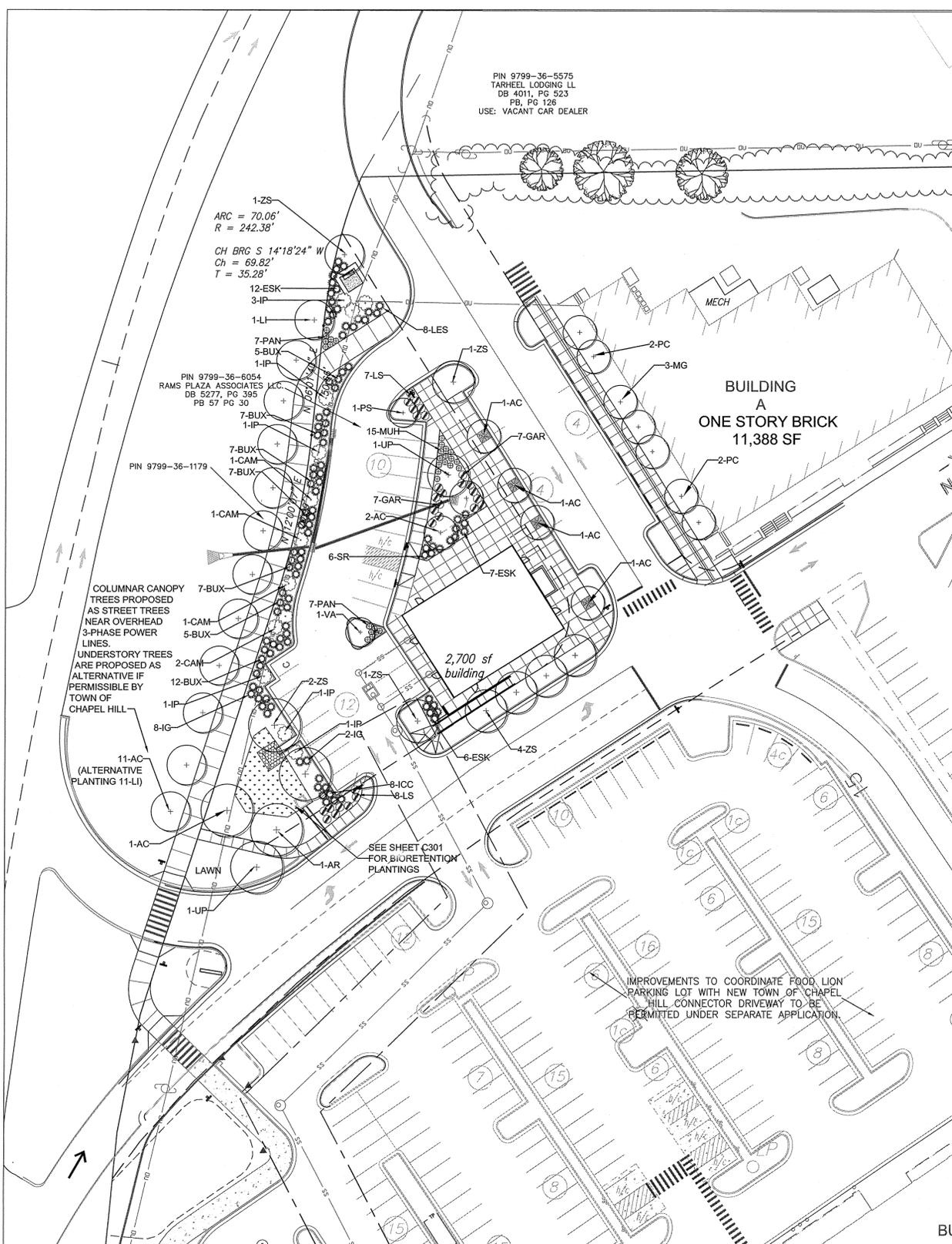
SHEET NAME:

LIGHTING PLAN

ISSUE DATE: 03.16.2015
 REVISION DATE: 04.27.2015
 CJT PROJECT #: 1458
 DRAWN BY: WLR, PBR, MTC
 SHEET NUMBER:

C600

PIN 9799-36-5575
 TARHEEL LODGING LL
 DB 4011, PG 523
 PB, PG 126
 USE: VACANT CAR DEALER



LEGEND

- EXISTING CONTOUR
- S --- EXISTING STORM LINE
- SS --- EXISTING SANITARY SEWER LINE
- OU --- EXISTING OVERHEAD UTILITY WIRE
- LD --- EXISTING TREE LINE
- LD --- PROPOSED LIMITS OF DISTURBANCE
- TP --- TREE PROTECTION FENCE
- 275 --- PROPOSED CONTOUR

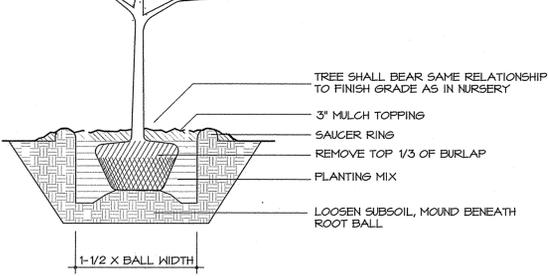
GENERAL PLANTING NOTES:

1. Contractor shall report all discrepancies to Landscape Architect.
2. Contractor shall field verify all dimensions, depths, quantities, distances, angles and slopes prior to ordering materials or installing project.
3. The contractor shall stake out all tree, shrub, and bed edge locations for the architect's approval prior to beginning planting operations.
4. Tall maturing trees are to be planted at least 18' from existing or new light poles.
5. In areas of ground cover, maintain a 12" minimum distance between plants and hard improvements.
6. Bed lines shall conform to configuration shown on the plans. Bed lines shall meet curbs, walks, buildings, etc. at right angles unless shown otherwise.
7. Contractor shall visit the site and familiarize himself with actual conditions and verify existing conditions in the field.
8. Contractor shall accept actual conditions at site and perform the work specified including fine grading and incorporation of top soil into planting areas, without additional compensation for possible variation from grades and conditions shown, whether surface or subsurface, except as provided for in contract documents.
9. In lawn areas 2" topsoil shall be tilled into the top 4" of ground prior to seeding or sodding.
10. Contractor will obtain written approval from Landscape Architect for any plant substitutions of species, size, or type of container.
11. Contractor shall locate all underground utilities prior to construction and shall be responsible for the protection of these utilities during installation, and shall promptly repair and restore services at no additional cost to the Owner if damage occurs during installation.
12. Contractor shall carefully maintain all benchmarks, monuments and other reference points. If disturbed or destroyed the Contractor shall replace as directed at no additional cost to the Owner.
13. Contractor shall become thoroughly familiar with the full set of construction drawings and specifications for coordination with utilities, architectural features, etc.
14. Contractor will leave disturbed areas level and raked smooth, removing all rocks and debris.
15. Mulch is to be a 3" layer of double shredded hardwood mulch. Mulch is to be kept away from tree trunks.
16. Any damage to existing conditions outside the contract limits, including curbs, sidewalks, turf areas and paving, shall be restored to original condition by the Contractor without extra cost to the owner.
17. In case of discrepancy between the quantity of plants on the plans compared to the plant list, the Contractor shall supply quantities as shown on the plans.
18. All unpaved surfaces are to be covered in plants, mulch, or grass.

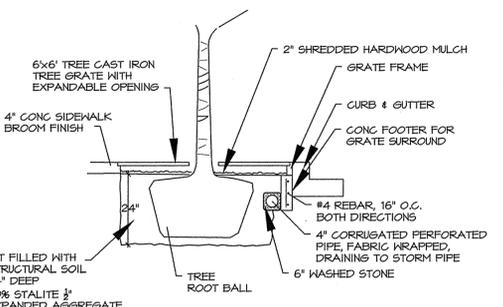
2/C700 LANDSCAPE NOTES



4/C700 SHRUB PLANTING DETAIL
 NTS



3/C700 TREE PLANTING DETAIL
 NTS



5/C700 TREE PLANTING IN GRATE
 NTS

QTY	KEY	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
TREES					
18	AC	ACER PLATANOIDES 'Columnare'	Columnar Maple	2" CAL.	SINGLE TRUNK
1	AR	ACER RUBRUM 'October Glory'	October Glory Maple	2" CAL.	SINGLE TRUNK & LEADER
1	LI	LAGERSTROEMIA INDICA 'Sioux'	Sioux Grape Myrtle	8' HT.	MULTI-STEM
3	MG	MAGNOLIA GRANDIFLORA 'Little Gem'	Little Gem Magnolia	8' HT.	SINGLE TRUNK
4	PC	PISTACIA CHINENSIS	Chinese Pistachio	2" CAL.	SINGLE TRUNK & LEADER
1	PS	PRUNUS SERRATA	Sargent Cherry	2" CAL.	SINGLE TRUNK, 2" CAL.
2	UP	ULNUS PARVIFOLIA 'B-SNUFF'	Bosque Elm	2" CAL.	SINGLE TRUNK & LEADER
1	VA	VITEX AGNUS CASTUS	Bosque Elm	6' HT.	MULTI-STEM
9	ZS	ZELKOVA SERRATA	Japanese Zelkova	2" CAL.	SINGLE TRUNK & LEADER
SHRUBS					
50	BUX	BUXUX MICRO, KOREANA 'Tidehill'	Tidehill Korean Boxwood	24" HT	CONTAINER, FULL,
5	CAM	CAMELLIA JAPONICA 'Taylor's Perfection'	Taylor's Perfection Camellia	24" HT	
25	ESK	EUONYMUS JAPONICA 'SILVER KING'	Silver King Euonymus	18" HT	MATCHED
14	GAR	GARDENIA JASMINOIDES 'KLEIM'S HARDY'	Kleim's Hardy Gardenia	18" HT	
10	IG	ILEX CORNUTA 'Carissa'	Carissa Holly	18" HT	MATCHED
10	IG	ILEX GLABRA 'Compacta'	Compact Inhberry Holly	18" HT	
8	IP	ILLICIUM PARVIFLORUM	Yellow Anise	18" HT	MATCHED
8	LES	LOROPETALUM CHINENSE 'EMERALD SNOW'	Emerald Snow Loropetalum	18" HT	
15	LS	LOROPETALUM CHINENSE 'SUZANNE'	Compact Loropetalum	15" HT	MATCHED
6	SR	SARCOCOGCA RUSCIFOLIA	Sweetbox	18" HT	
GROUND COVER					
15	MUH	MUHLENBERGIA CAPILLARIS	PINK MUHLY GRASS	6AL	AS SHOWN CONTAINER, MATCHING
14	PAN	PANICUM VIRGATUM	DWARF FOUNTAIN GRASS	6AL	AS SHOWN CONTAINER, MATCHING
AR	GRASS	FESCUE	3 variety Improved - seed	8 lbs/1000 SF	

6/C700 PLANT LIST

NOTE: SEE SHEET C301 FOR PLANT LIST RELATED TO BIORETENTION AREA PLANTING

SIZE REFERS TO SIZE OF PLANT MATERIAL AT TIME OF INSTALLATION. ALL PLANT MATERIAL SPECIFIED, MUST MEET OR EXCEED THE SIZE INDICATED AT THE TIME OF INSTALLATION



Coulter Jewell Thames
 ENGINEERING - LAND SURVEYING - LANDSCAPE ARCHITECTURE

111 West Main Street
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 p 919.682.0368
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NC BOARD OF EXAMINERS FOR ENGINEERS & SURVEYORS LICENSE NO C-1209
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FACILITY RENOVATION FOR RAMS PLAZA OUTPARCEL REDEVELOPMENT

1728 Fordham Boulevard
 Chapel Hill, NC

PIN 9799-36-6054
 9799-35-1647
 9799-36-1179

Owner:
 Rams Plaza Associates LLC

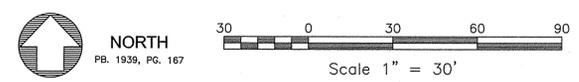
NOT ISSUED FOR CONSTRUCTION FORM DISTRICT PERMIT APPLICATION

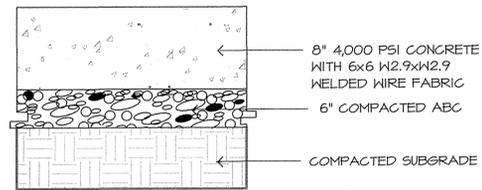
SHEET NAME:

LANDSCAPE PLAN

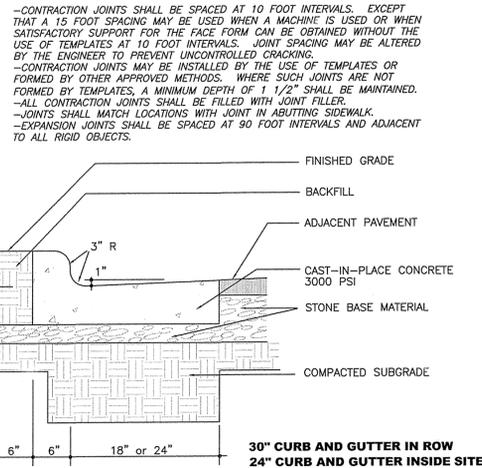
ISSUE DATE: 03.16.2015
 REVISION DATE: 04.27.2015
 CJT PROJECT #: 1458
 DRAWN BY: WLR, PBR, MTC
 SHEET NUMBER:

1/C700 LANDSCAPE PLAN
 Scale: 1" = 30'

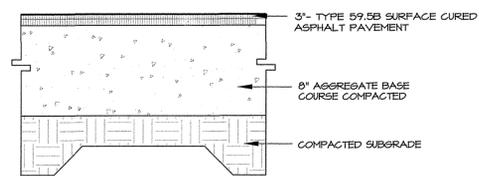




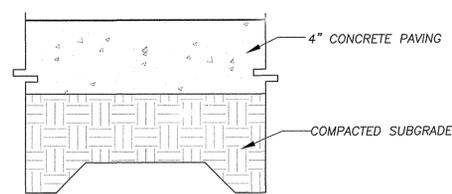
1/C800
VEHICULAR CONCRETE (ADA PARKING)
NTS



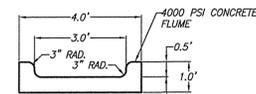
2/C800
CONCRETE CURB & GUTTER
NTS



3/C800
ASPHALT PAVEMENT
NTS

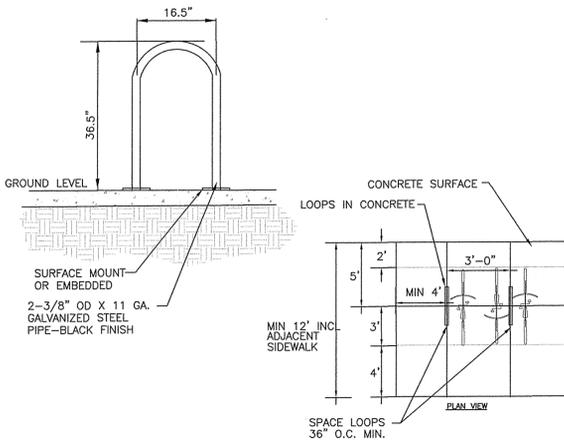


4/C800
CONCRETE SIDEWALK
NTS

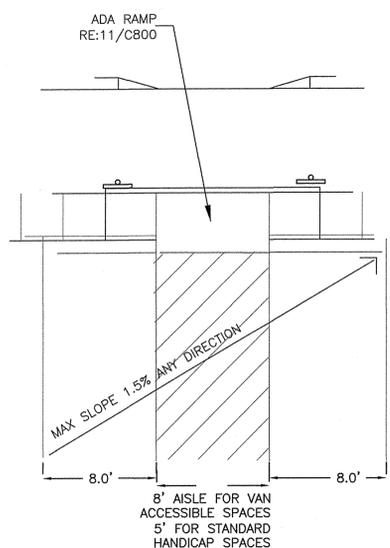


8/C800
CONCRETE FLUME
NTS

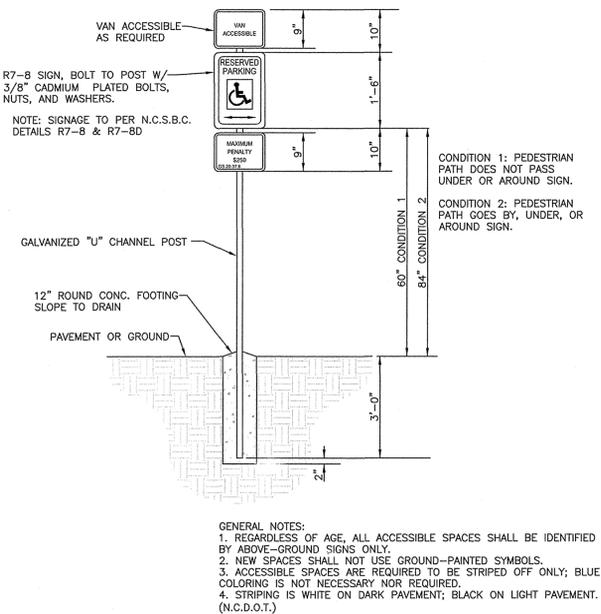
NOTES:
1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
2. DO NOT SCALE DRAWINGS.



5/C800
BICYCLE RACK
NTS



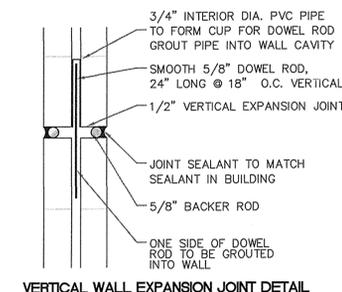
6/C800
ADA PARKING SPACES
NTS



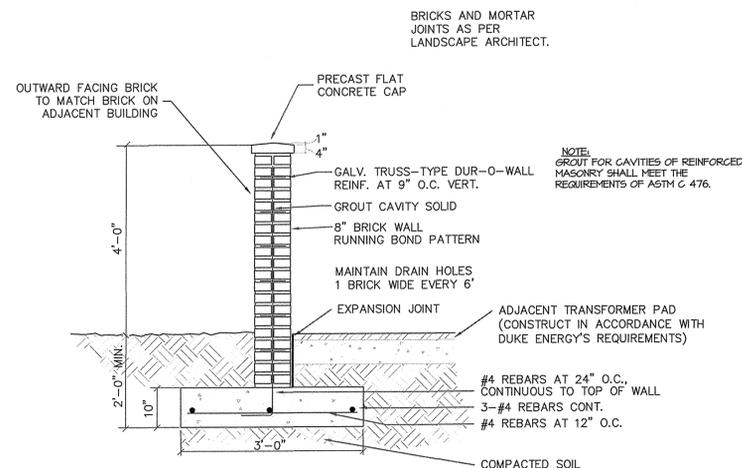
7/C800
ADA SIGNAGE
NTS

12/C800
MUDTC BIKE TRAIL SIGN
NTS

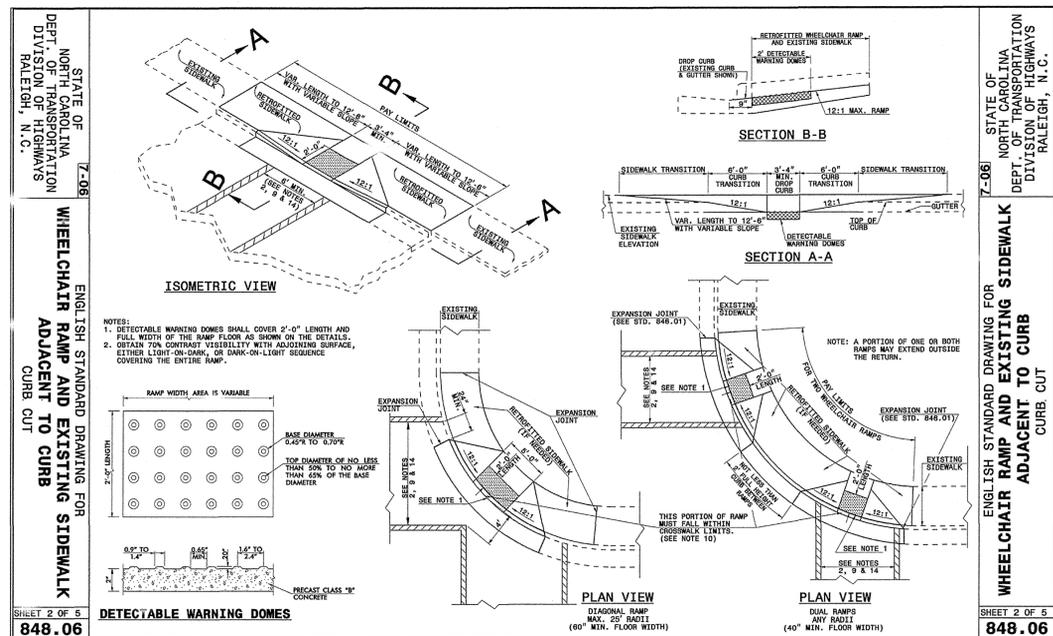
MAX. HORIZONTAL DISTANCE BETWEEN EXPANSION JOINTS IS 20 FEET.



9/C800
BRICK SCREEN WALL
NTS



11/C800
ADA RAMP
NTS



11/C800
ADA RAMP
NTS

ENGLISH STANDARD DRAWING FOR
WHEELCHAIR RAMP AND EXISTING SIDEWALK
ADJACENT TO CURB
CURB CUT
SHEET 2 OF 5
848.06





3 FRONT ELEVATION
3/16" = 1'-0"

MATERIAL CALCULATIONS	
FRONT ELEVATION	
TOTAL WALL AREA:	1,063 SF
GLASS AREA REQUIRED: 783 SF X 0.6	290 SF 60%
GLASS AREA PROVIDED:	384 SF 80%
HIGH QUALITY MATERIALS REQUIRED: (1063-384) X 0.75	509 SF 75%
HIGH QUALITY MATERIALS PROVIDED:	534 SF 79%
RIGHT ELEVATION	
TOTAL WALL AREA:	1,413 SF
GLASS AREA REQUIRED: 613 SF X 0.6	368 SF 60%
GLASS AREA PROVIDED:	494 SF 81%
HIGH QUALITY MATERIALS REQUIRED: (1,413-494) X 0.75	689 SF 75%
HIGH QUALITY MATERIALS PROVIDED:	735 SF 80%
LEFT ELEVATION	
TOTAL WALL AREA:	1,413 SF
GLASS AREA REQUIRED: 613 SF X 0.6	368 SF 60%
GLASS AREA PROVIDED:	494 SF 81%
HIGH QUALITY MATERIALS REQUIRED: (1,413-494) X 0.75	689 SF 75%
HIGH QUALITY MATERIALS PROVIDED:	735 SF 80%
BACK ELEVATION	
TOTAL WALL AREA:	1,005 SF
GLASS AREA REQUIRED: 456 SF X 0.6	274 SF 60%
GLASS AREA PROVIDED:	216 SF 47%
HIGH QUALITY MATERIALS REQUIRED: (1005-216) X 0.75	592 SF 75%
HIGH QUALITY MATERIALS PROVIDED:	677 SF 86%



4 BACK ELEVATION
3/16" = 1'-0"



2 RIGHT ELEVATION
3/16" = 1'-0"



1 LEFT ELEVATION
3/16" = 1'-0"

MATERIAL LEGEND	
BRICK TYPE B1 - WHITE	TO MATCH EXISTING
BRICK TYPE B2 - YELLOW	TO MATCH EXISTING
BRICK TYPE B3 - CAMEL	TO MATCH EXISTING
BRICK TYPE B4 - BROWN	TO MATCH EXISTING
BRICK TYPE B5 - PRECAST MASONRY	TO MATCH EXISTING
EIFS TYPE E1 - WHITE	TO MATCH EXISTING
EIFS TYPE E2 - TAN	TO MATCH EXISTING
EIFS TYPE E3 - DARK BRONZE	TO MATCH EXISTING
METAL M1 - KYNAR "BONE WHITE"	
METAL M2 - BROWN	TO MATCH B2
AWNING A1 - FABRIC AWNING (YELLOW)	TO MATCH EXISTING
AWNING A2 - FABRIC AWNING (BLACK)	TO MATCH EXISTING
STOREFRONT - ALUMINUM STOREFRONT TYPICAL	TO MATCH EXISTING
GLASS - DARK BRONZE ANODIZED	
GLASS - LOW E CLEAR TYPICAL	
ROOF TYPE R1 - WHITE SINGLE PLY MEMBRANE	

ALL ROOFTOP HVAC UNITS SHALL BE SCREENED BY PARAPETS

SIGNS SHOWN FOR REFERENCE AND ARE SUBJECT TO CHANGE

Exhibit 2

Certificate of Appropriateness issued by the Community Design Commission on May 26, 2015;

Revised Certificate of Appropriateness issued by the Community Design Commission on
October 27, 2015 for approval of a design alternative

Town of Chapel Hill, North Carolina

CERTIFICATE OF APPROPRIATENESS

HAS BEEN ISSUED FOR

Parcel ID's: 9799-35-1647; 9799-36-1179;
9799-36-6054

Date: May 26, 2015

Project #: 14-085

Project Description: New 2,700 square foot retail building

Project Location: 1728 Fordham Blvd



Rams Plaza Associates L Coulter Jewell Thames PA

Administrative

Property Owner

Applicant

This card must be kept posted in a conspicuous location until all phases of the described project are completed. The work must conform with the Code of Ordinances of the Town of Chapel Hill and laws of the State of North Carolina.

Town of Chapel Hill, North Carolina

CERTIFICATE OF APPROPRIATENESS HAS BEEN ISSUED FOR

Parcel ID's: 9799-35-1647; 9799-36-1179;
9799-36-6054

Date: May 26, 2015;
Revised October 27, 2015

Project #: 14-085

Project Description: New 2,700 square foot retail building with design alternative

Project Location: 1728 Fordham Blvd



Rams Plaza Associates L Coulter Jewell Thames PA

Administrative

Property Owner

Applicant

This card must be kept posted in a conspicuous location until all phases of the described project are completed. The work must conform with the Code of Ordinances of the Town of Chapel Hill and laws of the State of North Carolina.

Exhibit 3

Senior Leadership Team Recommendations of Approval



TOWN OF CHAPEL HILL

405 Martin Luther King Jr. Blvd.
Chapel Hill, NC 27514-5705

phone (919) 968-2728 fax (919) 969-2014
www.townofchapelhill.org

Department Head Recommendation

Dear Roger:

The Fire Department staff has reviewed the Form District Permit application for the project known as the Rams Plaza Outparcel (project #14-085) for compliance with the Chapel Hill Town Code, including the Land Use Management Ordinance. Based on the information and plans provided by the applicant and the staff's review, I Matthew J. Sullivan recommend approval of the Form District Permit application as long as this project continues to fully comply with all State and local code, regulations and requirements.

Sincerely,

A handwritten signature in black ink, appearing to read "Matthew J. Sullivan".

Matthew J. Sullivan, Interim Fire Chief

Date: November 20, 2015



TOWN OF CHAPEL HILL

405 Martin Luther King Jr. Blvd.
Chapel Hill, NC 27514-5705

phone (919) 968-2728 fax (919) 969-2014
www.townofchapelhill.org

Department Head Recommendation

Dear Roger:

The Parks and Recreation Department staff has reviewed the Form District Permit application for the project known as the Rams Plaza Outparcel (project #14-085) for compliance with the Chapel Hill Town Code, including the Land Use Management Ordinance. Based on the information and plans provided by the applicant and the staff's review, I Jim Orr recommend Approval of the Form District Permit application.

Sincerely,

A handwritten signature in black ink, appearing to read "Jim Orr".

Date: November 23, 2015



TOWN OF CHAPEL HILL

405 Martin Luther King Jr. Blvd.
Chapel Hill, NC 27514-5705

phone (919) 968-2728 fax (919) 969-2014
www.townofchapelhill.org

Department Head Recommendation

Dear Roger:

The Planning & Sustainability Department staff has reviewed the Form District Permit application for the project known as the Rams Plaza Outparcel (project #14-085) for compliance with the Chapel Hill Town Code, including the Land Use Management Ordinance. Based on the information and plans provided by the applicant and the staff's review, I Mary Jane Nirdlinger recommend approval of the Form District Permit application.

Sincerely,

A handwritten signature in cursive script, appearing to read "Mary Jane Nirdlinger".

Date: 11-18-15



TOWN OF CHAPEL HILL

405 Martin Luther King Jr. Blvd.
Chapel Hill, NC 27514-5705

phone (919) 968-2728 fax (919) 969-2014
www.townofchapelhill.org

Department Head Recommendation

Dear Roger:

The Police Department staff has reviewed the Form District Permit application for the project known as the Rams Plaza Outparcel (project #14-085) for compliance with the Chapel Hill Town Code, including the Land Use Management Ordinance. Based on the information and plans provided by the applicant and the staff's review, I, Christopher C. Blue, recommend APPROVAL of the Form District Permit application.

Sincerely,

A handwritten signature in blue ink, appearing to read "C. Blue", written over the word "Sincerely,".

Date: November 20, 2015



TOWN OF CHAPEL HILL

405 Martin Luther King Jr. Blvd.
Chapel Hill, NC 27514-5705

phone (919) 968-2728 fax (919) 969-2014
www.townofchapelhill.org

Department Head Recommendation

Dear Roger:

The Public Works Department staff has reviewed the Form District Permit application for the project known as the Rams Plaza Outparcel (project #14-085) for compliance with the Chapel Hill Town Code, including the Land Use Management Ordinance. Based on the information and plans provided by the applicant and the staff's review, I Lance Norris recommend approval of the Form District Permit application.

Sincerely, *Lance R. Norris*

Date: *11/18/15*